

AGENDA
CITY COMMISSION MEETING
Tuesday, November 20, 2012
1:00 P.M.

- I. **Note: Pre-meeting at 11:00 a.m. – 11:45 a.m., located in the large meeting room at the City Administrative Center to review the 2013 Legislative Policy. Administrative staff will be present and the pre-meeting is open to the public.**
- II. **REGULAR MEETING CALLED TO ORDER AND CITY CLERK ANNOUNCING QUORUM PRESENT.**
- III. **PLEDGE OF ALLEGIANCE TO THE FLAG AND INVOCATION.**
- IV. **APPROVAL OF THE MINUTES OF THE LAST REGULAR MEETING, WHICH IF NO CORRECTIONS ARE OFFERED, SHALL STAND APPROVED.**
- V. **PUBLIC COMMENT** Agenda Schedule Allowance: 30 minutes (5 minutes per spokesperson)
- VI. **CONSIDERATION OF PETITIONS, MEMORIALS AND REMONSTRANCES.**
 - A. Governing Body consideration and approval to authorize the Mayor to Proclaim November 20, 2012 as James Mireles Day.
- VII. **REPORT OF THE CITY MANAGER.**
 - A. The City and Marshall Woodberry closed on the sale of the Fleming & Mary property on November 13th, the net proceeds to the City after closing costs was \$68,572.69. Mr. Woodberry is having plans prepared for a 7,850 sq. ft. 4 tenant professional office building.
 - B. Staff has provided an updated report, with additional information, regarding the 2012 Fall Clean-up Program.
 - C. Community Development Director Kentner has provided a memorandum regarding an analysis of the Garden City Building Codes as submitted by Insurance Services Office, Inc. (ISO).
 - D. Staff has provided several items of information for Governing Body review including the following: from Zoo Director Sexson the monthly zoo report; from Public Works Director Curran the City Link Ridership report and CIP schedule; from Finance Director Hitz the monthly financial reports; from Director of Aviation Powell, the monthly enplanement reports; from Police Chief Hawkins the monthly activity police report; Community Development Director Kentner the building and code enforcement reports; from Assistant City Engineer Mestdagh the construction update report, and from Communications Specialist Freburg the monthly Communications and analytics report.
 - E. Meetings of note:
 - ✓ December 8, 2012 – Commerce Bank’s Tuba Christmas on Grant Avenue at 3:00 p.m.
 - ✓ December 8, 2012 – Burtis Motors Evening Christmas Parade at 6:00 p.m.

- ✓ GCRC, “A Christmas Carol”, December 21 & 22, 2012 at 7:30 p.m. & December 23 at 2:30 p.m.

VIII. CONSIDERATION OF APPROPRIATION ORDINANCE.

- A. Appropriation Ordinance No. 2328-2012A.

IX. CONSIDERATION OF ORDINANCES AND RESOLUTIONS.

- A. Ordinance No. _____-2012, an ordinance regulating fees pertaining to Solid Waste Collection in the City of Garden City, Kansas, amending Code Section 74-37; repealing current Code Section 74-37; all to the Code of Ordinances of the City of Garden City, Kansas.
- B. Resolution No. _____,-2012, a resolution authorizing the removal of nuisance conditions from the property listed below in the city of Garden City, Kansas, pursuant to Section 38-139 of the Code of Ordinances of the City of Garden City, Kansas (104 North 3rd Street)..

X. OLD BUSINESS.

- A. Utilities Director Muirhead will provide an update on the review of Municipal Power Supply options. The City Commission is asked to provide further direction.

XI. NEW BUSINESS.

- A. Governing Body authorization of Task Order Number 9 – for the design engineering services on the Snow Removal Equipment building, Runway Guard Lights and Hold Position Sign between HNTB Corporation and the City of Garden City.
- B. Governing Body consideration and acceptance of Utility Service Line Maintenance Proposals submitted by Utility Service Partners Private Label, Inc. d/b/a Service Line Warranties of America (SLWA).
- C. ***Consent Agenda for approval consideration:*** (The items listed under this “consent agenda” are normally considered in a single motion and represent items of routine or prior authorization. Any member of the Governing Body may remove an item prior to the vote on the consent agenda for individual consideration.)
 - 1. Governing Body consideration and acceptance of bids received November 16, 2012 and authorization for the Mayor and City Clerk to execute the contracts for the US-83 Reconstruction and Widening project related to Schulman Crossing.
 - 2. Governing Body consideration and acceptance of a utility easement from Worf Land LLC related to Schulman Crossing.
 - 3. Governing Body consideration and acceptance of an Indigent Defense Agreement authorizing the City of Garden City to retain Lara Bors, an attorney licensed in the

State of Kansas to represent indigent defendants who qualify for court-appointed attorneys in the Municipal Court of the City (Municipal Court).

4. Governing Body consideration and acceptance of Interlocal Agreement between the City of Garden City and Kansas Municipal Insurance Trust (KMIT) for changes to the 2013 Workers' Compensation Insurance Coverage.
5. Governing Body consideration and acceptance of Release of Mortgage, by and between CDBG and R & R Frame & Axle, Inc.
6. Governing Body consideration and acceptance of Pole Attachment Agreement from Ideatek Systems, Inc.
7. Permission for Gerardo Acosta-Chavez to reserve Space 3, Lot 49' Zone J of Valley View Cemetery for the consideration of \$50.00 for the period of one year.

8. Licenses:

(2013 Renewal)

- | | |
|--|-------------------------|
| a) The Law Company, Inc..... | Class A General |
| b) Sears Home Improvement Products, Inc..... | Class A General |
| c) Harbin Construction..... | Class A General |
| d) Hansen-Rice, Inc. | Class A General |
| e) Continental Siding Supply | Class A General |
| f) HABCO, Inc..... | Class A General |
| g) Compton Construction Corporation | Class A General |
| h) Morton Buildings, Inc..... | Class A General |
| i) Rick S. Walz..... | Class B General |
| j) R.J.'s Plumbing & General Contracting, Inc. | Class B General |
| k) Garden City Habitat for Humanity..... | Class B General |
| l) Kearney & Son, Inc..... | Class B General |
| m) Rental Enterprise..... | Class B General |
| n) Hayden Tower Service, Inc. | Class B General |
| o) John H. Hotz | Class B General |
| p) Precision Siding & Construction. | Class E-Soc Specialized |
| q) KONE, Inc. | Class E-Soc Specialized |
| r) Rob Preston | Class E-Soc Specialized |
| s) Sturdi-Bilt Storage Barns | Class E-Soc Specialized |
| t) Dreiling Construction, LLC..... | Class E-Soc Specialized |
| u) Roth Glass & Framing, LLC..... | Class E-Soc Specialized |
| v) Square Deal Handy Services | Class E-Soc Specialized |
| w) Brick & Block Works | Class E-Soc Specialized |
| x) Fief Company | Class E-Soc Specialized |
| y) Western Irrigation, Inc. | Class E-Soc Specialized |
| z) American Fire Sprinkler Corporation | Class E-Soc Specialized |
| aa) Ad-Bench-Er..... | Class D-SI Sign |
| bb) Luminous Neon, Inc..... | Class D-SI Sign |
| cc) St. Catherine Hospital..... | Class E-BF Backflow |
| dd) R.J.'s Plumbing & General Contracting, Inc. | Class E-BF Backflow |
| ee) Sperry Construction, Inc. | Class D-MA Masonry |

XII. CITY COMMISSION REPORTS.

A. Commissioner Fankhauser

B. Commissioner Law

C. Commissioner Cessna

D. Mayor Crase

E. Commissioner Doll

XIII. ADJOURN.

THE REGULAR MEETING OF THE BOARD OF COMMISSIONERS

City of Garden City
November 6, 2012

The regular meeting of the Board of Commissioners of the City of Garden City was held at 1:00 p.m. at the City Administrative Center on Tuesday, November 6, 2012 with all members present except Mayor Crase. Commissioner Law opened the meeting with the Pledge of Allegiance to the Flag and Invocation. The minutes of the last meeting were approved.

Commissioner Law moved to authorize the Mayor to proclaim November 16, 2012 as GCHS Blue Ribbon Day. Commissioner Doll seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Doll moved to authorize the Mayor to proclaim November 6, 2012 as Brad Springston Day. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Cessna moved to approve the the request from Lee Richardson Zoo to offer complimentary vehicle admission on November 10 and 11, 2012 to active and inactive military personnel and veterans of any branch of the service presenting identification or proof of service. Commissioner Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Doll moved to approve the request from Mr. Wolf Zon, Director of Operations and Chief Pilot of DWTA Helicopters, to authorize a landing within the City limits on Saturday, November 10, 2012 as part of the American Legion's Veterans Day Celebration activities. Specifically, the Governing Body was asked to waive Section 14-71 and approve the restricted height of aircraft within the corporate limits of the City. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Doll moved to approve a request from Ms. Bonnie Bribiesca to be recognized as a "Local Business" on the application for an Itinerant Merchant license at 201 W. Kansas. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

City Manager Allen proudly announced that City of Garden City employees raised \$26,219.18 in donations and pledged gifts for the 2013 Finney County United Way Campaign. This represents more than over an 18% increase from last year's drive. "Congratulations" to our United Way committee on another successful year. "Thank you" to City of Garden City employees for their generous support of those in need in the community.

The City received correspondence from Cox Communication regarding Plus Package pricing changes and a line-up change.

Staff provided information regarding the 2012 Fall Clean-up program.

The City received franchise payments from Black Hills Corporation for the month of September 2012 in the amount of \$44,935.60 and from AT&T for the month of September 2012 in the amount of \$6,388.30

Staff provided several items of information for Governing Body review including the following: from Finance Director Hitz the monthly City and County sales tax report; from Fire Chief Shelton the monthly activity report and from Assistant City Engineer Mestdagh the monthly construction report.

Meetings of note:

- ✓ November 3, 2012 – Banner Art Auction at Clarion Inn Ballroom at 7:00 p.m.
- ✓ November 7, 8, 10 & 11, 2012 – “Guys & Dolls” at GCHS at 7:00 p.m.
- ✓ November 8, 2012 – 2012 Kansas Main Street Awards reception at 5:30 p.m. at Las Margaritas’ Celebration Room.
- ✓ November 9, 2012 – “Annie Oakley” presented by Wichita Children’s Theater at Clifford Hope Auditorium-Horace Good Middle School at 7:00 p.m.
- ✓ November 10, 2012 – Veterans Day Parade at 2:00 p.m.
- ✓ November 10, 2012 – Hanging of the lights at Stevens Park at 9:00 a.m.
- ✓ November 11, 2012 – “Veterans Day 11.11.11” at the State Theater presented by Garden City Rec & Kansas Honor Flight at 3:00 p.m.
- ✓ November 13, 2012 – “Masters of Motown” presented by Southwest Kansas Live on Stage at Clifford Hope Auditorium at 7:30 p.m.
- ✓ November 15, 2012 – Third Thursday Downtown, 5:00 p.m. – 8:00 p.m.
- ✓ November 15, 2012 – Stevens Park Lighting Ceremony, 6:00 p.m.
- ✓ December 8, 2012 – Commerce Bank’s Tuba Christmas on Grant Avenue at 3:00 p.m.
- ✓ December 8, 2012 – Burtis Motors Evening Christmas Parade at 6:00 p.m.
- ✓ GCRC, “A Christmas Carol”, December 21 & 22, 2012 at 7:30 p.m. & December 23 at 2:30 p.m.

Appropriation Ordinance No. 2327-2012A, “AN APPROPRIATION ORDINANCE MAKING CERTAIN APPROPRIATIONS FOR CERTAIN CLAIMS IN THE AMOUNT OF \$2,976,868.62,” was read and considered section by section. Commissioner Law moved to approve and pass Appropriation Ordinance No. 2327-2012A. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Ordinance No. 2572-2012, “AN ORDINANCE REZONING LAND FROM R-1 SINGLE FAMILY RESIDENTIAL DISTRICT TO R-3 MULTIPLE FAMILY RESIDENTIAL DISTRICT IN THE CITY OF GARDEN CITY, KANSAS; AMENDING THE DISTRICT ZONING MAP OF THE CITY OF GARDEN CITY, KANSAS; REPEALING THE CURRENT DISTRICT ZONING MAP; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS,” (Maggie’s Addition) was read and considered section by section. Commissioner Cessna moved to approve Ordinance No. 2572-2012. Commissioner Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Ordinance No. 2573-2012, “AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF GARDEN CITY, KANSAS; REPEALING THE CURRENT COMPREHENSIVE PLAN; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS,” (800, 900 and 1000 blocks of North Main Street) was read and considered section by section. Commissioner Doll moved to approve Ordinance

No. 2573-2012. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Ordinance No. 2574-2012, "AN ORDINANCE AMENDING THE ZONING REGULATIONS FOR THE CITY OF GARDEN CITY, KANSAS; ADOPTING NEW ZONING REGULATIONS TO REGULATE LICENSED CARE CENTERS AND HOMES; AMENDING ZONING REGULATION SECTION 16.030; AMENDING ORDINANCE NO. 2528-2011; REPEALING IN ITS ENTIRETY CURRENT ZONING REGULATION SECTION 16.030; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS," was read and considered section by section. Commissioner Law moved to approve Ordinance No. 2574-2012. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Resolution No. 2507 - 2012, "A RESOLUTION AUTHORIZING THE REMOVAL OF NUISANCE CONDITIONS FROM THE PROPERTY LISTED BELOW IN THE CITY OF GARDEN CITY, KANSAS, PURSUANT TO SECTION 38-139 OF THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS," (711 N. First Street – miscellaneous items), was read and considered section by section. Commissioner Fankhauser moved to approve Resolution No. 2507-2012. Commissioner Doll seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Bond Counsel Mary Carson provided a resolution related to the 2012 Temporary Financing of the improvements in the Taylor North Addition -- Joe McGraw Street and watermain improvements.

Resolution No. 2508 - 2012, "A RESOLUTION PROVIDING FOR THE ISSUANCE OF TEMPORARY NOTES OF THE CITY OF GARDEN CITY, KANSAS, IN THE TOTAL PRINCIPAL AMOUNT OF \$555,000 TO TEMPORARILY FINANCE THE COSTS OF CERTAIN IMPROVEMENTS IN THE CITY; AND PROVIDING THE TERMS, DETAILS, FORM AND CONDITIONS OF SUCH NOTES," was read and considered section by section. Commissioner Cessna moved to approve Resolution No. 2508-2012. Commissioner Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Ordinance No. 2575 - 2012, "AN ORDINANCE REGULATING THE CONDUCT OF PERSONS AND ANIMALS IN THE CITY OF GARDEN CITY, KANSAS; CREATING NEW CODE SECTION 10-65; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS," (animal bite violations) was read and considered section by section. Commissioner Cessna moved to approve Ordinance No. 2575-2012. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Ordinance No. 2576 - 2012, "AN ORDINANCE GRANTING TO WILDFLOWER TELECOMMUNICATIONS, LLC, ITS SUCCESSORS AND ASSIGNS, A CONTRACT FRANCHISE TO CONSTRUCT, OPERATE AND MAINTAIN A TELECOMMUNICATIONS SYSTEM IN THE CITY OF GARDEN CITY, KANSAS; ALL PURSUANT TO K.S.A. 12-2001 ET SEQ," was read and considered section by section. Commissioner Cessna moved to approve Ordinance No. 2576-2012. Commissioner Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

At 2:30 p.m. Candice Gamino and Carlos Gamino of CSS Properties, LLC, presented their proposal received by the Governing Body on October 2, 2012 for use of the American Legion Building. Governing Body directed staff to proceed with CSS on the next steps in the process.

Governing Body directed staff to proceed with the preliminary work on Kansas Avenue pathway from Campus Drive to Leslie Road and a landscaping project on US-50/400 east of the Bypass for Kansas Department of Transportation Enhancement project applications for 2013. City Engineer Cottrell provided a memorandum concerning potential projects.

Commissioner Cessna moved to approve staff submitting an application for Wiley Park walking path phase 3 through the Sunflower Foundation Trail Grant. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Cessna moved to approve an application for the second half of 2012 KDOT funding under the fund exchange program for the concrete reconstruction of the south block of Chainey Street and Rock Road. Commissioner Doll seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Law moved to approve Kansas Municipal Insurance Trust, an insurance provider, beginning 2013 Workers' Compensation Insurance Coverage. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Law moved to approve and authorize staff to finalize a contract for the design and construction for irrigation system improvements at Buffalo Dunes Golf Course. Commissioner Doll seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Dr. Beverly Schmitz-Glass, Executive Director of Downtown Vision, Inc. presented a quarterly activity report to the Governing Body.

Ray Purdy and Cathy McKinley, the City's representatives on the Finney County Economic Development Corporation, presented a quarterly activity report to the Governing Body.

Commissioner Cessna moved to approve the Preliminary and Final Plat for the property located at approximately 3002 N. Campus Drive, Garden City, Kansas – Pioneer Road Estates. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Cessna moved to approve a grant agreement for \$300,000 for MIH at Pioneer Road Estates between the City of Garden City, Kansas and Kansas Housing Resources Corporation. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Cruse	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Law moved to approve the following:

1. Governing Body consideration and approval of an Administrative agreement and a Business Associate agreement between the City of Garden City, Kansas and Surency Life & Health Insurance Company for the City’s cafeteria plan.
2. Governing Body consideration and acceptance of the 2012 Emergency Shelter Grant award from the Kansas Housing Resources Corporation.
3. Governing Body consideration and acceptance of bids received November 1, 2012 and November 2, 2012 and authorization for the Mayor and City Clerk to execute the contracts, for the following projects:
 - a) Safe Routes to School Projects
 - b) Parking Lot Expansion at Garden City Regional Airport
4. Quit Claim Deed from Heir of Rosie I. Surface transferring Space 1, Lot 86, Zone A of Valley View Cemetery to Corly Matthews.
5. Permission for Patti &/or Danny Steinward to reserve Spaces 3&4, Lot 22, Zone A of Valley View Cemetery for the consideration of \$50.00 for the period of one year.
6. Permission for Ascencion Rodriguez to reserve Space 8, Lot 38, Zone J of Valley View Cemetery for the consideration of \$50.00 for the period of one year.
7. Permission for Robert S. &/or Audrey M. Law to reserve Spaces 5, 6, & 7, Lot 52, Zone J of Valley View Cemetery for the consideration of \$50.00 for the period of one year.
8. Permission for Herbert &/or Joan Livingston to reserve Space 3, Lot 32, Zone J of Valley View Cemetery for the consideration of \$50.00 for the period of one year.
9. Licenses:

(2012 New)

 - a) Hentzen Contractors, Inc.Class B General
 - b) Precision Electrical Contractors, LLCClass D-E Electrical
 - c) Johnson Plumbing, LLCClass D-P Plumbing

(2012 Renewal)

 - d) Kwik Shop, Inc. Cereal Malt Beverage

- e) Western Steel & Automation, Inc..... Class A General
- f) JAG Construction Company, Inc..... Class A General
- g) Dick Construction, Inc. Class A General
- h) Building Solutions, LLC..... Class A General
- i) Brian Barlow ConstructionClass B General
- j) Ron Roth ConstructionClass B General
- k) S & S EnterprisesClass B General
- l) Diamond Roofing.....Class B General
- m) Tim Fuller Construction.....Class B General
- n) Conant ConstructionClass B General
- o) Byerly ConstructionClass B General
- p) Richard Wright Construction.....Class B General
- q) J. Scott III.....Class B General
- r) Dunlap Construction Company, Inc.Class B General
- s) WhartonsClass B General
- t) Kerry Spanier ConstructionClass B General
- u) Ed Barb Construction.....Class B General
- v) Bob’s Handyman ServiceClass B General
- w) Woodbridge Home Exteriors of Kansas, Inc.Class C General
- x) HCS Petroleum Equipment, Inc.....Class E-SOC Specialized
- y) P.B. Hoidale Company, Inc.Class E-SOC Specialized
- z) Westhusing’s, Inc.....Class E-SOC Specialized
- aa) J’s Fencing & Ironworks, LLCClass E-SOC Specialized
- bb) Continental Fire Sprinkler CompanyClass E-SOC Specialized
- cc) Klotz Sand Company, Inc.Class E-SOC Specialized
- dd) Sign Sources, LLCClass D-SI Sign Installation
- ee) Dreiling Rentals Class E-L Landlord
- ff) McDaniel Company, Inc.....Class E-BF Backflow
- gg) A-R Roofing, LLCClass D-R Roofing
- hh) Austin Pools, LLCClass D-USP Unlimited Swimming
- ii) ALTA Refrigeration, Inc. Class D-M Mechanical
- jj) Energy Management Systems..... Class D-M Mechanical
- kk) Interstates Construction Services, Inc.....Class D-E Electrical

Commissioner Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

Commissioner Fankhauser moved that the City Commission go into executive session pursuant to K.S.A. 75-4319(b)(2) for 30 minutes for the purpose of consultation with City legal counsel on matters which are privileged in the attorney/client relationship which if discussed in open session would waive that privilege and that the City Commission reconvene into open session in the City Commission Chambers at 4:00 p.m. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Crase	Doll	Fankhauser	Law
Yea	Absent	Yea	Yea	Yea

At the expiration of the designated time, and in open session, Commissioner Fankhauser stated no action was taken.

Commissioner Fankhauser adjourned the meeting since there was no further business before the Governing Body.

Dan Fankhauser, Vice Mayor

ATTEST:

Celyn N. Hurtado, City Clerk

City Commission Reports

Commissioner Law congratulated City employees on the United Way campaign. Commissioner Law stated that each agency has to apply to be a member of Finney County United Way, and each are required to perform or be reduced or taken off the list. Commissioner Law stated that it is worthy of the City's time and a good deal. Commissioner Law congratulated Downtown Vision on their recent accomplishments. Commissioner Law asked what the plan was on the American Legion parking lot.

Commissioner Cessna thanked City employees for their United Way contributions and stated it's a good way to collaborate and give back to citizens. Commissioner Cessna stated it was a great day in Garden City with a proclamation for Principal Brad Springston and the Blue Ribbon Award for School District USD 457. Commissioner Cessna mentioned the recent Tortoise Exhibit Grand Opening and Cat Canyon construction projects at Lee Richardson Zoo. Commissioner Cessna congratulated Downtown Vision and Finney County Economic Development on their progress. He reminded citizens to go vote.

Mayor Crase was absent.

Commissioner Doll stated there is a reason Garden City is the greatest City and it's things like the United Way drive and the City overall. Commissioner Doll stated that if employees would like daycare they need to speak with their Compensation Committee. Commissioner Doll asked for citizens to pray for soldiers. Commissioner Doll stated that today was his 30 year wedding anniversary.

Commissioner Fankhauser congratulated city employees on the successful United Way campaign. Commissioner Fankhauser said he was happy to see the group picture. Commissioner Fankhauser encouraged citizens to check out the Menards store and all the work that had been accomplished in such a short period of time. Commissioner Fankhauser stated he was amazed at Downtown Vision's accomplishments.

Petitions

PROCLAMATION

- WHEREAS, Garden City High School has been named a 2012 National Blue Ribbon School; and
- WHEREAS, Mr. James Mireles has been the head principal at Garden City High School since 2004 and was an associate principal at the school for four years prior to being appointed to the lead position; and
- WHEREAS, Principal Mireles has been awarded the highly prestigious Terrel H. Bell Award for Outstanding Leadership, an award presented by the U.S. Department of Education along with the National Association of Elementary School Principals, the Association of Middle Level Education, and the National Association of Secondary School Principals in memory of former Secretary of Education, Terrel H. Bell; and
- WHEREAS, Principal Mireles is one of only seven educators nationwide to receive the award in 2012 and is the only high school principal to be honored with the award in this year; and
- WHEREAS, The award honors exceptional leaders who overcome challenging circumstances and maintain a commitment to providing an excellent education for every student

NOW, THEREFORE, I, DAVID D. CRASE, as Mayor of the City of Garden City, Kansas, hereby proclaim November 20, 2012 as

James Mireles Day

in this community and urge all residents to join in recognizing this outstanding achievement.

Signed this 20th day of November, 2012.

DAVID D. CRASE, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

Report of the City Manager

MEMORANDUM

TO: Governing Body
FROM: Bill Matheson, Street Department Superintendent
DATE: November 06, 2012
SUBJECT: Fall Clean-up 2012 Report

ISSUE

Staff is providing information regarding the 2012 Fall Clean-up program.

BACKGROUND

The 2012 Fall Clean-up which started on October 1, 2012 and completed October 12, 2012 was successfully completed. The crews hauled 140 loads of debris to the landfill. A little more effort was required this year because the landfill operator required the City to separate the mattresses and the railroad ties from the rest of the debris. Even with the additional requirements, the clean-up stayed within the two week scheduled time frame for this event. The cost of the clean-up was 18,114.00.

Staff would like to thank the Street Department employees for their efforts during this event. We also appreciate the assistance from the Traffic Division personnel. A big thanks goes to Waste Connection, Finney County and Nick at Juaritos' Tire Shop for their continued support year after year for allowing us to dump at the landfill during the spring and fall clean-ups at reduced rates and for the reduced price for breaking down tires from rims.

Included for your review is a comparison spreadsheet of five years of clean-ups with quantities and costs.

RECOMMENDATION

No recommendation, information only.

**CITY OF GARDEN CITY
SPRING AND FALL CLEAN-UPS**

	2012		2011		2010		2009		2008	
	Fall	Spring								
Labor - Hours	870	928	908	835	882	919	861	923	940	1,215
Fuel - Quantity	921	694	925	586	1,136	1,028	825	811	1,069	1,279
Appliances (loads)	-	-	-	-	-	-	-	1	-	12
Trees (loads)	109	86	177	40	209	52	35	88	-	122
Tires - Quantity	313	303	185	173	296	407	312	261	158	229
Rim Removal	37	18	22	21	14	22	57	48	29	35
Loads to Landfill	140	165	154	119	138	165	122	155	144	197
Tonnage	137	183	165	111	136	170	160	165	143	212
INCURRED EXPENSES FOR THE CITY										
Labor	\$ 12,880	\$ 12,168	\$ 11,263	\$ 9,365	\$ 10,966	\$ 10,784	\$ 10,831	\$ 10,572	\$ 11,696	\$ 13,915
Fuel	\$ 3,839	\$ 2,794	\$ 3,346	\$ 2,341	\$ 3,363	\$ 2,996	\$ 2,032	\$ 1,649	\$ 3,668	\$ 4,615
Passenger Tires	\$ 873	\$ 909	\$ 555	\$ 519	\$ 825	\$ 864	\$ 864	\$ 729	\$ 474	\$ 672
Truck Tires	\$ 210	\$ 180	\$ 220	\$ 126	\$ 114	\$ 678	\$ 114	\$ 54	\$ 12	\$ 6
Tractor Tires	\$ 31	\$ 32	\$ 31	\$ 31	\$ 32	\$ 186	\$ 80	\$ 144	\$ 64	\$ 64
Rim Removal	\$ 111	\$ 38	\$ 115	\$ 57	\$ 53	\$ 77	\$ 171	\$ 144	\$ 73	\$ 88
Regular Tonnage	\$ 170	\$ 165	\$ 177	\$ 128	\$ 151	\$ 188	\$ 319	\$ 165	\$ 147	\$ 232
White Goods	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Late Tonnage	\$ -	\$ -	\$ -	\$ 24	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Late White Goods	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Equipment Rental	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Revenue for White Goods	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ (547)
TOTAL EXPENSES:	\$ 18,114	\$ 16,286	\$ 15,706	\$ 12,591	\$ 15,503	\$ 15,773	\$ 14,411	\$ 13,457	\$ 16,134	\$ 19,045
LOST REVENUES FOR WASTE CONNECTIONS										
Regular Tonnage	\$ 5,424	\$ 7,261	\$ 6,419	\$ 4,336	\$ 4,903	\$ -	\$ 5,763	\$ 5,969	\$ 5,167	\$ 7,660
LOST REVENUES FOR FINNEY COUNTY										
Regular Tonnage	\$ 137	\$ 183	\$ 165	\$ 111	\$ 136	\$ 170	\$ 160	\$ 165	\$ 143	\$ 212



COMMUNITY
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Memo

To: City Commission
From: Kaleb Kentner
CC: File
Date: October 24, 2012
Re: Insurance Services Office, Inc. (ISO) analysis of the Garden City building codes.

ISSUE: Insurance Services Office, Inc. (ISO) analysis of the Garden City building codes. The ISO is an insurer-supported organization with the primary mission of providing advisory insurance underwriting and ratings information to insurers. There is no requirement that insurers use the ISO advisory material. The resulting Building Code Effectiveness Grading Classification scale ranges from 1 to 10. Class 1 represents exemplary commitment to building-code enforcement. The resulting classification for Garden City 1 and 2 family residential property is 9 and 9 for commercial and industrial property.

BACKGROUND: The ISO conducted their survey 8/7/12 of the Garden City building code. The main reason for such a low score is due to our current adopted versions of the International Building Codes (2003). We explained to them that we were in the process of updating our building codes to the 2009 International codes that would be effective in January 2013. The ISO representative stated during the survey that a newer code would have a significant impact on our classification. We contacted the ISO after we received our score and they stated that our evaluation could be changed when we can show we have adopted a more current version of the International code lowering our classification from a 9 to a 2 to 4.

We anticipate having the Ordinances prepared to update the City of Garden City Building Code and fee schedule at the second meeting in November. We will then submit copies of the ordinances to the ISO for them to reclassify the City prior to the current ISO classification becoming effective after the first of the year.

Recommendation: No action is required at this time.

Building Code Enforcement Evaluation Report

Selections from the review of the

Garden City
Building Code Enforcement Agency

8/7/2012 Evaluation



Building Code Effectiveness Grading Schedule (BCEGS™)

Table of Contents

Tab	Description
Section 1	Executive Summary
Section 2	Background Information
Section 3	Code Adoption
Section 4	Education, Training and Certification
Section 5	Staffing Levels
Section 6	BCEGS™ Point Analysis
Section 7	Natural Hazards
Appendix A	Natural Hazard General Information

Section 1 Executive Summary

Not all communities have rigorous building codes, nor do all communities enforce their codes with equal commitment. Yet the effectiveness of local building codes can have a profound effect on how the structures in your community will fare in a hurricane, earthquake, or other natural disaster.

Studies conducted following recent natural disasters concluded that total losses might have been as much as 50% less if all structures in the area had met current building codes. Building-code enforcement can have a major influence on the economic well-being of a municipality and the safety of its citizens. Insurance Services Office (ISO) helps distinguish amongst communities with effective building-code adoption and enforcement through a comprehensive program called the Building Code Effectiveness Grading Schedule (BCEGS™).

ISO is an independent statistical, rating, and advisory organization that serves the property/casualty insurance industry. ISO collects information on a community's building-code adoption and enforcement services, analyzes the data, and then assigns a Building Code Effectiveness Classification from 1 to 10. Class 1 represents exemplary commitment to building-code enforcement. The concept behind BCEGS™ is simple. Municipalities with well-enforced, up-to-date codes demonstrate better loss experience, and their citizens' insurance rates can reflect that. The prospect of minimizing catastrophe-related damage and ultimately lowering insurance costs gives communities an incentive to enforce their building codes rigorously.

The following management report was created specifically for Garden City based on a BCEGS™ survey conducted on 8/7/2012. This report can help you evaluate your community's building-code enforcement services utilizing benchmarking data collected throughout the country. The report is designed to give your management team an expanded perspective for dealing with the important issues surrounding effective building code enforcement. This is accomplished through comparisons of your code enforcement to that of others in your area and state. The analysis goes further to allow you to compare your jurisdiction to others across the country with similar permit, plan review and inspection activity. ISO thanks you for your participation and we encourage you to take advantage of the information contained in this report to assist in making decisions regarding the level of code enforcement best suited for Garden City.

The survey conducted has resulted in a BCEGS™ class of 9 for 1 and 2 family dwellings and a class 9 for all other construction. More information regarding how this recent survey compares to previous surveys is located in section 6 of this report.

Section 2 Background Information

Introduction

ISO collects information from communities in the United States on their adoption and enforcement of building codes. ISO analyzes the data using its Building Code Effectiveness Grading Schedule (BCEGS™) and then assigns a BCEGS™ Classification number to the community. The classification number—which ranges from 1 to 10—measures a jurisdiction's commitment to the adoption and enforcement of building codes affecting the construction of new buildings. Class 1 indicates the most favorable classification of commitment to the adoption and enforcement of building codes.

ISO's commitment to polling each building code enforcement agency on a regular basis is important to the program – periodic surveying helps determine if a community has made any significant changes since its last field evaluation. This ongoing effort is designed to re-evaluate each community at approximate 5-year intervals or sooner if changes indicate a potential revision to the classification number.

The purpose of this report is fourfold:

1. To summarize a community's scoring under the criterion contained in the BCEGS™™ program.
2. To identify opportunities for communities desiring to improve their BCEGS™ classification number.
3. To assist a community in understanding how other jurisdictions with similar needs address building code adoption and enforcement.
4. To provide hazard mapping information important in planning and developing a sustainable community.

Data Collection and Analysis

ISO has evaluated over 7,000 building code enforcement agencies across the United States. In each of these communities, three elements of building code adoption and enforcement are reviewed. These three elements are the administration of codes, plan review and field inspection.

Administration of Codes:

ISO evaluates the administrative support for code enforcement within the jurisdiction -- the adopted building codes and the modifications of those codes through ordinance, code enforcer qualifications, experience and education, zoning provisions, contractor/builder licensing requirements, public awareness programs, the building department's participation in code development activities, and the administrative policies and procedures. This section represents 54% of the analysis in the BCEGS™ program.

Plan review division:

Consideration is given to determine staffing levels, personnel experience, performance evaluation schedules, and the level of review of construction documents for compliance with the adopted building code of the jurisdiction being graded. This section represents 23% of the analysis.

Field inspection:

Consideration is given to determine staffing levels, personnel experience, performance evaluation schedules, and the level of the agency's review of building construction. This section also represents 23% of the analysis.

The information necessary to determine the BCEGS™ classification number was collected from the community building officials through a combination of on-site interviews and completed questionnaires.

Section 3 Code Adoption

Recognizing that building codes are continually being reviewed and updated to reflect emerging technology and best practices, the BCEGS™ program encourages communities to make every effort to adopt the latest edition of one of the building codes without amendments. The program is sensitive to the reality that building code adoption is not always a local issue, nor do the wheels of progress turn rapidly all the time. To receive maximum BCEGS™ credit for this very important section a community must adopt and implement the revised code within two years of the publication of the building code.

As detailed in Figure 3-1 below, eight points are the maximum available for the adoption of a building code. The final calculation to determine a jurisdiction's BCEGS™ classification employs the ratio of the points possible and the points earned in the building code adoption section as a factor for all other points earned in the system. Therefore, a jurisdiction enforcing the latest building code will have a ratio of 1 and no adjustment will be made to the points earned. A department enforcing a building code that was published six years prior to the survey date would have a ratio of 6.88/8 or .86 so the jurisdiction would receive credit for 86% of the points earned throughout the evaluation process.

Fig 3-1 Criteria for Building Code Adoption Points

If the published date of the listed codes is within 5 years of the date of the grading: Building Code(s) addressing commercial and /or residential construction	8.00 points
If the published date of the listed codes is within 6 years of the date of the grading: Building Code(s) addressing commercial and /or residential construction	6.88 points
If the published date of the listed codes is within 10 years of the date of the grading: Building Code(s) addressing commercial and /or residential construction	2.21 points
If an earlier edition of the listed codes is adopted: Building Code(s) addressing commercial and /or residential construction	0.85 point

For departments surveyed in 2012 the BCEGS™ program uses the following as the latest edition of Building codes available.

Fig. 3-2 Latest Edition Available

	Publisher	Publication Date
Commercial Building Code	ICC / NFPA	2012 / 2012
Residential Building Code	ICC	2012

Fig. 3-3 Building Codes Adopted by Garden City

	Publisher	Publication Date	Adoption Date
a. Adopted Commercial Building Code	ICC	2003	2006
b. Adopted Residential Building Code	ICC	2003	2006

The following is the first of many "Benchmarking Information" sections located in this report. The purpose of the benchmarking information is to provide data ISO has collected in the course of its evaluations of code enforcement departments throughout the country. The data should not be considered a standard but rather information which allows you to compare operations in your jurisdiction to those conducted by other jurisdictions with similar conditions. Benchmarking information will be distinguished from other information in this report by the letter B preceding the table or figure number and a green Benchmarking Information bar above the table or figure.

Benchmarking Information

Table B 3-4 BCEGS™ points awarded comparison

Adopted Building Code					
	BCEGS™ Points awarded	BCEGS™ Points possible	County Average	State Average	National Average
Commercial Building	2.21	8.00	2.21	1.81	5.15
Residential Building	2.1	8.00	2.10	1.70	5.02

Item 108. Additional Code Adoptions:

This section reviews the adoption and enforcement of electrical, mechanical, plumbing, energy, and wildland urban interface codes. Adopted codes are evaluated by year of publication including amendments and enforcement efforts. Table 3-5 details the criteria for earning points under this section.

Table 3-5 Criteria for sub-code adoption points

If the published date of the listed codes is within 5 years of the date of the grading:
0.67 point for each of the five subcodes

If the published date of the listed codes is within 6 years of the date of the grading:
0.33 point for each of the five subcodes

If the published date of the listed codes is within 10 years of the date of the grading:
0.18 point for each of the five subcodes

If an earlier edition of the listed codes is adopted:
0.004 point for each of the five subcodes

For departments surveyed in 2012 the BCEGS™ program uses the following as the latest edition of sub-codes available

Table 3-6 Latest edition of Sub-Codes Available

Type of Code	Publisher	Publication Date
Commercial Electrical Code	NFPA	2011
Residential Electrical Code	NFPA	2011
Commercial Plumbing Code	ICC / IAPMO	2012 / 2012
Residential Plumbing Code	ICC / IAPMO	2012 / 2012
Commercial Mechanical Code	ICC	2012
Residential Mechanical Code	ICC	2012
Commercial Fuel Gas Code	ICC / IAPMO	2012 / 2012
Residential Fuel Gas Code	ICC	2012
Commercial Energy Code	ICC / ASHRAE	2012 / 2010
Residential Energy Code	ICC / ASHRAE	2012 / 2010
Commercial Wildland Urban Code	ICC / NFPA	2012 / 2012
Residential Wildland Urban Code	ICC / NFPA	2012 / 2012

- ASHRAE – American Society of Heating, Refrigeration and Air Conditioning Engineers
- ICC - International Code Council
- IAPMO – International Association of Mechanical and Plumbing Officials
- NFPA – National Fire Protection Association

Table 3-7 Sub Codes Adopted by Garden City

Type of Code	Publisher	Publication Date	Adoption Date
Commercial Electrical Code	NFPA	2002	2006
Residential Electrical Code	NFPA	2002	2006
Commercial Plumbing Code	ICC	2003	2006
Residential Plumbing Code	ICC	2003	2006
Commercial Mechanical Code	ICC	2003	2006
Residential Mechanical Code	ICC	2003	2006
Commercial Fuel Gas Code	ICC	2003	2006
Residential Fuel Gas Code	ICC	2003	2006
Commercial Energy Code			
Residential Energy Code			
Commercial Wildland Urban Code			
Residential Wildland Urban Code			

Benchmarking Information

Table B 3-8 additional code adoption

Type of Sub-Code		BCEGS™ Points awarded	BCEGS™ Points possible	County Average	State Average	National Average
Commercial	Electrical	0.004	0.67	0.00	0.14	0.42
Residential	Electrical	0.004	0.67	0.00	0.14	0.42
Commercial	Plumbing	0.18	0.67	0.18	0.13	0.39
Residential	Plumbing	0.18	0.67	0.18	0.13	0.39
Commercial	Fuel Gas	0.18	0.67	0.18	0.15	0.36
Residential	Fuel Gas	0.18	0.67	0.18	0.15	0.36
Commercial	Mechanical	0.18	0.67	0.18	0.15	0.40
Residential	Mechanical	0.18	0.67	0.18	0.15	0.40
Commercial	Energy	0	0.67	0.00	0.06	0.36
Residential	Energy	0	0.67	0.00	0.05	0.36
Commercial	Urban Wildland	0	0.67	0.00	0.01	0.17
Residential	Urban Wildland	0	0.67	0.00	0.01	0.17

Item 110. Modification to adopted codes:

The BCEGS™ program encourages timely and unmodified adoption of the latest edition available of the building code. It is not uncommon for a jurisdiction to adopt a code and then modify it in some way. The most common modifications are administrative, which the BCEGS™ program is not overly concerned with. Some jurisdictions, however, modify the structural aspects of the code. Modifications are viewed as favorable when the intention is to strengthen the code. Due to the difficulty and expense of finitely determining the effect on a code of a specific action which weakens the code, no partial credit is available for this section. Note, however, that due to the formula: (Points credited in section 105 x 0.125 x 4.0) the points awarded for this item are reduced if the latest building code is not adopted and enforced. There is a direct correlation between the points earned for the adopted building code and the points available for this section. When modification serves to

weaken the intent or effectiveness of the adopted building code relative to structural aspects or natural hazard mitigation features, no points will be awarded for this section.

Benchmarking Information

Table B 3-9 Comparison of Points Earned for Section 110

	BCEGS™ Points awarded	BCEGS™ Points possible	County Average	State Average	National Average
Commercial	1.11	4	1.11	0.91	2.52
Residential	1.05	4	1.05	0.85	2.21

Item 112. Method of Adoption:

Updating the adopted codes to the latest code published by a nationally recognized building code development and publication organization within 12 months of the publication of the code is beneficial for the jurisdiction. It provides the latest and most modern technology for natural hazard mitigation. This section allows the opportunity to recognize the timely un-amended adoption of a nationally promulgated building code

Benchmarking Information

Table B 3-10 Points Earned for Timely (within one year of the publication date) Un-Amended Code Adoption

		BCEGS™ Points awarded	BCEGS™ Points possible	County Average	State Average	National Average
Commercial	Adoption Bonus	0	1	0.00	0.03	0.14
Residential	Adoption Bonus	0	1	0.00	0.03	0.11

Section 4 Education, Training, and Certification

The Building Code Effectiveness Grading Schedule reviews the tools available to a building code department to determine what level of protection the jurisdiction has decided to offer. In this section we review the qualifications of the code enforcement personnel. By maintaining highly qualified, well trained staff the building code enforcement department is better equipped to encourage the construction of code compliant buildings.

The BCEGS™ program does not mandate any level of training certification or experience but it does recognize the technical and evolving nature of construction code enforcement. Therefore, 39% of the available points in the analysis are dependent on education, training and experience. The evaluation is much diversified. For instance, credit can be earned for hours of training taken, dollars spent on training, incentives for outside training, and hiring requirements. After review of this information a building code department may determine that a higher caliber employee or more incentives to current employees could assist them in performing their duties more efficiently and professionally.

The number of personnel is an important factor when comparing and correlating education and training. To standardize these numbers this report converts all employees to full time. Therefore a department with two full time code enforcers the number of employees will be two. If a department has five full time code enforcers and seven part time code enforcers each working twenty hours per week the department will show as eight and one half employees.

Garden City employs 3.50 code enforcement personnel. This staffing level is equal to one code enforcement personnel for each 7616.57 citizen or one code enforcement personnel for each 692.86 permits issued. If the jurisdiction was divided equally, each code enforcer would be responsible for an area of 2.43 square miles.

Table 4-1 displays the total and the average number of hours spent in training by code enforcement personnel in Garden City. Training is broken down into four categories; a maximum of 1.25 points may be earned for the first 12 hours of training in administrative aspects of code enforcement, legal aspects of code enforcement, and being mentored in code enforcement. The first 60 hours of training in technical aspects of code enforcement may also earn maximum credit of 4.25 points. To receive the maximum available points in this area each employee must train a minimum of 96 hours per year and the subject must follow the details above. ISO has developed training logs to assist you in tracking the training of building code enforcers. The logs can be downloaded from our web site www.isomitigation.com.

Table 4-1 Training hours for Garden City

	Total hours for department	Average hours of training
Administrative	36	10.29
Legal	60	17.14
Mentoring	36	10.29
Technical	130	37.14

Benchmarking Information

Table B 4-2 Comparison of average hours of training

	Your average hours of training	Your County average hours of training	Your State average hours of training	National average hours of training
Administrative	10.29	10.29	8.64	14.45
Legal	17.14	17.14	8.64	9.48
Mentoring	10.29	10.29	11.70	24.88
Technical	37.14	37.14	37.30	43.81

Building code enforcement departments may choose to emphasize their commitment to training and education through incentives, such as funding certification, exam fees, and continuing education or providing incentives for outside training. The following table is broken down for residential and commercial construction and indicates the incentives provided by Garden City.

Table 4-3 BCEGS™ points earned by Garden City for training incentives

	Commercial	Points earned	Residential	Points earned
Department pays for certifications and exam fees	Yes	0.5	Yes	0.5
Provides incentive for outside training or certification	No	0	No	0
Pays for continuing education	Yes	0.5	Yes	0.5

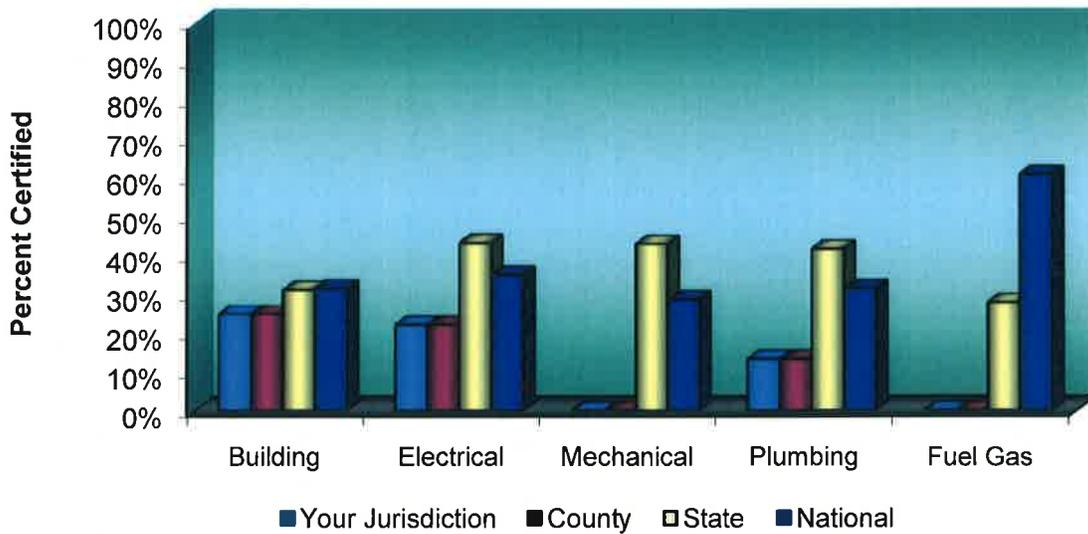
Benchmarking Information

Table B 4-4 Comparison of training incentive points

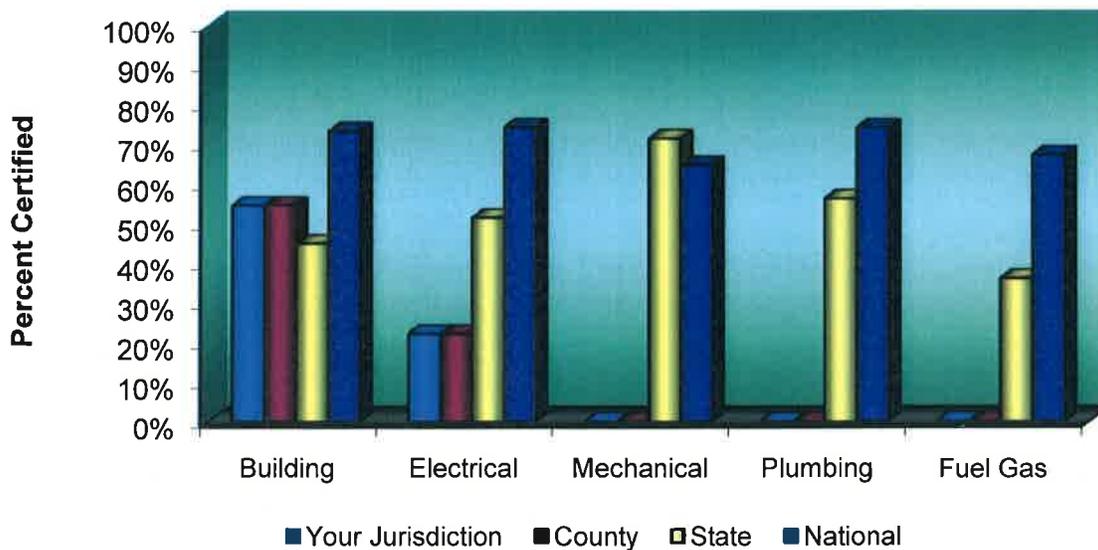
Commercial				Residential		
County %	State %	National %		County %	State %	National %
% of Departments that pay for certifications and exam fees						
100.00	56.90	68.61		100.00	56.90	46.24
% of Departments that provides incentive for outside training or certification						
0.00	13.79	20.22		0.00	13.79	13.68
% of Departments that pays for continuing education						
100.00	63.79	72.19		100.00	63.79	48.82

Hiring only certified code enforcement employees or allowing a short probationary period for new hires to earn their certification are valued practices which elevate the quality and consistency of the code enforcement process. The following two charts compare your jurisdiction's policies regarding certification with those of other departments within your county, state and across the country. The charts represent the percent of plan reviewers and inspectors that held appropriate certification for the duties they performed at the time of the latest BCEGS™ survey. B4-5 represents commercial work and B4-6 represents residential work.

B4-5 Commercial Duties Performed

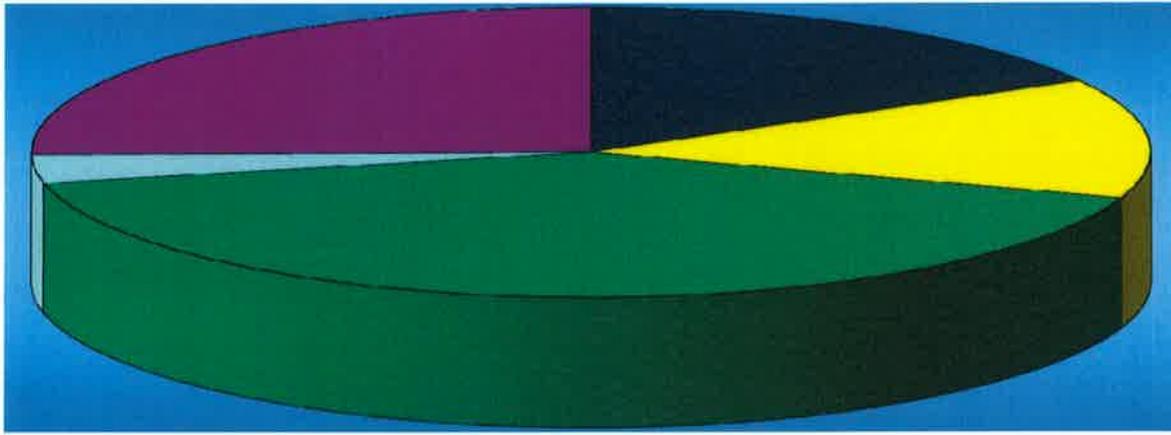


B4-6 Residential Duties Performed



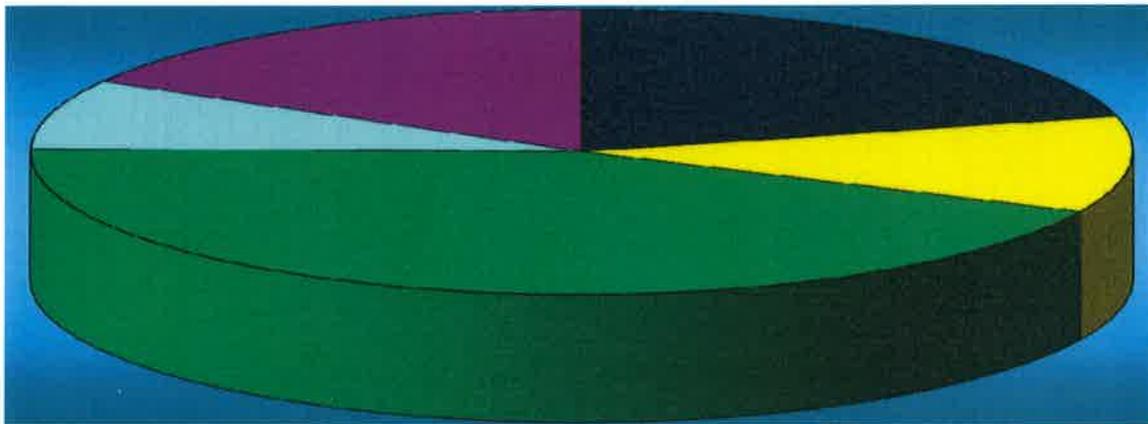
Requiring certification as a condition of employment is an important factor. However, the evolving nature of the building technology and the wide variety of situations encountered by plan reviewers and inspectors dictate the need for continuing education. The following two charts are based on the period of time allowed to complete the required amount of continuing education requirements for building inspectors in order for them to renew their license / certification. Information in these charts represents data gathered across the country.

4-7 Building Certification Renewal Period Commercial



■ 1 Year ■ 2 Years ■ 3 Years ■ > 3 Years ■ Not Required

4-8 Building Certification Renewal Period Residential



■ 1 Year ■ 2 Years ■ 3 Years ■ > 3 Years ■ Not Required

Section 5 Staffing Levels

One of the most frequently asked questions from community administrators and building officials is: How many inspectors and plan reviewers do we need to supply the desired level of service to our community? This section will provide valuable information to assist in this vital decision. The BCEGS schedule uses the following benchmarks to calculate the staffing levels:

- 10 inspections per day per full time inspector
- 1 commercial plan review per day per full time plan reviewer
- 2 residential plan reviews per day per full time plan reviewer

These are average numbers of the entire department over the course of a year. Some inspectors because of the type of work they are assigned will exceed these benchmarks while others will not be able to reach them, the same is true of plan reviewers. The fact is that these benchmarks have proved to be realistic over the course of surveying 14,000 code enforcement departments.

However, we realize that your community may have varying circumstances and may want to base staffing decision on other information. In the following set of charts we have scoured our database to find communities that are of similar size, and population to your community to provide data that may be helpful in your decision process. The next key element of staffing decision is the workload; again we queried our records to find communities with similar number of permits issued, inspections and plan reviews completed. This data can be useful in further defining your staffing levels. Realizing the some jurisdictions cover vast area while others are metropolitan we did some calculations and arrived at a unique category of permits per square mile. You may find that this category affords benchmarking opportunities that take into account workload and travel time for your inspecting staff.

Table 5-1

Your community falls into the following ranges

Population	> 25,000
Square Miles	7.1 - 21.0
Permits Issued	> 2,000
Number of inspections conducted	2,201 - 5,700
Plan reviews conducted	> 1,400
Permits per Square Mile	> 17.00

Benchmarking Information

The information in Charts B5-3 through B5-14 depicts the staffing levels of your jurisdiction along with the average staffing levels of all the communities that fall within the range for each category as defined in Table 5 -1. To standardize these numbers this report converts all employees to full time equivalents. Therefore, in a department with two full time employees the number of personnel will be two. If a department has five full time code enforcers and seven part time code enforcers each working twenty hours per week the department is considered to have eight and one half full time employees. The data is further broken down by the responsibilities of each code enforcer. For example a department may allocate time as follows:

Table 5-2 Time Allocation Example

	Time allocation employee #1 Full time	Time allocation employee #2 30 hrs per week	Time allocation employee #3 20 hrs per week	Total calculated employees 2.25
Commercial Plan Review	40%	5%	0%	0.44
Residential Plan Review	20%	5%	0%	0.24
Commercial Inspection	35%	80%	10%	0.95
Residential Inspection	5%	10%	90%	0.56

The calculations used to make up the graphs for the example above would be the number of commercial plan reviews conducted in your jurisdiction divided by .44 (the number of commercial plan reviewers employed by your jurisdiction). Similarly assuming 732 residential inspections divided by the number of residential inspectors (.56) returns a workload of 1307 inspections per full time inspector per year. The calculation for the control group is the same except that the results are averaged.

Chart B5-3 Plan Review Staffing Comparison of Communities Serving Similar Populations

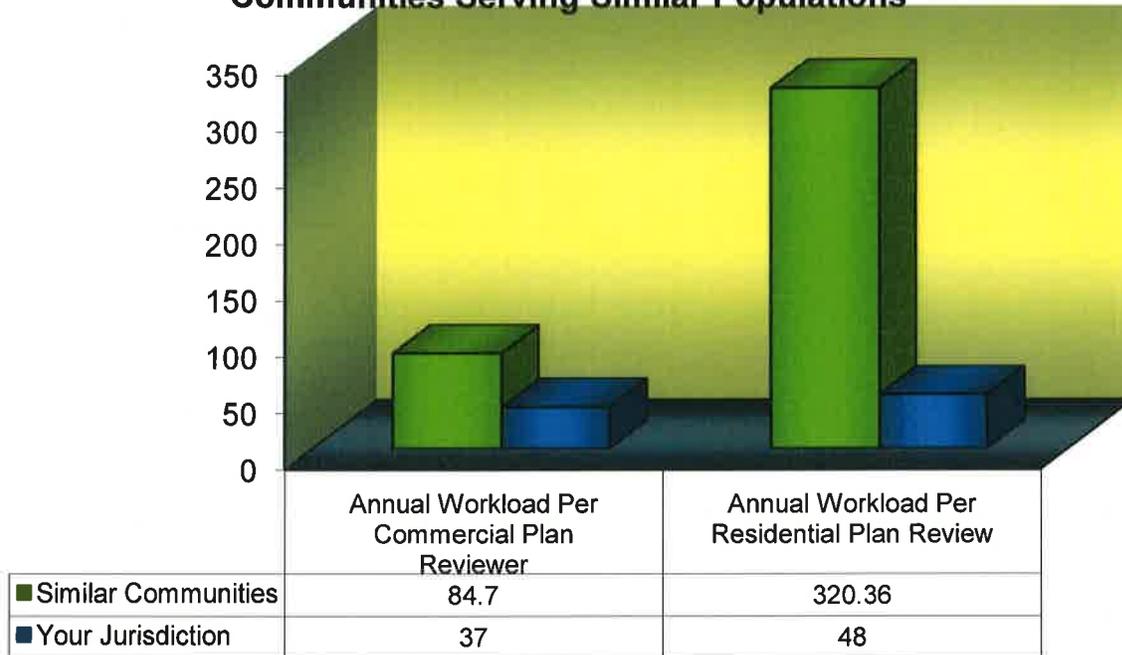
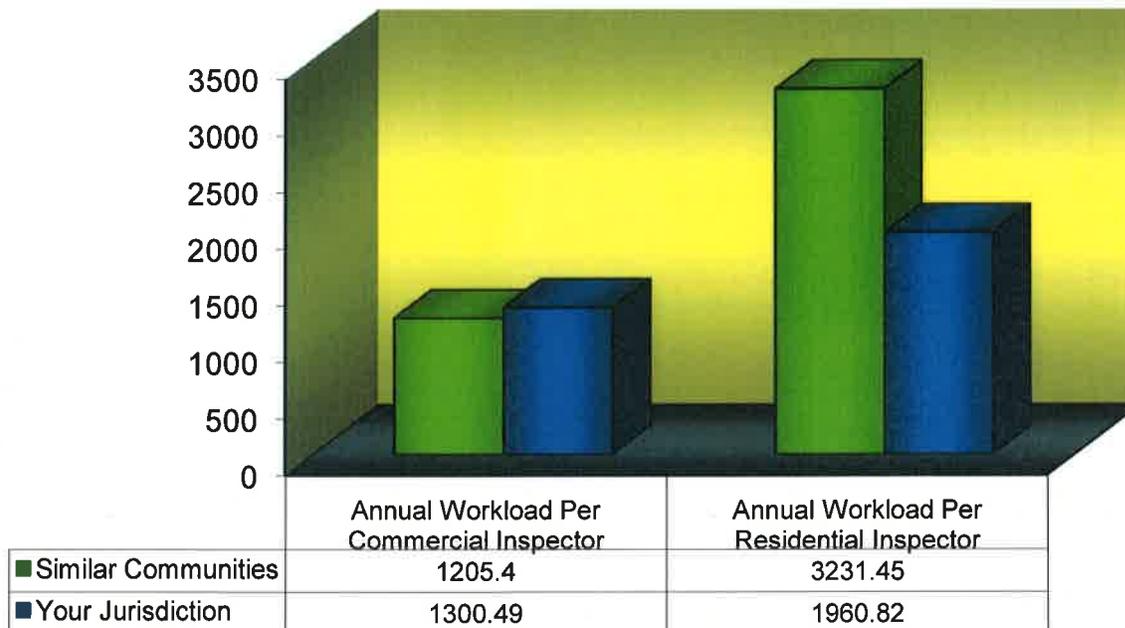
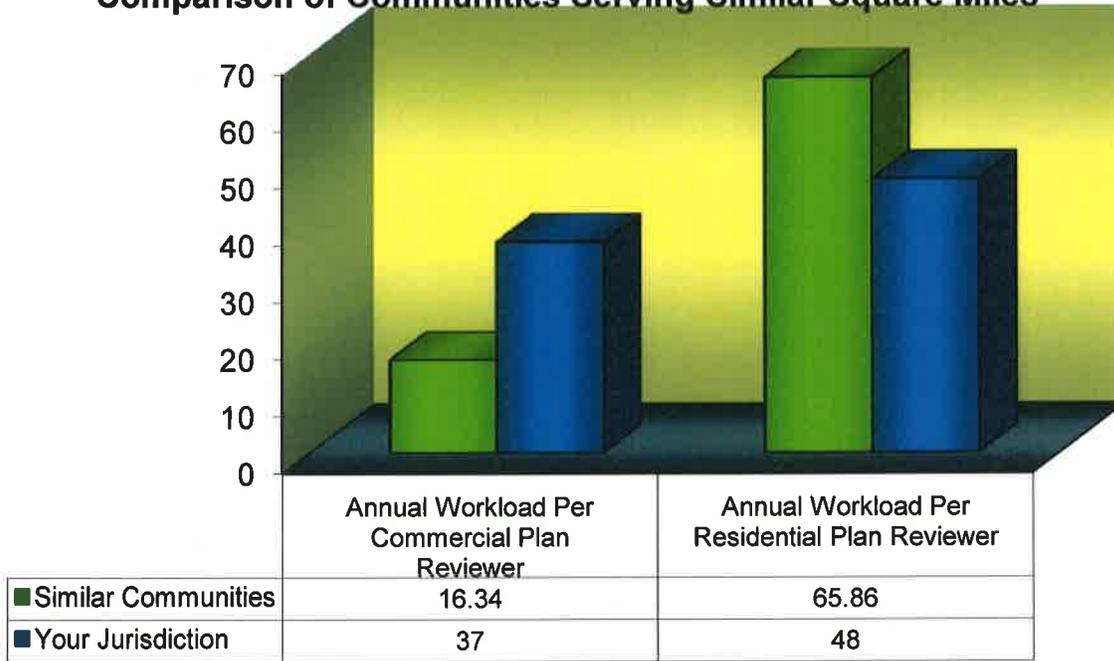


Chart B5-4 Inspection Staffing Comparison of Communities Serving Similar Populations



**Chart B5-5 Plan Review Staffing
 Comparison of Communities Serving Similar Square Miles**



**Chart B5-6 Inspection Staffing Comparison of
 Communities Serving Similar Square Miles**

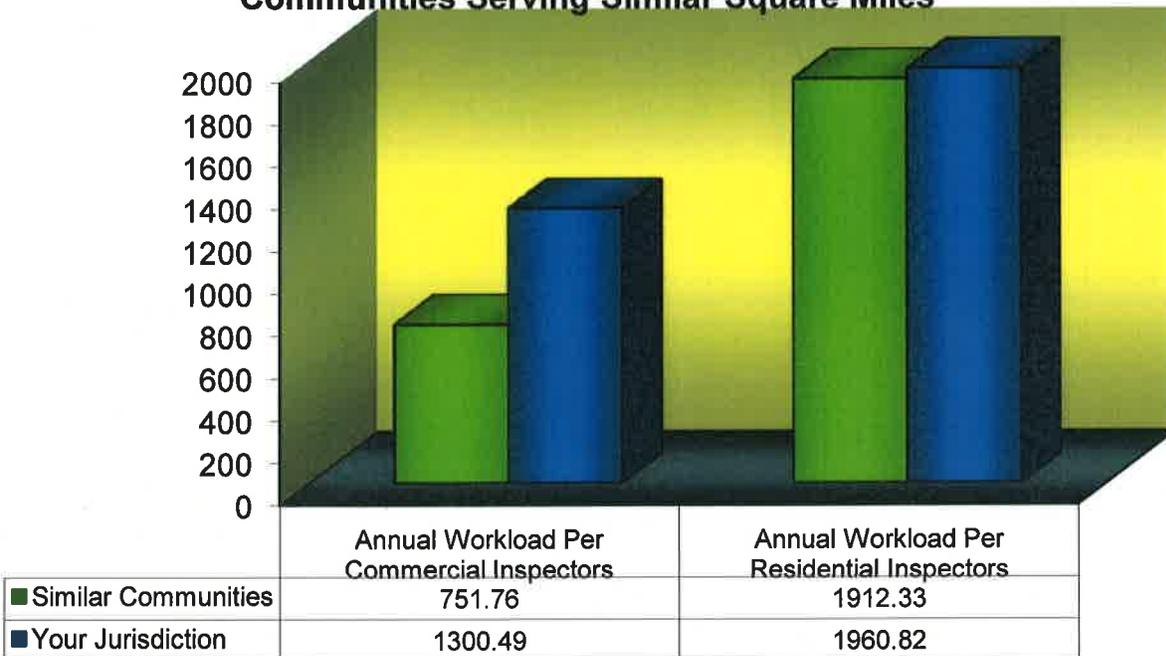


Chart B5-7 Plan Review Staffing Comparison of Communities Issuing Similar Number of Permits

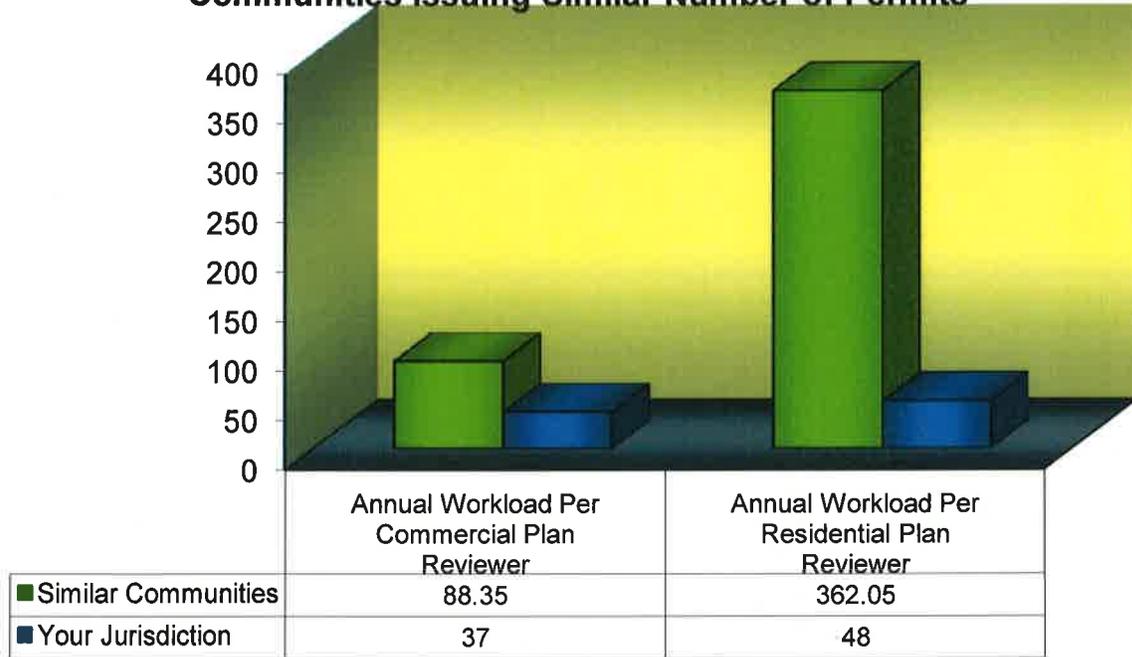


Chart B5-8 Inspection Staffing Comparison of Communities Issuing Similar Number of Permits

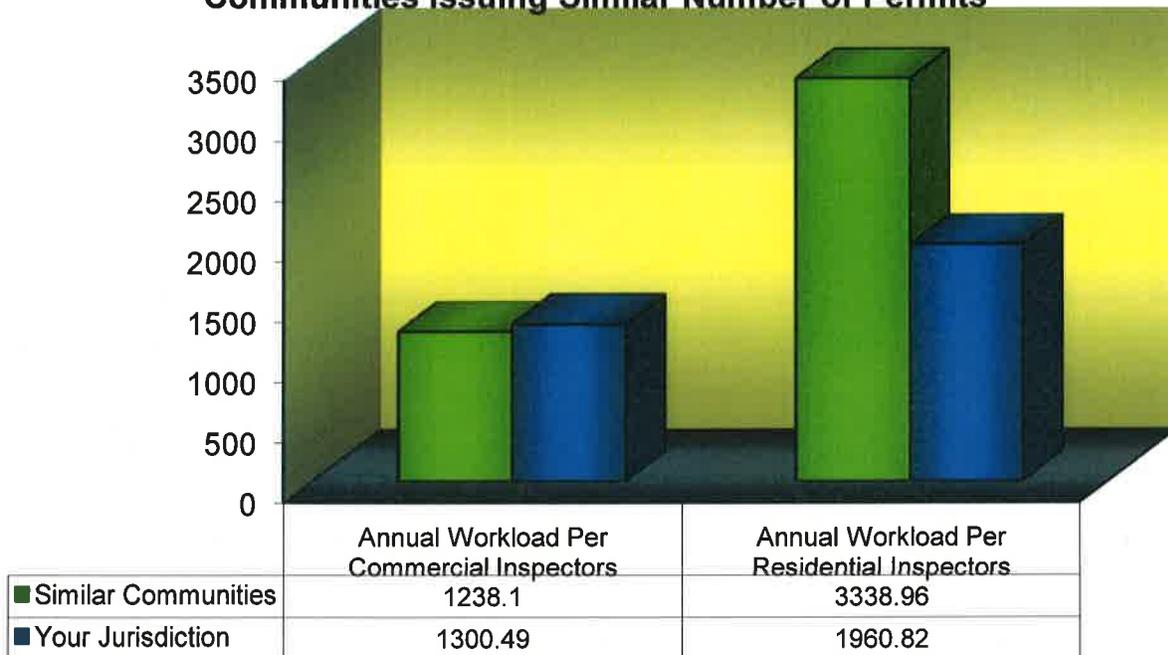


Chart B5-9 Plan Review Staffing Comparison of Communities Conducting Similar Number of Inspections

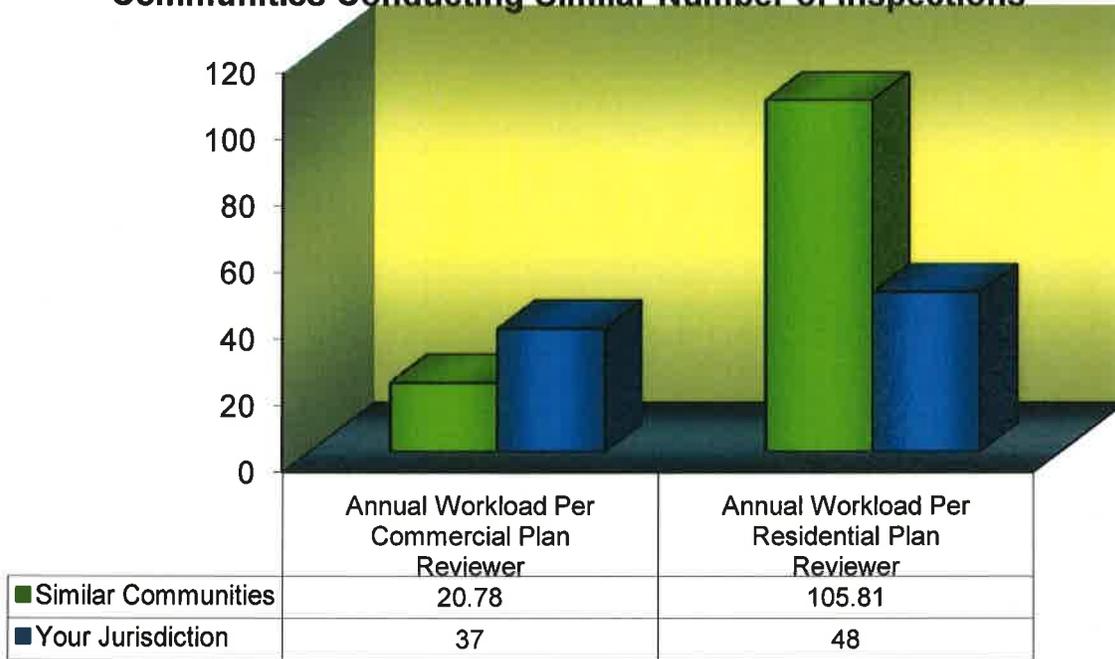


Chart B5-10 Inspector Staffing Comparison of Communities Conducting Similar Number of Inspections

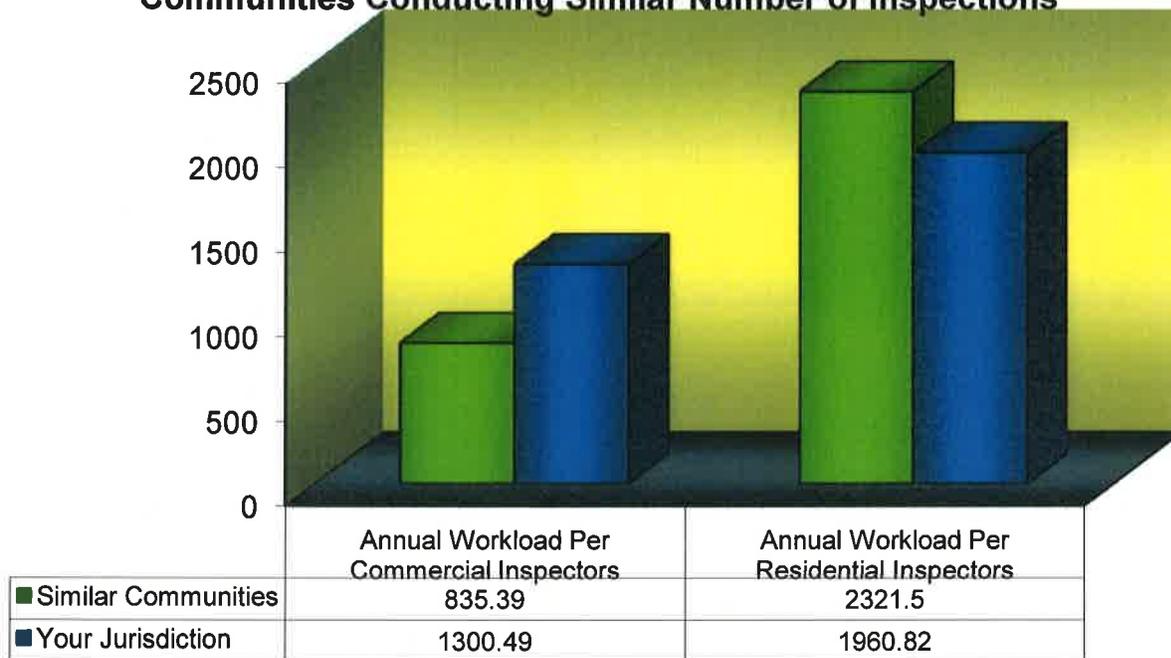


Chart B5-11 Plan Review Staffing Comparison of Communities Conducting Similar Number of Plan Reviews

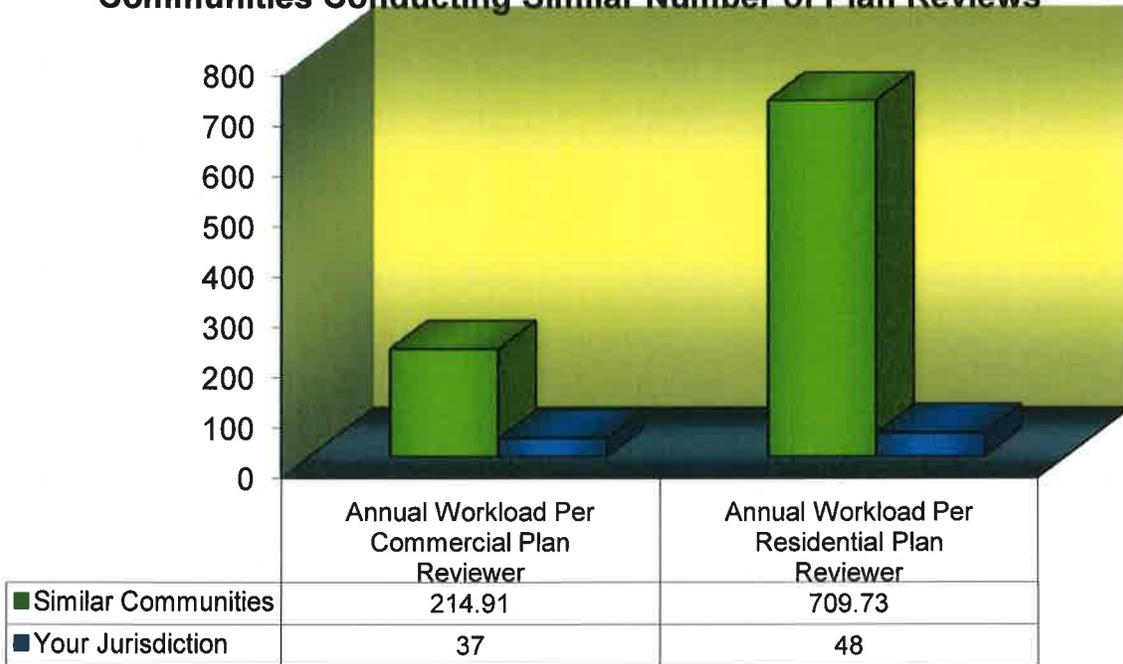


Chart B5-12 Inspector Staffing Comparison of Communities Conducting Similar Number of Plan Reviews

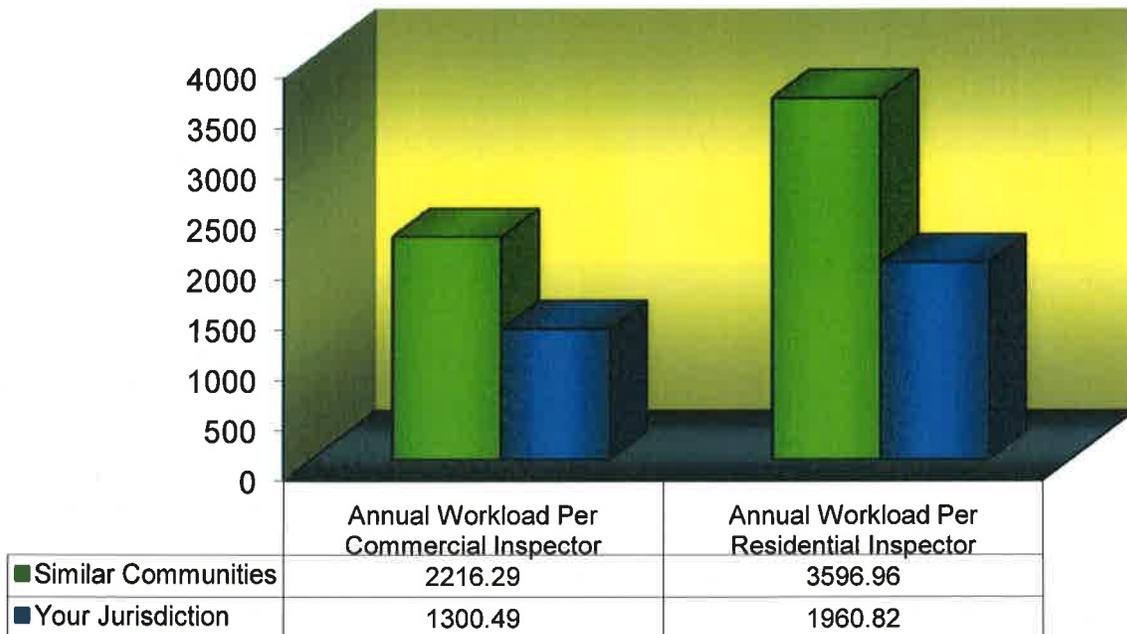


Chart B5-13 Plan Reviewer Staffing Comparison of Communities Issuing Similar Number of Permits Per Square Mile

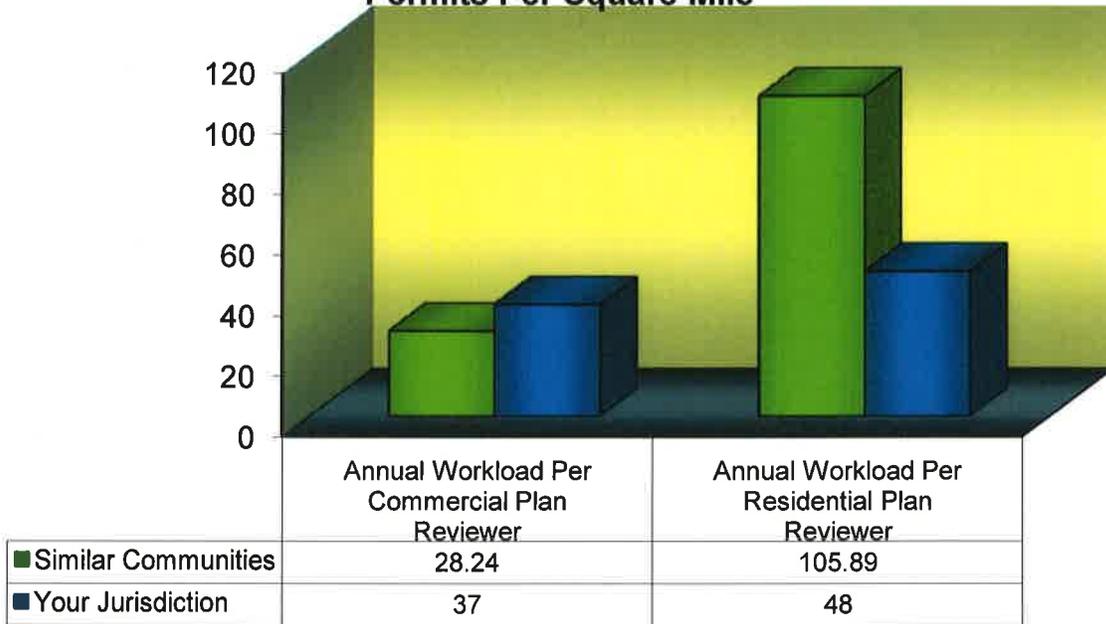
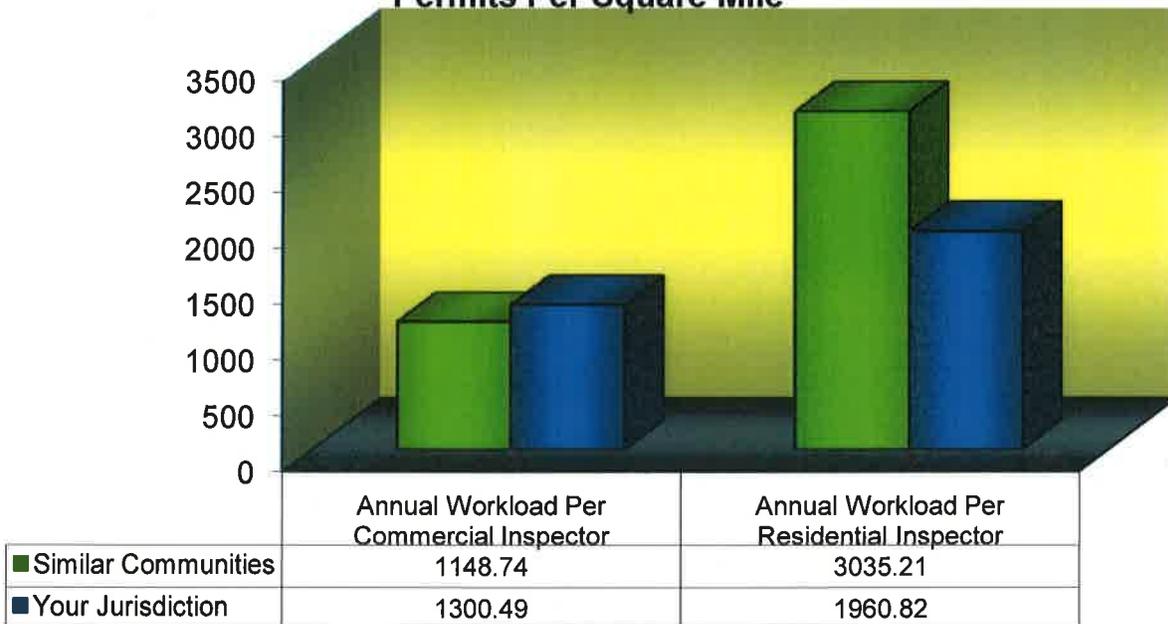


Chart B5-14 Inspector Staffing Comparison of Communities Issuing Similar Number of Permits Per Square Mile



Section 6 BCEGS™ Points Analysis

ISO has been surveying and evaluating building code adoption and enforcement in communities around the country since 1995. To maintain relevant information the BCEGS™ program is designed to conduct surveys on a 5 year cycle. The information in this section will give you some insight to trends in your jurisdiction, your state and across the country.

Table 6-1 details the points your department earned during the most recent survey as well as the points earned in the previous survey including a comparison of the two. This information may be used to track local trends or pin-point improvement target areas.

Table 6-1

Building Code Effectiveness Grading Point Comparison

	Point Totals						
	Current Grading Yr: 2012		Maximum Points Possible	Previous Grading Yr: No		Difference	
	Com	Res		Com	Res	Com	Res
Section I - Administration of Codes	26.04	25.81		0	0	26.04	25.81
Section 105 - Adopted Building Codes	2.21	2.1	8.00	0	0	2.21	2.1
Section 108 - Additional Adopted Codes	0.54	0.54	4.00	0	0	0.54	0.54
Section 110 - Modification to Adopted Codes	1.11	1.05	4.00	0	0	1.11	1.05
Section 112 - Method of Adoption	0	0	1.00	0	0	0	0
Section 115 - Training	9.74	9.74	13.00	0	0	9.74	9.74
Section 120 - Certification	4.94	4.88	12.00	0	0	4.94	4.88
Section 125 - Building Official's Qualification / Exp / Education	2.4	2.4	4.00	0	0	2.4	2.4
Section 130 - Selection Procedure for Building Official	0	0	0.50	0	0	0	0
Section 135 - Design Professionals	0	0	2.00	0	0	0	0
Section 140 - Zoning Provisions	1	1	1.00	0	0	1	1
Section 145 - Contractor / Builder Licensing & Bonding	0.9	0.9	1.00	0	0	0.9	0.9
Section 150 - Designer Licensing Violation Reporting	0	0	0.50	0	0	0	0
Section 155 - Public Awareness Programs	2.5	2.5	2.50	0	0	2.5	2.5
Section 160 - Participation in Code Development Activities	0.5	0.5	0.50	0	0	0.5	0.5
Section 165 - Administrative Policies & Procedures	0.2	0.2	0.50	0	0	0.2	0.2

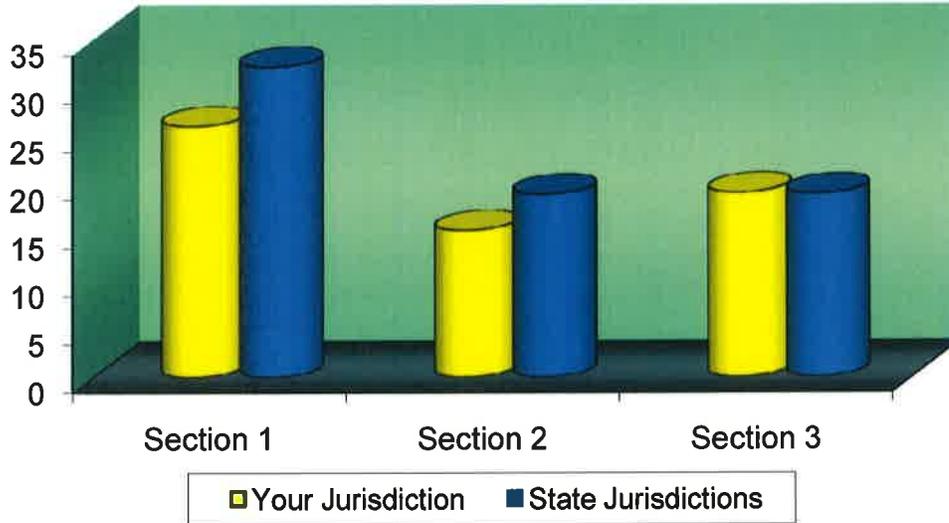
Building Code Effectiveness Grading Point Comparison (continued)

	Point Totals						
	Current Grading Yr: 2012		Maximum Points Possible	Previous Grading Yr: No		Difference	
	Com	Res		Com	Res	Com	Res
Section II - Plan Review	15.22	18.23		0	0	15.22	18.23
Section 205 - Existing Staffing	4.42	7.43	9.00	0	0	4.42	7.43
Section 210 - Experience of Personnel	0.8	0.8	1.50	0	0	0.8	0.8
Section 215 - Detail of Plan Review	9.5	9.5	11.50	0	0	9.5	9.5
Section 220 - Performance Evaluation for Quality	0.5	0.5	1.00	0	0	0.5	0.5
Section III - Field Inspection	19.12	19.17		0	0	19.12	19.17
Section 305 - Existing Staffing	9	9	9.00	0	0	9	9
Section 310 - Experience of Personnel	2.05	2.05	3.00	0	0	2.05	2.05
Section 315 - Manage Inspection and Re-inspection activity	0.57	0.62	1.00	0	0	0.57	0.62
Section 320 - Inspection Checklist	0	0	2.00	0	0	0	0
Section 325 - Special Instructions	1	1	1.00	0	0	1	1
Section 330 - Inspections for Natural Hazard Mitigation	1.5	1.5	1.50	0	0	1.5	1.5
Section 335 - Final Inspections	2.5	2.5	2.50	0	0	2.5	2.5
Section 340 - Certificate of Occupancy	2	2	2.00	0	0	2	2
Section 345 - Performance Evaluation for Quality Assurance	0.5	0.5	1.00	0	0	0.5	0.5
Subtotal:	60.38	63.21	100.00	0.00	0.00	60.38	63.21
The final score is determined by a relationship between Item 105 and the balance of the scoring.							
Final Score:	18.28	18.14	100.00	0.00	0.00	18.28	18.14

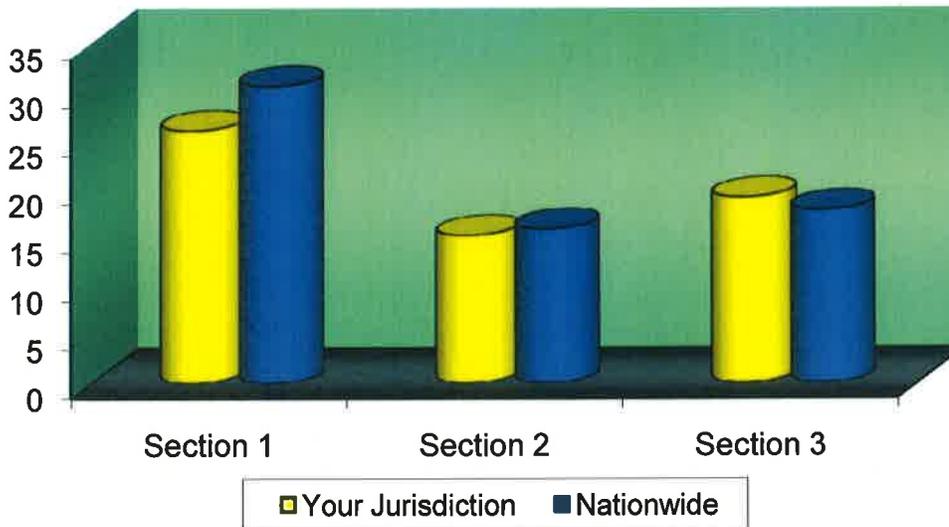
Benchmarking Information

Charts B6-1 through B6-4 compared the points earned by your department to the points earned by other departments in your state and across the country. The charts are broken down by commercial and residential as well as by section. You may use Table 6-1 as a guide for how points are earned in each section.

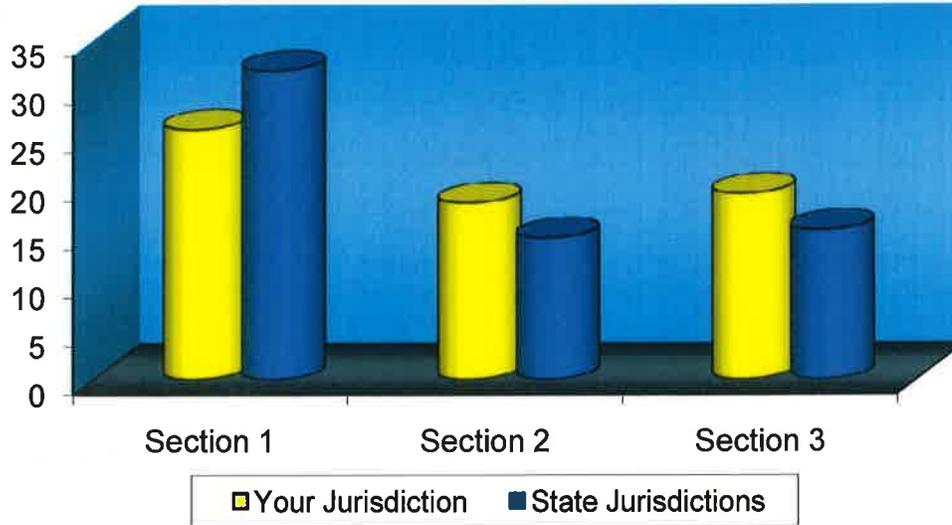
B6-1 Commercial Points Scored Compared to Your State



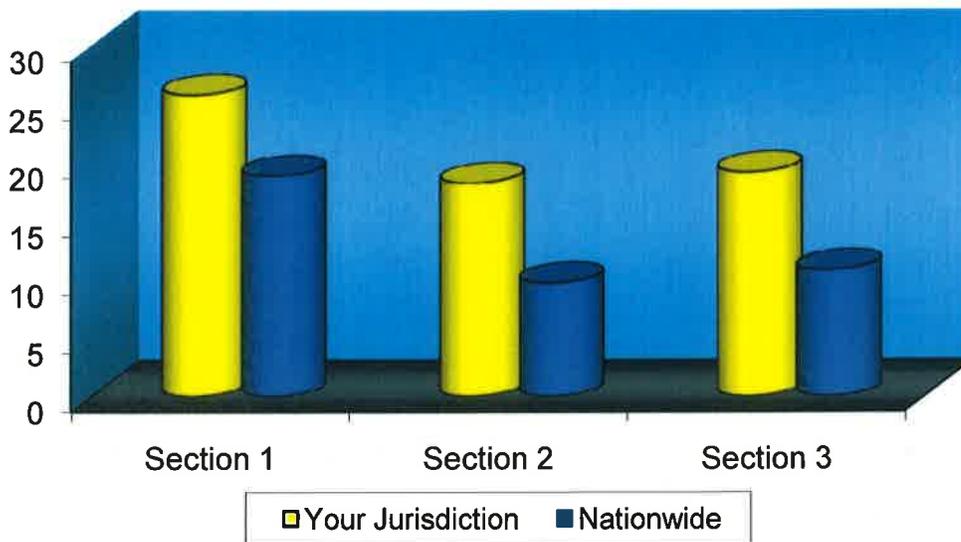
B6-2 Commercial Points Scored Compared Nationwide



B6-3 Residential Points Scored Compared to Your State



B6-4 Residential Points Scored Compared Nationwide



The following four charts represent the variation of classifications uncovered during the many BCEGS™ surveys ISO conducts each year. The charts compare the classification a community received in its previous evaluation to the evaluations conducted during the year indicated. Classifications are broken down by personal (residential) class, and commercial class. The results are grouped so that the first two charts (6-5 & 6-6) represent regions where seismic concerns are the major issue; while the second pair of charts represents regions where hurricane concerns represent the most prevalent natural hazard potential.

Chart 6-5 residential classification variations in the seismic region

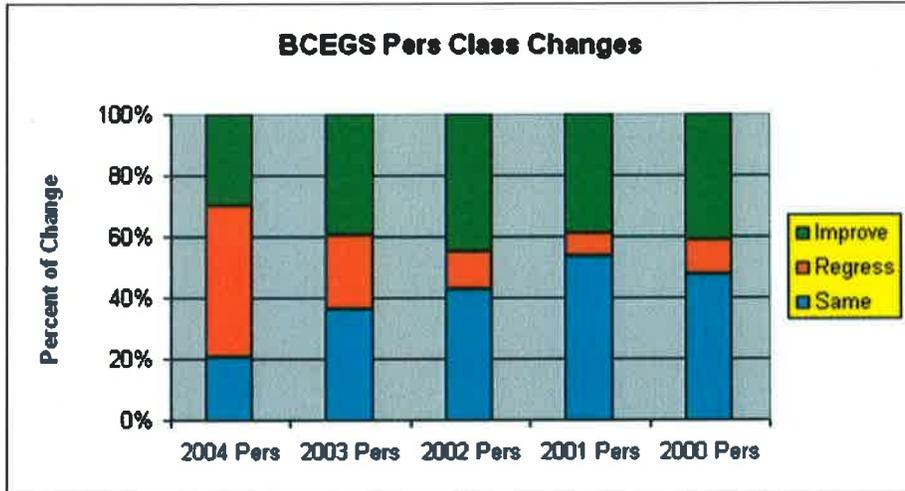


Chart 6-6 commercial classification variations in the seismic region

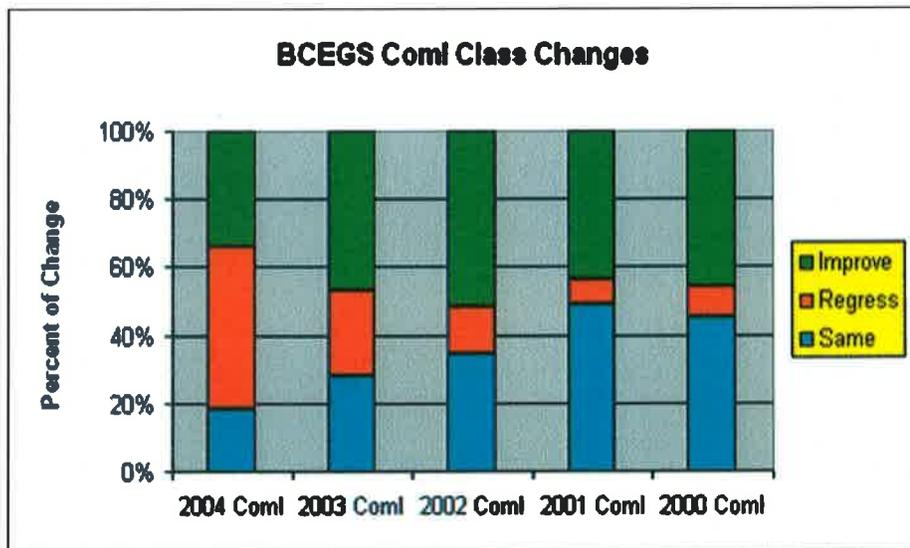


Chart 6-7 residential classification variation in the hurricane region

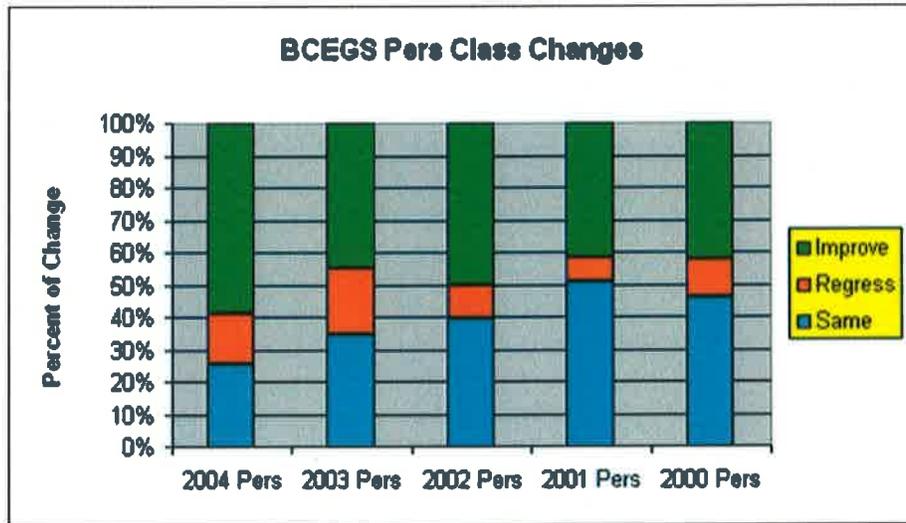
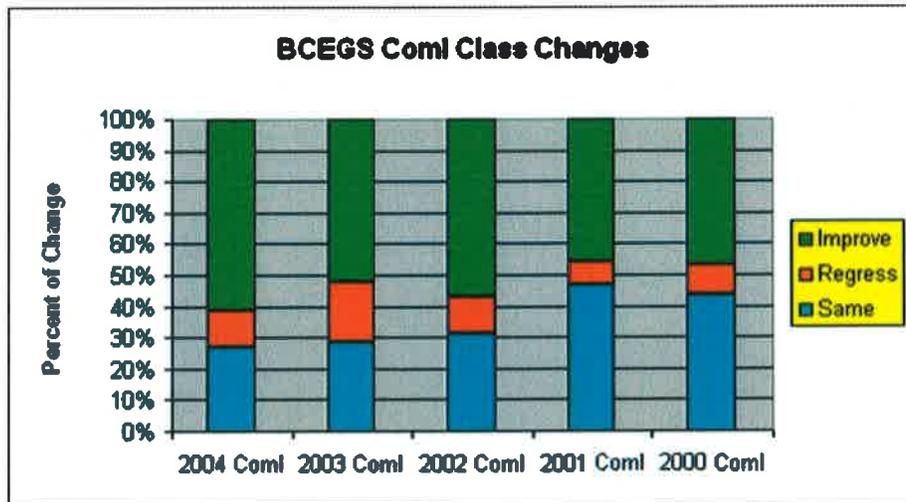


Chart 6-8 commercial classification variation in the hurricane region



Section 7 Natural Hazards

Different parts of the country are subject to a variety of potential natural hazards. The map below is an overview of those potentials:

Map 7-1



In cooperation with AIR (an ISO company) we have prepared the following hazard report using the municipal building address you supplied during the survey meeting. A full explanation of how to read and interpret the following profiles can be found in Appendix A.

Single Location Hazard Profile

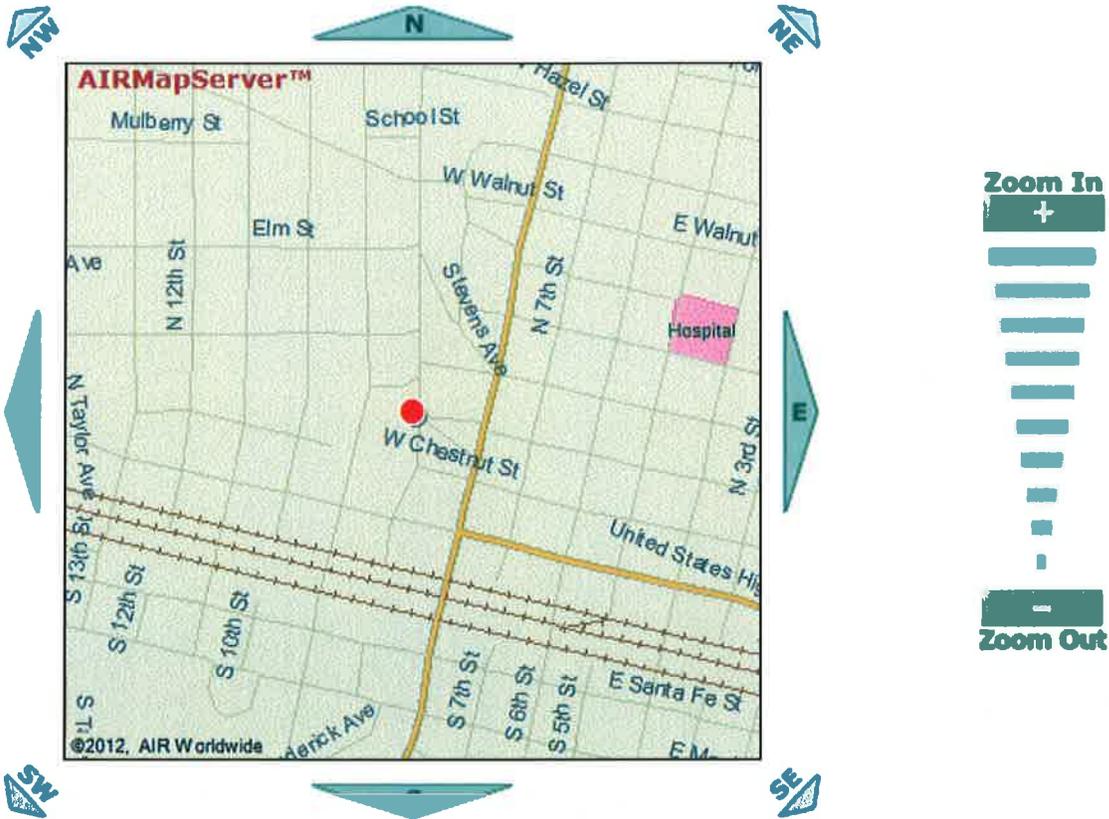
Location Name:

Entered Address: 301 North 8th Street, Garden City, KS 67846
 Latitude: 37.967960° North
 Longitude: -100.875205° East

Catastrophe Hazard Information

Matched Address: 301 N 8TH ST, GARDEN CITY, FINNEY County, KS 67846
 Geocode Match: Exact Address
 Latitude: 37.967960° North
 Longitude: -100.875205° East

More Maps: [Disclaimer](#) [Google™ Earth](#)



Hurricane Profile

A Hurricane Profile is not available.

Severe Thunderstorm Profile

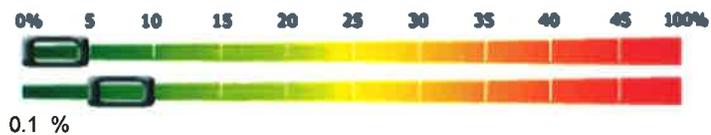
Risk

(Percentage Loss)

100-year loss level:

250-year loss level:

Average Annual Loss:



Relative Risk

(Percentile)

within county:

within state:



Hazard Information

Tornado:

Very High /High /Moderate /Low /Very Low

Hail Storm:

Very High /High /Moderate /Low /Very Low

Straight-line Wind:

Very High/**High** /Moderate /Low /Very Low

Nearest Historical Tornadoes

Date	Distance (mi)	Intensity (Fujita Scale)
May 5, 1993	40.44	4
April 30, 1972	42.89	4
June 23, 1967	2.07	3
June 16, 1962	14.02	3
May 13, 1968	35.69	3

Nearest Historical Hail Storms

Date	Distance (mi)	Intensity by Average Hail Size (in)
June 21, 1969	16.09	>=4.0
May 26, 1996	25.06	>=4.0
June 14, 1967	36.78	>=4.0
June 14, 1967	42.02	>=4.0
July 25, 1992	44.19	>=4.0

Nearest Historical Straight-Line Wind Storms

Date	Distance (mi)	Intensity by Average Wind Speed (mph)
July 21, 2000	21.69	90-100
August 20, 2007	6.78	90-100
May 27, 2001	18.44	90-100
May 15, 1995	13.76	80-90
May 7, 1995	35.40	80-90

Winter Storm Profile

Risk

(Percentage Loss)

100-year loss level:

250-year loss level:



Average Annual Loss:



Relative Risk

(Percentile)

within county:

within state:



Hazard Information

Wind Frequency: Very High / High / Moderate / **Low** / Very Low

Snow Frequency: Very High / High / Moderate / Low / **Very Low**

Earthquake Profile

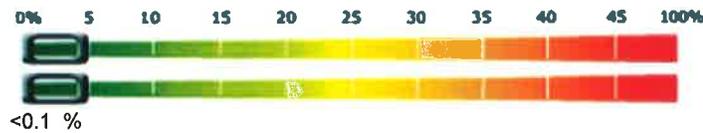
Risk

(Percentage Loss)

100-year loss level:

250-year loss level:

Average Annual Loss:



Relative Risk

(Percentile)

within county:

within state:



Earthquake Information

CA DOI Zone: Not Applicable

Liquefaction Potential: Data Not Available

Landslide Zone:

Alquist-Priolo Fault Zone: Not Applicable

Soil Type: Stiff clay and Sandy soil(firm soil)

Intensity by Probability of Exceedance (PE):

Modified Mercalli Intensity	VI	VII	VIII	IX	X	XI	XII
30 Year PE	0.07%	0.03%	0.01%	0%	0%	0%	0%

Intensity by Return Period:

Return Period	100 Year	200 Year	250 Year	475 Year
Modified Mercalli Intensity	3.0	3.0	3.0	3.0

Fault Information

Name	Distance To Fault (mi)	Fault Length (mi)	Characteristic Event (magnitude)	Return Period (years)
Cheraw	131.23	27.34	7.00	16722
Cheraw	131.23	27.34	6.88	6954

Historical Earthquakes

No significant historical earthquake has been recorded within a 200 mile radius of the address.

Flood Profile

No Flood Zone Information Available.

Appendix A – Natural Hazard General Information

AIRProfiler is designed to provide users with vital, peril-specific characteristics of the property location, such as storm surge potential and distance to nearest active fault, as well as risk scores, which are quick measures of the risk and relative risk associated with the property.

This release of *AIRProfiler* includes hurricane profiles for all states in the continental U.S. at risk from hurricanes, as well as earthquake, severe thunderstorm and flood profiles for the forty-eight contiguous states.

- The Address Profile displays important information regarding the accuracy of the look-up for the entered address, the geocode of that address and a street map. The Hurricane Profile provides hurricane risk information for the location as well as other related hazards including storm surge potential and distance to nearest historical hurricane track.
- The Earthquake Profile, in addition to showing risk level and ranking, shows susceptibility of the location to different hazards. Those hazards include liquefaction, landslide potential, and fault zone information.
- The Flood Profile provides the proximity of a location to one of five flood zone categories as well as the location's distance to various flood plain boundaries based on FEMA Digital Q3 flood data.
- The Severe Thunderstorm Profile provides information about risk from tornado, hail, and straight-line windstorms for a given location, including distance to nearest historical storms and annual frequency.

Based on the address information provided, *AIRProfiler*[®] displays the corrected and standardized address following USPS[®] rules and guidelines, as well as the geocode (latitude and longitude), county, and ZIP Code of the location. *AIRProfiler* performs a look-up in the LOCATION[™] database. The hazard is then assessed based on an exact address or ZIP Code match.

AIR's geocoding algorithm, based on the TIGER[®] geographical database, is used to convert the location address entered by the user into the corresponding latitude and longitude. Depending on the address match, either the exact geocode, or the geocode of the appropriate ZIP Code centroid, is used for assessing the risk.

- The Address Profile also provides a street map of the location.

Given a location, the loss potential from specific perils is represented by various risk scores. Risk scores are determined by performing a loss analysis on a typical residential building at that location. The analysis is performed using AIR's state-of-the-art modeling technologies. Note that content and time element (loss of use) calculations are excluded from the analysis. Based on this analysis of the location, AIRProfiler® provides two sets of scores:

Risk Scores. The user can obtain indications of risk based on three measures of potential loss: the 100-year loss level, the 250-year loss level, and the average annual loss. These levels represent, respectively, the loss likely to occur in one year out of every 100 years, one in every 250 years, and every year *on average* over a period of many years. The resulting risk scores are expressed in percentage terms, as below:

Low Risk		Moderate Risk				High Risk			Very High Risk
<5%	5-10%	10-15%	15-20%	20-25%	25-30%	30-35%	35-40%	40-45%	>45%

Relative Risk Scores. In addition to the risk score of a given location, AIRProfiler also displays the location's relative risk by county and state. Relative risk ranks the loss potential of a location with respect to the loss potential of other locations in the county or state. The format of the ranking is based on percentile values from 10% to 100% percent.

The AIRProfiler® Hurricane Profile provides users with information about the hurricane risk potential for a specific location. Risk scores for 100-year, 250-year and annual average losses, as well as relative risk ranking within county and state, are displayed. The profile also displays the following hurricane risk information:

- Storm surge potential
- Distance to coast
- Elevation
- Terrain/Land use
- Intensity and nearest distance to historical storm track for nearest historical hurricanes

In addition to strong winds and tides, storm surge can pose significant danger to life and property during hurricanes. Storm surge is caused by winds pushing water toward the shore. When combined with high tide, storm surge can cause an increase in the mean water level and so result in severe flooding and substantial property loss. The densely populated Atlantic and Gulf coastlines that lie less than ten feet above mean sea level are particularly vulnerable to storm surge.

The AIRProfiler® Hurricane Report indicates whether or not the property is at risk from storm surge.

The *AIRProfiler*[®] Earthquake Profile provides users with information about the earthquake risk potential for a specific location. Risk scores for 100-year, 250-year and average annual losses, as well as relative risk ranking within county and state, are displayed. The profile also displays the following risk information:

- The California Department of Insurance (DOI) zone
- Liquefaction potential
- Landslide zone
- Earthquake fault (Alquist-Priolo) zone
- Soil type
- Seismicity
- Fault information
- Historical earthquakes

When seismic waves pass through water-saturated, loosely packed sandy soils, contact pressure between the individual grains is lost. The grains become more densely configured, causing pore pressure to increase. If drainage is inadequate, what was once solid ground now behaves as a dense fluid, incapable of supporting buildings. Structures that may have survived the effects of shaking can deform, tilt or sink. They may remain structurally intact, but have become unusable and unsalvageable.

Liquefaction risk at a given site is represented by that site's potential to experience damage resulting from liquefaction. Liquefaction potential is a measure of a soil's susceptibility to liquefaction combined with a location's level of earthquake risk. AIR applies standard methodologies used by the Division of Mines and Geology (DMG), United States Geological Survey (USGS), to calculate liquefaction potential. The *AIRProfiler*[®] Earthquake Profile describes a location's liquefaction potential by one of five levels: very high, high, moderate, low, or very low.

The underlying soil type may have a determining effect on potential earthquake damage to structures. Certain types of soils, such as soft soils, are capable of amplifying seismic waves, hence causing more severe damage. Also, some types of soil, such as bay mud, sandy soil, and stiff to soft soil, are also more susceptible to liquefaction. Soil is classified according to its mechanical properties.

The *AIRProfiler*[®] Earthquake Profile for a particular location uses ten soil type classifications:

- Hard rock
- Rock
- Very dense soil
- Stiff soil
- Soft soil
- Rock to very dense soil
- Very dense to stiff soil
- Stiff to soft soil
- Bay mud Water

One measure of earthquake intensity is the level of ground shaking at any particular location. Over the years, several intensity scales have been proposed, but the Modified Mercalli Intensity (MMI) scale is the most commonly used, especially in the United States. The MMI scale describes the intensity of an earthquake based on human reaction and observed damage to natural and man-made structures. This is useful because it allows for an attribution of intensity to events that occurred prior to the advent of modern measuring devices, as well as in instances in modern times where those devices were not available. The drawback to this standard of measure is that the MMI scale is highly subjective. The following table lists the MMI scales and definitions.

MMI	Definition
I.	People do not feel any movement.
II.	A few people might notice movement if they are at rest and/or on the upper floors of tall buildings.
III.	Many people indoors feel movement. Hanging objects swing back and forth. People outdoors might not realize that an earthquake is occurring.
IV.	Most people indoors feel movement. Hanging objects swing. Dishes, windows and doors rattle. The earthquake feels like a heavy truck hitting the walls. A few people outdoors may feel movement. Parked cars rock.
V.	Almost everyone feels movement. Sleeping people are awakened. Doors swing open or close. Dishes are broken. Pictures on the wall move. Small objects move or are turned over. Trees might shake. Liquids might spill out of open containers.
VI.	Everyone feels movement. People have trouble walking. Objects fall from shelves. Pictures fall off walls. Furniture moves. Plaster in walls might crack. Trees and bushes shake. Damage is slight in poorly built buildings. No structural damage.
VII.	People have difficulty standing. Drivers feel their cars shaking. Some furniture breaks. Loose bricks fall from buildings. Damage is slight to moderate in well-built buildings; considerable in poorly built buildings.
VIII.	Drivers have trouble steering. Houses that are not bolted down might shift on their foundations. Tall structures such as towers and chimneys might twist and fall. Well-built buildings suffer slight damage. Poorly built structures suffer severe damage. Tree branches break. Hillsides might crack if the ground is wet. Water levels in wells might change.
IX.	Well-built buildings suffer considerable damage. Houses that are not bolted down move off their foundations. Some underground pipes are broken. The ground cracks. Reservoirs suffer serious damage.
X.	Most buildings and their foundations are destroyed. Some bridges are destroyed. Dams are seriously damaged. Large landslides occur. Water is thrown on the banks of canals, rivers, lakes. The ground cracks in large areas. Railroad tracks are bent slightly.
XI.	Most buildings collapse. Some bridges are destroyed. Large cracks appear in the ground. Underground pipelines are destroyed. Railroad tracks are badly bent.
XII.	Almost everything is destroyed. Objects are thrown into the air. The ground moves in waves or ripples. Large amounts of rock may move.

The data presented in *AIRProfiler*[®] is developed by calculating MMI values for each location. It incorporates all potential seismic sources, the distance of those sources from the location of interest, and local site conditions. Because MMI is considered as a measure of what the ground is doing during an earthquake, rather than an index of damage to structures, damageability of building at the site is not included in the calculation. Those who are more interested in damage estimation should refer to 100- and 250-year loss levels.

The MMI values are represented in two ways in the Earthquake Profile:

- Intensity by PE (probability of exceedance)
- Intensity by Return Period

The first representation, defined by probability of exceedance, is the probability that at least one event of that MMI will occur within 30 years. The second representation, based on return period, depicts the maximum intensity of an event that is likely to occur within the designated return period; that is, the intensity corresponds to the maximum event that is likely to occur within the return period displayed.

Proximity to an active fault is an important indication of seismicity for a specific location. The *AIRProfiler*[®] Earthquake Profile displays the property's distance to the nearest known active faults. Important characteristics of these faults are displayed, including fault length, and the magnitude and frequency of the "characteristic" event associated with that fault. (Scientists believe that many faults tend to produce earthquakes of a particular size, or magnitude, that is "characteristic" of that particular fault, and that occur with a particular frequency, or recurrence rate).

The AIRProfiler® Flood Profile provides users with information about the flood risk potential for a specific location. Each location is characterized by its proximity to one of five flood zone categories as follows:

- Water body: Includes large lakes and rivers
- 100-year flood plain: Areas where there is 1% chance of being flooded
- 500-year flood plain: Areas where there is 0.2% chance of being flooded
- Outside flood plain: Areas outside of water body, 100- and 500-year flood plains
- No data: Areas where there is no data available

The proximity of the location to FEMA defined flood zones is also provided:

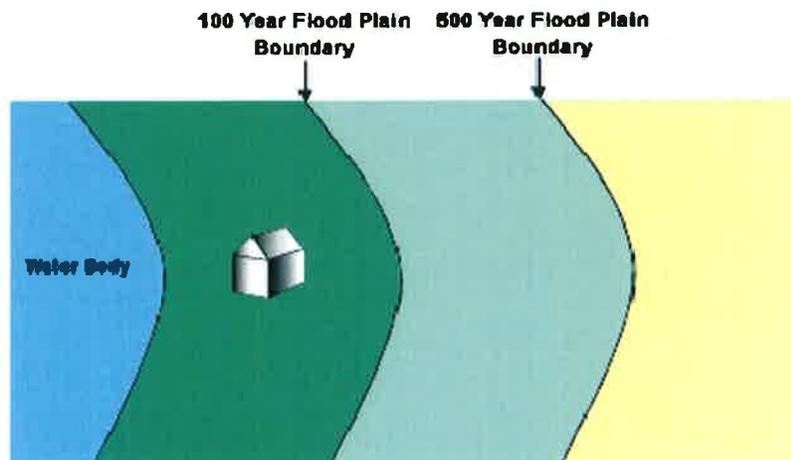
FEMA Zone	Description
V	An area inundated by 100-year flooding with velocity hazard (wave action); no BFE*s have been determined.
VE	An area inundated by 100-year flooding with velocity hazard (wave action); BFEs have been determined.
A	An area inundated by 100-year flooding, for which no BFEs have been determined.
AE	An area inundated by 100-year flooding, for which BFEs have been determined.
AO	An area inundated by 100-year flooding (usually sheet flow on sloping terrain), for which average depths have been determined; flood depths range from 1 to 3 feet.
AOVEL	An alluvial fan inundated by 100-year flooding (usually sheet flow on sloping terrain), for which average flood depths and velocities have been determined; flood depths range from 1 to 3 feet.
AH	An area inundated by 100-year flooding (usually an area of ponding), for which BFEs have been determined; flood depths range from 1 to 3 feet.
A99	An area inundated by 100-year flooding, for which no BFEs have been determined. This is an area to be protected from the 100-year flood by a Federal flood protection system under construction.
D	An area of undetermined but possible flood hazards.
AR	An area inundated by flooding, for which BFEs or average depths have been determined. This is an area that was previously, and will again, be protected from the 100-year flood by a Federal flood protection system whose restoration is federally funded and underway.
X500	An area inundated by 500-year flooding; an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile; or an area protected by levees from 100-year flooding.
X	An area that is determined to be outside the 100- and 500-year floodplains.
100IC	An area where the 100-year flooding is contained within the channel banks and the channel is too narrow to show to scale. An arbitrary channel width of 3 meters is shown. BFEs are not shown in this area, although they may be reflected on the

	corresponding profile.
500IC	An area where the 500-year flooding is contained within the channel banks and the channel is too narrow to show to scale. An arbitrary channel width of 3 meters is shown.
FWIC	An area where the floodway is contained within the channel banks and the channel is too narrow to show to scale. An arbitrary channel width of 3 meters is shown. BFEs are not shown in this area, although they may be reflected on the corresponding profile.
FPQ	An area designated as a "Flood Prone Area" on a map prepared by USGS and the Federal Insurance Administration. This area has been delineated based on available information on past floods. This is an area inundated by 100-year flooding for which no BFEs have been determined.
IN	An area designated as within a "Special Flood Hazard Area" (or SFHA) on a FIRM. This is an area inundated by 100-year flooding for which BFEs or velocity may have been determined. No distinctions are made between the different flood hazard zones that may be included within the SFHA. These may include Zones A, AE, AO, AH, A99, AR, V, or VE.
OUT	An area designated as outside a "Special Flood Hazard Area"(or SFHA) on a FIRM. This is an area inundated by 500-year flooding; an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile; an area protected by levees from 100-year flooding; or an area that is determined to be outside the 100- and 500-year floodplains. No distinctions are made between these different conditions. These may include both shaded and unshaded areas of Zone X.
ANI	An area that is located within a community or county that is not mapped on any published FIRM.
UNDES	A body of open water, such as a pond, lake, ocean, etc., located within a community's jurisdictional limits, that has no defined flood hazard.
*BFE = Base Flood Elevation	

The Flood Profile provides the shortest distance of the location to the various flood plain boundaries. Three types of distance measurement is provided:

- Shortest distance to the boundary of water body
- Shortest distance to the boundary of 100-year flood plain
- Shortest distance to the boundary of 500-year flood plain

The following map illustrates the way distance from flood plain boundaries are calculated:



The *AIRProfiler*[®] Severe Thunderstorm Profile provides users with information about the severe thunderstorm risk potential for a specific location. The Severe Thunderstorm Profile includes risks due to tornado, hail, and straight-line wind. Risk scores for 100-year, 250-year and annual average losses, as well as relative risk ranking within county and state, are displayed. The profile also displays the following risk information:

Annual Frequency

This field represents the annual frequency of occurrence for tornado, hail, and straight-line windstorms. A qualitative description of the frequency (very high, high, moderate, low, or very low) is displayed.

Historical Severe Thunderstorms

In this section of the Severe Thunderstorm Profile, *AIRProfiler* identifies information on the five most severe tornado, hail, and straight-line wind events within 50 miles of the given location. The following characteristics are displayed: year, date, distance from location, and intensity. The description of intensity varies by peril. For tornadoes, the Fujita scale is used. The intensity of hailstorms is measured by average hailstone size and the intensity of straight-line windstorms is derived from a measurement of maximum wind speed.

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A description of the listed hazards follows:

- A. **Brush and Forest Fires:** Areas with heavy vegetation and a dry season can be subject to forest and brush fires. Local building and zoning regulations address this hazard in some areas of the country. Buffer zones which are free from brush and other fuel sources, as well as the use of fire resistive exterior siding and roofing can be utilized to mitigate this hazard.
- B. **Earthquake:** Earthquakes are caused by a tension release from the earth's tectonic plates that causes the ground to shake or vibrate. Most casualties associated with earthquakes are caused by structural failures in buildings and fires caused from electrical shorts and gas leaks. All of the model codes have seismic zones where buildings should be constructed to withstand at least a moderate earthquake. The codes are currently geared towards avoiding a structural collapse. This is a life safety issue and a building can still sustain enough physical damage to render it unusable after the earthquake occurs. Since 1900 earthquakes have occurred in 39 states and caused damage in all 50.
- C. **Floods:** Floods are one of the most common disasters in the United States, and cause damage to thousands of structures annually. Floodplain construction is addressed in most building codes and many zoning regulations. Flood mitigation is addressed through the National Flood Insurance Program which provides insurance credit incentives for complying with FEMA regulations. Flood as a hazard falls outside the scope of the BCEGS program.
- D. **Hail:** Consists of icy pellets of various sizes that are usually associated with thunderstorms or tornadic activity. Large hail can cause substantial damage to roof surfaces. In a typical year the insurance industry pays out \$1.5 Billion in hail damage claims. In rare cases hail has caused structural damage and building collapses. Building codes usually do not address potential damage from hail.
- E. **High Winds:** High strait line winds can occur anywhere in the United States and are caused by pressure and temperature variances in the Earth's atmosphere. High strait line winds are common in thunder storms, in the open plains where there are no obstructions to slow down the wind, in mountainous areas from upslope and downslope wind effects, on the East Coast from "Northeasters", and on the Pacific Coast from Santa Anna winds. Model Code groups have formulated maps based on 50 year mean recurrence intervals. The model codes currently apply the concept of "fastest wind speed" which is determined by an anemometer 33 ft. above the ground in open terrain. The anemometer measures the time it takes for one mile of air to pass its location. Wind maps are not based on potential maximum wind gust, but on "fastest wind speed," which has created confusion in media coverage of storms.
- F. **Hurricane:** This is a tropical low pressure system with a circular wind rotation of 74 mph or greater usually accompanied by rain, lightning, and sometimes tornadoes. These storms have the ability to travel inland for hundreds of miles, maintaining hurricane force winds.
- G. The Saffir-Simpson scale is used to rate the strength of a hurricane from 1 to 5 with 5 being the most severe. The Saffir-Simpson scale uses wind speed and storm surge to rate the hurricane's strength and potential for devastation. Model codes have addressed the probability of hurricanes by creating wind zones that range from 110 mph on barrier islands to 70mph inland. Structures must be designed and built to compensate for the potential

additional stress placed on structures by the wind in these zones. The structural designs must take into account both Positive and Negative Wind Loads. Roof systems must be anchored to the wall systems to resist the wind loads. The wall systems must also be strapped or bolted to the foundation and footing system to create a continuous resistive system. Building codes also address the potential storm surge for coastal construction, by requiring structures to be elevated on pilings.

- H. **Landslide/mudflow/debris flow:** This hazard is more common in, but not limited to mountainous areas. Earthquakes and heavy rains cause landslides. Mudflows and debris flows can be caused by heavy rains as well as volcanic eruptions in areas with snow and ice present. This is usually a localized occurrence, and is more of a zoning than a building code issue.
- I. **Lightning:** All states are subject to lightning in varying degrees. Lightning rods can be installed on structures in high probability areas, but most building codes do not address when lightning rods are required. In a typical year the insurance industry pays out over \$1 Billion in residential lightning damage claims.
- J. **Snow Loads:** This is a concern in snow belt areas in northern states and in mountainous areas. There are snow load maps created by the model code groups that address this situation. Some areas require a minimum roof pitch and higher design factors to compensate for the additional weight imposed on roofs by snow.
- K. **Soil Liquefaction:** This is a seismic concern. There are some soil types which, in the presence of a high enough water table, will take on the physical properties of a liquid when shaken by an earthquake. Buildings constructed in areas subject to liquefaction need to be designed to reduce or eliminate the possibility of uneven settling or tilting during an earthquake.
- L. **Soil Subsidence:** This is the shrinking or settling of soil due to its composition. Some soils compact or shrink excessively and this could cause foundation failure if not compensated for by foundation reinforcement. Some areas are subject to sink holes. These are typically caused by lime deposits being dissolved by underground water.
- M. **Swelling Soils:** This is common in clay based soils that do not drain well and needs to be compensated for by foundation reinforcement. Footings or foundations placed on or within expansive soils need to be designed to resist differential volume changes to prevent structural damage to the supported structure. As an alternative to special design the soil can be removed and replaced or stabilized.
- N. **Tornado:** Tornadoes are formed from mesocyclones or supercell thunderstorms. Tornadoes can strike in many places in the United States, but the greatest probability of tornadic activity is in a corridor from Texas to Wisconsin known as tornado alley. They occur usually in the spring or fall of the year during the late afternoon when the atmosphere is least stable. Tornadoes are measured by the Fujita Scale (F-SCALE), which measures the wind speed and damage potential. The scale ranges from F0 to F5 with F5 being the most severe storm. Damages from a direct hit by the strongest tornadoes cannot be mitigated, but the

collateral damages that occur in surrounding areas can be reduced. The wind provisions of the model codes can help to limit damages from the most common, weaker tornadoes.

- O. **Tsunamis:** (tidal wave) These are large sea waves usually caused by earthquakes or volcanic eruptions, and are most common in the Pacific Ocean. The potential devastation of a Tsunami is enormous, but little is being done to mitigate this hazard. Several Pacific Coast States have enacted zoning regulations to prevent schools and hospitals from being built in low areas subject to tsunamis.

- P. **Volcanoes:** There are numerous dormant and active volcanoes in the Western United States, and the potential danger is catastrophic near these volcanoes. Collateral damage could occur for hundreds of miles. Building codes can do little to address this danger, but some areas require additional roof structure design to compensate for volcanic ash load. Zoning restrictions are a more viable means of mitigation.

Staff Reports

**CITY OF GARDEN CITY
ZOO DEPARTMENT
OCTOBER 2012 MONTHLY REPORT**

ANIMAL DIVISION

ACCESSIONS:

Birth/Hatchings

None

Transactions (Purchases, donations, etc.)

0.1	Green tree python	Donated by Moody Gardens
0.0.1	Bearded dragon	Donated by public
0.1	Kookaburra	Donated by NEW Zoo
0.2	Stanley cranes	Miami MetroZoo (one trade, one purchase)
2.0	Collared finch-billed bulbuls	Donated by Houston Zoo
0.1	Hamerkop	Purchased from San Diego
1.0	Red kangaroo	Donated by Philadelphia Zoo

DEACCESSIONS

Deaths

0.1	Karakul sheep	Euthanized- tendon/ligament damage front legs
0.1	Bar headed goose	Results pending, heart issue at least (old age)
0.2	New Caledonian crested gecko	Undetermined

Transactions (Sales, donations, etc.)

1.0	Bali mynah	Donated to Dallas World Aquarium
0.1	Bali mynah	Donated to Los Angeles Zoo

Tropical birds moved to winter holding from outdoor flights. Baby Goeldi's monkey parental care intervention. Green tree python exhibit placed on display. Reviewing Keeper applications and doing interviews. Training for elephant ultrasounds (AZA Accreditation standard).

ADMINISTRATION DIVISION

Tortoises relocated and exhibit Grand Opening held. Cat Canyon construction: block and dirt work complete, roofing done. Rock theming underway. BOO! At the Zoo held with attendance of 5300 and net income of \$21,000. The new members only "Sleepy Hollow Wagon tours" were well received. Other events included Walktober, Leave a Legacy races, FOLRZ members only crane tour, and Alzheimer's walk. Office staff is working with an outside firm on a long term rental of Hart Conference Room, including permanent electrical circuit upgrades to accommodate 26 computers. CIP's completed. Zoo logo redesign almost completed.

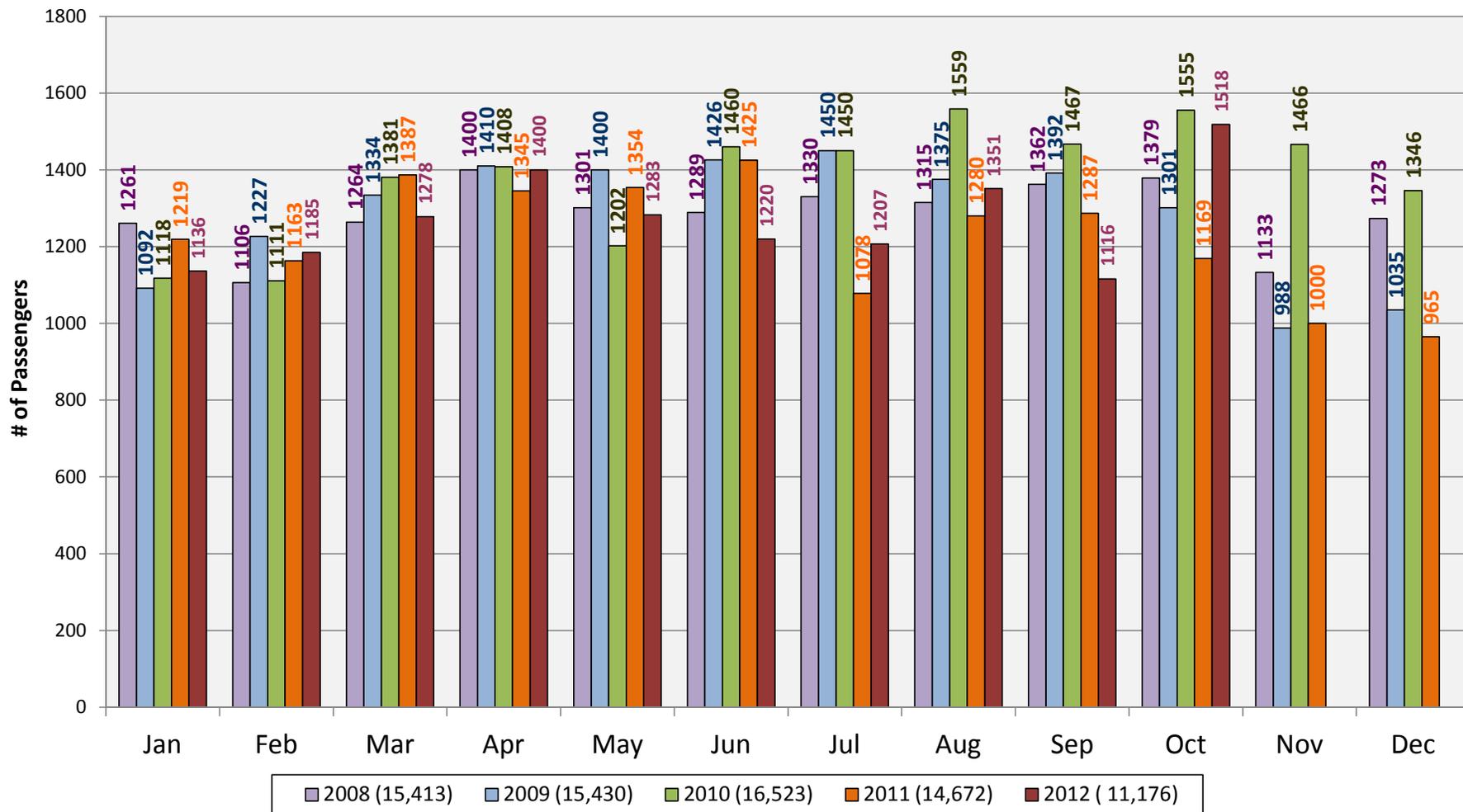
EDUCATION DIVISION

The division gave 162 programs to 3733 people, reached 5320 additional people through 25.5 hours of informal programming, and served 777 people in 40 classes through 4 discovery box loans. Staff helped with special events in addition to regular educational programming. Whitney did webpage and cell phone tours updates and conducted a docent refresher. Misty worked on Homeschool programs, a photography classes and graphics. Tarra organized Pet Expo booth and helped with United Way Pacesetters committee. Misty and Tarra attended a Nature Start webinar, and Misty is taking an online class.

MAINTENANCE DIVISION

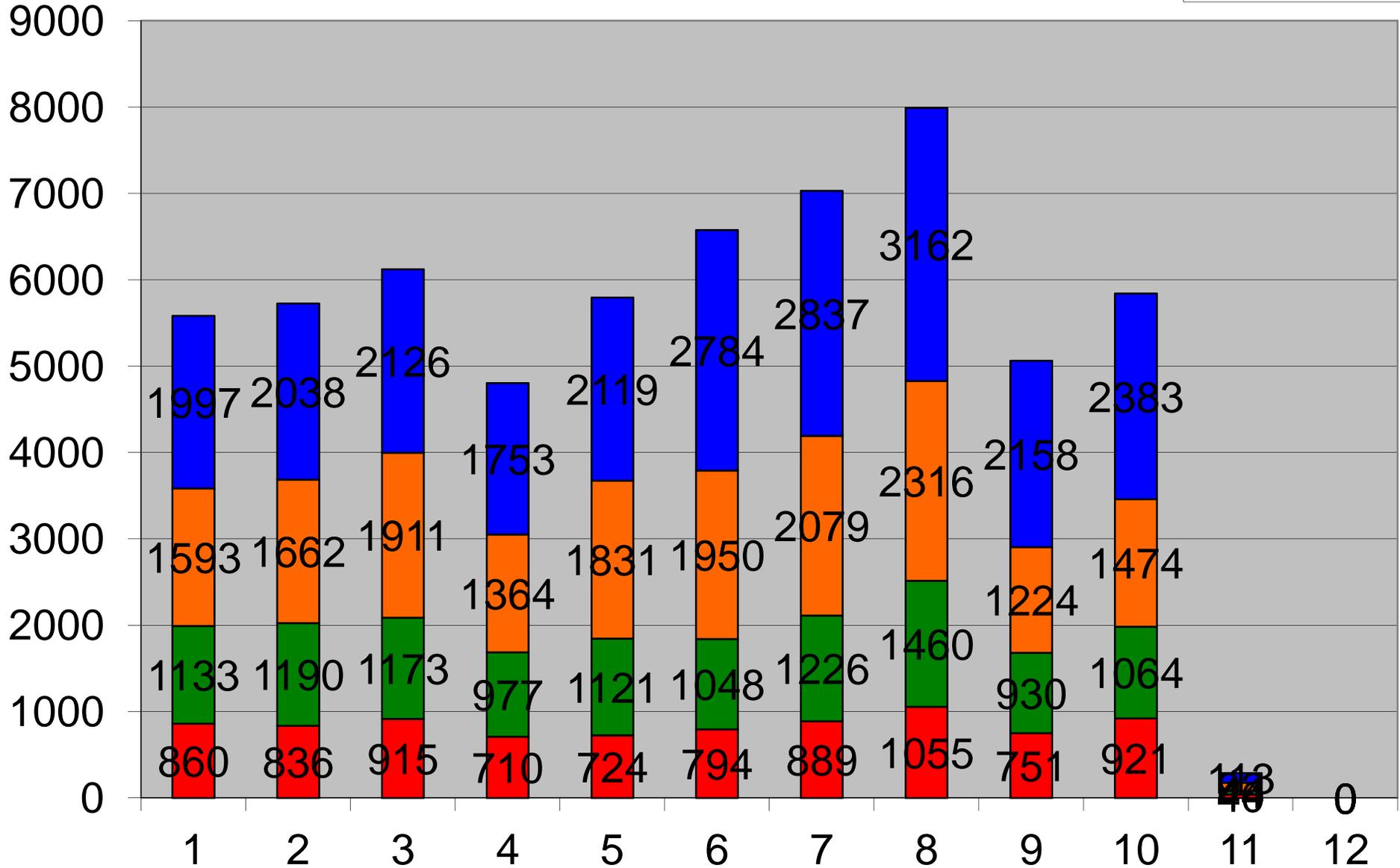
Completed French drain on west green to eliminate standing water on road. Assisting at Cat Canyon as required. Deep watering and other preparations for winter. Working on climb barrier panels for new panda yard, and worked inside macaque building to ready for pandas. Installed tortoise bench and 3 memorial benches. Took sail shades down. Worked compost site. Repaired post/rope fences at aviary and bison. Replaced damaged fence panels and several failing poles (annual safety check) in bison yard. Added bars to prevent bowing of HDPE panels in pampas barn. Repairs to interactives at FCCE. New propeller installed on west duck pond aerator. BOO prep and cleanup. Heater work at shop, lions, pampas and both panda barns. Cleaned shop and recycled pallets and metal. Installed white board cabinet and cash lock box for FOLRZ. Timber replacement at Asia flight, and various equipment repair.

Mini Bus Ridership Yearly Comparison



CITY LINK RIDERSHIP 2012

- BLUE ROUTE
- ORANGE RTE
- GREEN ROUTE
- RED ROUTE



JANUARY 2012 THRU DECEMBER 2012

**FINNEY COUNTY TRANSIT REPORT
OCTOBER, 2012**

	REPAIRS/ MAINT./ OTHER	FUEL	MILES DRIVEN	MILES ON VEHICLE	FARES	ELDLY	DSBL	GEN. PUBLIC	TOTAL PASS.	NON- AMBUL.	LIFT STANDEE	CANE/ WLKR.	INSURANCE
#27	-\$158.02	\$505.43	1,042	3170	\$108.65	31	20	193	244	0	0	0	\$280.00
	Reimbursement for bike rack parts returned to manufacturer												
#8	\$0.00	\$71.61	259	114685	\$61.85	3	7	53	63	0	0	0	\$449.50
	Replaced bolt in right outside mirror and switched batteries												
#10	\$354.86	\$109.15	433	42447	\$100.00	82	21	7	110	21	10	14	\$482.50
	Changed small light bulb right front park light and dome light on left back; Secure Loop wheelchair supplement straps; repaired A/C												
#11	\$0.00	\$663.96	1,691	114193	\$270.96	0	0	440	440	0	0	0	\$498.50
	Serviced-changed oil/lube/filter; replaced broken pin in bike rack												
#12	\$75.60	\$286.64	304	26228	\$61.00	50	17	10	77	13	12	16	\$498.50
	Replaced rear brake pads; Secure Loop wheelchair supplement straps												
#14	\$500.00	\$0.00	58	60029	\$7.00	1	1	3	5	0	0	0	\$400.00
	Serviced-changed oil/lube/filter; deductible for repairs												
#15	\$75.60	\$473.03	714	17673	\$147.20	133	35	28	196	43	4	8	\$607.50
	Secure Loop wheelchair supplement straps												
#16	\$75.61	\$370.32	897	18378	\$165.00	144	53	21	218	36	21	33	\$607.50
	Adjusted hood latch; Secure Loop wheelchair supplement straps												
#17	\$75.60	\$580.87	1,150	22096	\$273.00	281	50	37	368	75	0	76	\$607.50
	Secure Loop wheelchair supplement straps												
#18	\$75.60	\$225.19	730	17139	\$248.00	122	27	26	175	47	15	27	\$607.50
	Secure Loop wheelchair supplement straps												
#19	\$82.73	\$381.35	824	13080	\$165.00	173	42	16	231	53	9	30	\$607.50
	Secure Loop wheelchair supplement straps; fire extinguisher serviced												
#20	\$82.73	\$248.24	492	12826	\$85.00	106	28	4	138	25	6	13	\$607.50
	Secure Loop wheelchair supplement straps; fire extinguisher serviced												
#21	\$7.12	\$1,250.67	2,450	59643	\$315.14	49	58	588	695	0	0	0	\$607.50
	Cleaned posts of batteries and switched around; replaced front brake pads; repaired cracked frame on bike rack; fire extinguisher serviced												
#22	\$7.12	\$1,325.95	2,646	63548	\$385.09	67	27	663	757	0	0	0	\$607.50
	Serviced-changed oil/lube/filter; repaired cracked bike rack; replaced right rear tail light; fire extinguisher serviced												
#23	\$7.13	\$506.83	1,232	54501	\$208.18	1	1	224	226	0	0	0	\$607.50
	Replaced left rear brake light and replaced pin in bike rack; fire extinguisher serviced												
#24	\$7.13	\$795.37	1,702	53094	\$363.70	32	35	695	762	0	0	0	\$607.50
	Cleaned posts of batteries and switched around; fire extinguisher serviced												
#25	\$288.96	\$1,364.94	2,538	44303	\$634.25	152	63	1406	1621	0	0	0	\$607.50
	Repaired tire; cleaned batteries and battery box; repaired A/C; fire extinguisher serviced												
#26	\$7.13	\$1,553.60	3,688	42019	\$399.75	30	5	999	1,034	0	0	0	\$607.50
	Serviced-changed oil/lube/filter; fire extinguisher serviced												
TOTALS	\$1,564.90	\$10,713.15	22,850		\$3,998.77	1,457	490	5,413	7,360	313	77	217	\$9,899.00

Rides This Month:	Year to Date Rides:	REIMBURSEMENTS:50,559.48	FROM:KDOT	FOR :AUGUST 2012
CITY LINK RIDERSHIP: 5,842	60,538			# on Mini Bus ADA List: 261
MINI BUS RIDERSHIP: 1,518	11,176			# on Mini Bus DR List: 34
	71,714			# on City Link Half Fare: 123

2012 CAPITAL IMPROVEMENTS PROGRAM PROJECT SCHEDULE

Revision No. 11 - Date: November 13, 2012

Completed Projects
Carry Over Projects From 2011
Proposed New Projects - Not Budgeted

Description	Current Status												Completion Status			Comments			
	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Design	Bid	Const.				
ENGINEERING - ADMINISTRATIVE																			
KDOT Applications			STP-FE	KLINK-GI									STP/FE #2 & TE				Fund Exchange, KLINK & GI submitted		
Capital Improvements Bond Issue		Decide Projects												Sale		100%	10/16/12	100%	\$925,000 Bonds sold @ 1.7232%
Special Assessments				Subdivision Specials?										0%		0%	None will be spread this year		
Petitions for New Developments					Preferred Cartage									0%		0%	Preferred Cartage \$555,000		
ENGINEERING - HIGHWAYS & MAJOR STREETS																			
A. STATE/FEDERAL AID																			
KLINK S. Main St. Reconstruction	Design	KDOT	KDOT	Revise	KDOT	KDOT	Bid			Const	Const	Const?	100%	7/12/12	20%	\$498,140	Concrete reconstruction from Fulton to Maple. City share \$237,720		
Safe Routes To School	Design	Design	Design	KDOT	KDOT	KDOT	KDOT	KDOT	KDOT	advertise	Bid	Const?	100%	11/1/12	0%	\$264,843			
B. TE PROJECTS																			
Windsor Hotel stabilization	Design	Design	Design	Design	Design	KDOT	KDOT	Design	KDOT	KDOT	KDOT		90%	TBD	0%	\$711,757	Preservation Alliance share \$142,351		
ENGINEERING - LOCAL STREETS																			
A. CITY RECONSTRUCTION/CONSTRUCTION																			
KDOT Fund Exchange projects	Const				FINAL								100%	7/14/11	65%	\$230,180	Coachman & Rowland, sidewalks		
Industrial Park Street Reconst.		Const	Const	FINAL									100%	9/15/11	100%	\$211,792	JC St: Fulton to south of Terminal, East 450' of Terminal		
KDOT Fund Exchange projects		Select	KDOT	KDOT	KDOT	KDOT	KDOT	KDOT	KDOT	KDOT	Select # 2	KDOT?	0%	?/?/2013	0%	\$322,600	North & South Chainey and Rock Rd		
Schulman Crossing	Design	Design	Design	Design	Design	Const	Const	Bid	Const	Const	Const	Const?	75%	8/2/12	45%	\$6,108,500	Site work, Utilities & Streets		
New Community Sidewalks				Const?	Const?	Const	Const	Const	Const	Const?	Const?		100%		70%	\$15,000	6 - \$10,403 New Sidewalks throughout the Community, Filling Gaps		
B. DRAINAGE PROJECTS																			
FEMA Floodplain related projects													0%	On-hold	0%		Waiting on FEMA		
C. TRAFFIC SIGNAL PROJECTS																			
Pedestrian Activated Warning Sign			Install?	Install	Install	FINAL							0%	In-house	100%	\$	42,000	Installing warning lights/signs on Talley Trail crossings.	
Vehicle Detection Upgrades			Install?	Install?	Install?	Install?	Install?	Install?	Install?	Ordered	FINAL		100%	In-house	100%	\$	58,000	Ordered \$43,000 on equipment	
D. SUBDIVISION CONSTRUCTION & SPECIAL ASSESSMENT PROJECTS																			
Taylor Avenue Construction				Const	FINAL								100%	9/15/11	100%	\$61,127	(Specials 70% City, 30% Property Owners)		
A Street Construction					FINAL								100%	9/15/11	100%	\$58,486	(Specials 70% City, 30% Property Owners)		
Joe McGraw Street & Water					Design	Design	Design	Bid	Const	Const	Const		100%	8/2/12	95%	\$476,858			
PUBLIC WORKS - STREET MAINTENANCE PROJECTS																			
Street Sealing Program				Bid		FINAL							100%	4/10/12	0%	\$368,500	Cycle Five		
Crack Sealing Program	FINAL									Bid	Const	Const?	100%	10/9/12	100%	\$176,400	2012 Cycle 5 (196,000 lbs. \$176,400)- 2013 Cycle 6(196,00 lbs. \$180,320)		
Community Sidewalk/Driveway	Const?	Const	Const	Const	Const	Const	Const	Const	Const	Const	Const?	Const?	0%		88%	\$20,000	(Res. 12 - \$8,651 & Com. 115 - \$8,773, Obligated \$2,576)		

2012 CAPITAL IMPROVEMENTS PROGRAM PROJECT SCHEDULE

Revision No. 11 - Date: November 13, 2012

Completed Projects

Carry Over Projects From 2011

Proposed New Projects - Not Budgeted

Description	Current Status												Completion Status			Comments	
	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Design	Bid	Const.		
PUBLIC WORKS - PARKS & GROUNDS																	
Wiley Park Walking Trail					Const	FINAL								100%	7/7/10	100%	\$29,272 Sunflower Foundation Trail grant 50%
2011 Street Tree Pruning Prog.	Const	FINAL												100%	12/15/11	0%	\$7,230 Tree & Stump removal
2012 Street Tree Pruning Prog.									Mark	Mark	Mark	Bid?	0%	??/2012	0%	\$20,000 Tree & Stump removal	
Entryway Improvements(NEW)			Decide?	Design	Design	Design?	Design	RFP					0%	??/2012	0%	\$0 all proposals were rejected for Entrance Signs with New Brand Logo	
Public Restroom						Design	Design	Bid	Re-Bid	Const	Const	Const?	100%	9/13/12	80%	\$54,400 Construct Uni-sex Restroom in A. Harold Long Park	
Master Plan - Finnup Park									RFP	Select	Select	Design?	50%			\$11,000 Hire Consultant to Create a Master Plan	
SE Community Park Imp.					Design	Design	Const	Const	Const	Const	FINAL		50%	??/2012	100%	\$38,000 Landscaping and Irrigation Around Spruce Parking Lot	
Walking Trails Seal Program							Bid						100%	7/3/12	100%	\$58,700 Purchased Equipment (Storage Bulk Tank, Sealing Machine)	
REGIONAL AIRPORT																	
Airport Master Plan Update	Design	Design	Design	Design	Design	Design	Design	Design	Design	Design	FAA			95%			\$583,660 City Share \$29,185
Wildlife Fence Construction Phase I				Const	Const	Const	FINAL						100%	4/26/11	100%	\$854,884 City Share \$47,744; Grant approved; underway	
Wildlife Fence II & Apron Lighting	Design	Design	FAA	Bid	Rebid	FAA	Const	Const	Const	Const	Const	Const?	100%	5/17/12	90%	\$612,642 City Share \$32,244;	
Expansion of Airport Parking Lot				Design	Funding			Design	Design	Design	Bid	Const?	100%	11/1/12	0%	\$429,231 Public Building Bond & Airport budget	
RECREATION																	
State Theatre Renovation	Design	Bid	Rebid						RFP process				100%	12/13/12	0%	\$50,000 funds for environmental remediation work only	
Municipal Pool Project	Design	Design	Bid		Const	Const	Const	Const	Const	Const	Const		100%	3/2/12	95%	\$273,958 Sprayground Area; City Share \$200,000	
Clint Lightner Field Ren. (NEW)				Design?	Design?	Bid?	Const?	Const?	Const?				0%		0%	\$56,500 Outfield Warning Track	
Dog Park Improvements (NEW)			Design?	Design?	Design?		Bid?	Const?	Const?				0%		0%	\$20,000 Shelters, Picnic Tables, Pet Water Fountain, Human Fountain, Sidewalk, Irrigation	
Mobile Stage (NEW)			Design?	Bid?	Bid?	Order?							0%		0%	\$125,000 City Share \$50,000	
ZOO																	
Cat Canyon Exhibit	Design	Bid	Revise	Revise	Revise	Rebid		Const	Const	Const	Const	Const?	100%	6/21/12	40%	\$898,600 FOLRZ funding	
Aviary Flight Cage	Const	Const	Const	Const	FINAL								100%	10/13/11	100%	\$91,395 Replace outdoor flight cage.	
Elephant Yard Expansion			Funding				Design	Design	Design	Design	Bid?	Const?	70%	??/2012	0%	\$423,000 Expansion of outside yard south into African plains yard.	
Tortoise Exhibit		Design		Bid	Const	Const	Const	FINAL					100%	4/11/12	100%	\$34,000 Construct 15'x 18' Building; City Share \$14,000	
BUFFALO DUNES GOLF COURSE																	
Irrigation Addition					Design?	FINAL							100%	in-house	0%	\$18,000 Adding phase in irrigation system.	
Relocate Metal Building (NEW)			Design?	Design?	Bid?	Const?	Const?	Const?	Const?				0%	on-hold	0%	\$25,150 Relocate metal Building from National Guard (30'x50'), 2013 Project	

2012 CAPITAL IMPROVEMENTS PROGRAM PROJECT SCHEDULE

Revision No. 11 - Date: November 13, 2012

Completed Projects

Carry Over Projects From 2011

Proposed New Projects - Not Budgeted

Description	Current Status												Completion Status			Comments	
	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Design	Bid	Const.		
ELECTRIC																	
Circuits 105 & 405 UG Upgrade	Const	Const	Const	Const	FINAL									100%	6/1/11	100%	\$509,649 Overhead rebuild by City, Underground by contractor (\$192,880 Project to date)
Fair and Hamline 9th -11th Conversion	Specs	Design	Bid	Contract	Const	Const	Const	Const	Const	Const	Const?	Const?	100%	4/1/12	2%	\$40,220 Voltage Conversion	
Emerson & Thompson B&C Streets		Design	Bid	Contract	Const	Const	Const	Const	Const	Const	Const?	Const?	100%	4/1/12	2%	\$22,476 Voltage Conversion	
Transformer Replacement (old HS)		Design	Bid	Contract	Const	Const	FINAL						100%	4/1/12	100%	\$24,000 Replacement	
Circuit 105,405,505 Conversion		Design	Bid	Contract	Const	Const	Const	Const	Const	Const	Const?	Const?	100%	4/1/12	1%	\$31,549 Voltage Conversion (\$3,619 Project to date)	
Circuit 207 URD Replacement		Design	Bid	Contract	Const	Const	Const	Const	Const	Const	Const?	Const?	100%	4/1/12	0%	\$39,913 Replacement	
Harding Strip Business		Design	Bid	Contract	Const	Const	5%	20%	25%	40%	Const?	Const?	100%	4/1/12	0%	\$23,858 Replacement (\$12,792.54 Project to date) Added South Schulman Project for amount of \$46,899.00	
SCADA Development		Design	Design	Bid	Design	Design	Const	Const	Const	Const	Const?	Const?	25%	6/6/12	0%	\$125,000 System Monitoring	
Substation Expansion		Design	Design	Bid	Design	Design	Design	Design	Const	Const	Const?	Const?	10%	5/30/12	0%	\$1,250,000 Substation Transformers	
Mary-156-Jennie Barker St Light		Design	Bid	Contract	Const	Const?	FINAL						100%	4/1/12	100%	\$121,283 Street Lighting (\$48,332.12 Project to date)	
Labrador Ridge UG Upgrades	Const	Const	Const	FINAL									100%	6/1/11	100%	\$67,776 URD Replacement (\$24,317 Project to date)	
WATER																	
Conkling/ Mulberry Clean & Lining		Design	Design	Design	Design	Design	Const	Const	Const	Const			15%		0%	\$95,000 Main Cleaning and Lining	
SCADA Development		Design	Design	Design	Design	Design	Design	Design	Design	Design	Const?	Const?	5%		0%	\$125,000 System Control & Security	
Inge - Fulton to Kansas Replacement		Design	Design	Design	Design	Design	Design	Bid			Const?	Const?	100%	8/2/12	0%	\$379,860 Water Main Replacement	
WASTEWATER																	
SCADA Development		Design	Design	Design	Design	Design	Design	Design	Design	Design	Const?	Const?	10%			\$125,000 WWTP Operation and Security	
Manhole Rehabilitation	Design	Bid	Const	Const	Complete								100%		100%	\$21,889 Manhole Lining	



City of Garden City
Monthly Financial Report FY 2012
For the Ten Months Ended October 31, 2012
 Unaudited--Intended for Management Purposes Only

The following is a summary of the City's financial results for the General Funds and Utility Funds. The subsequent pages provide some narrative, comparison cash balances, line item analysis, and graphic display of revenue trends for the City's General and Utility Funds. This report is intended to assist the City Commission and the City's Administrative team in managing the operational budget. This information is summarized from unaudited financial statements for the monthly period that ended October 31, 2012.

GENERAL FUND AT A GLANCE

Category	Revised 2012 Budget	2012 YTD Actual	2011 YTD Actual
Revenues	18,941,854	14,708,337	14,514,086
Expenditures	19,634,216	15,672,812	14,947,207
Revenues Over(Under)	(692,362)	(964,475)	(433,122)

UTILITY FUND REVENUES AT A GLANCE

Category	Revised 2012 Budget	2012 YTD Actual	2011 YTD Actual
Electric	26,334,729	21,991,346	20,413,851
Solid Waste	2,764,553	2,400,538	2,420,986
Drainage Utility	203,607	175,517	174,845
Water and Sewage	7,531,265	6,392,806	6,135,571
TOTAL	36,834,154	30,960,207	29,145,254

SELECTED REVENUES AT A GLANCE

Category	Revised 2012 Budget	2012 YTD Actual	2011 YTD Actual
City Sales Tax	5,450,000	4,627,310	4,347,448
County Sales Tax	3,200,000	2,756,474	2,540,035
Franchise Tax			
Gas Utility	365,000	332,689	366,078
Telephone	80,000	64,900	62,169
CATV	220,000	164,084	166,593
Building Permits	202,500	156,946	120,952
Municipal Court Fines	975,000	744,928	798,132



**City of Garden City
 Monthly Financial Report FY 2012
 For the Ten Months Ended
 October 31, 2012**

General Fund

General Fund Revenues collected through October were \$14,708,337. The October revenues represent about 77.65% of the total revenues expected in the General Fund. Property tax distribution was 99.27% for all payments in 2012.

General Fund Expenses are at 79.82% of the total expenditures expected in the General Fund.

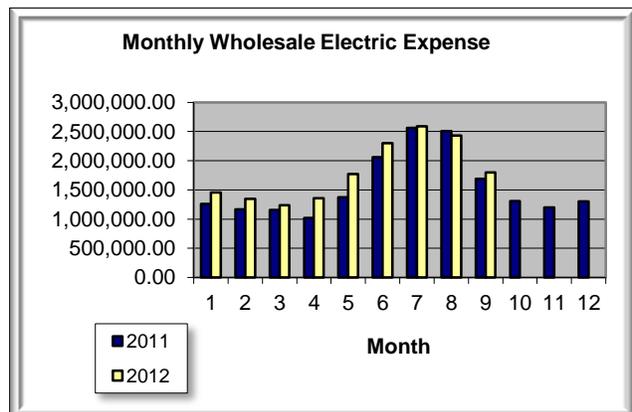
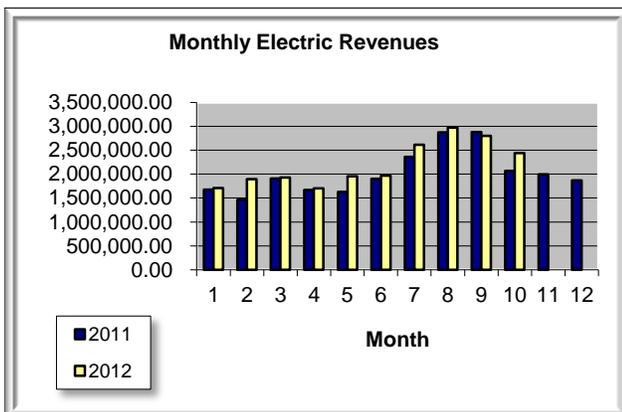
Selected Revenues

- City Sales Tax—Ahead by \$279,862 compared to October 2011 year to date collections, 6.44% ahead of 2011 for the ten months ended.
- County Sales Tax— Collections for the ten months ended are ahead of 2011 by \$216,439 or 8.52%.
- Franchise Tax—Budget estimates for 2012 remain approximately the same as 2011. Gas utility revenue is less than 2011 by 9.97%. All Franchise payments appear to be on track with budget.
- Building Permits—Budget estimates for 2012 are based on 2011 revenues. Receipts are 32.76% higher than this period in 2011.
- Municipal Court Fines—Budget estimates are slightly higher than 2011 budget although collections thru October were behind 2011.

Utility Funds

A summary of Utility Fund revenue performance is outlined below:

- Electric revenues – revised budget at \$26,334,729 for 2012 were \$21,991,346 through ten months or 83.51% of budget.

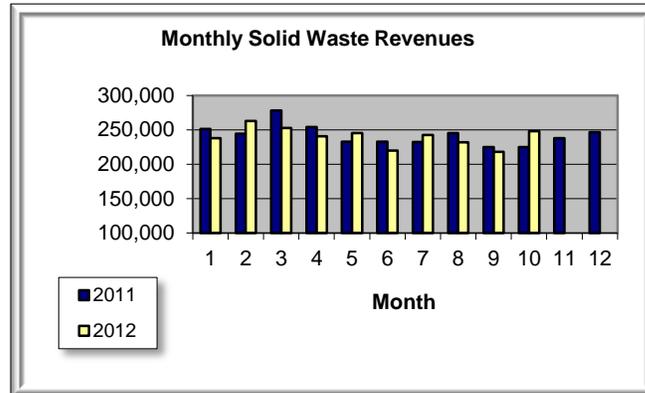


A main expense is Wholesale Electric in the Utility Fund. The 2012 revised budget for wholesale electric is \$20,140,000. The wholesale electric expense for October is not available at this printing.

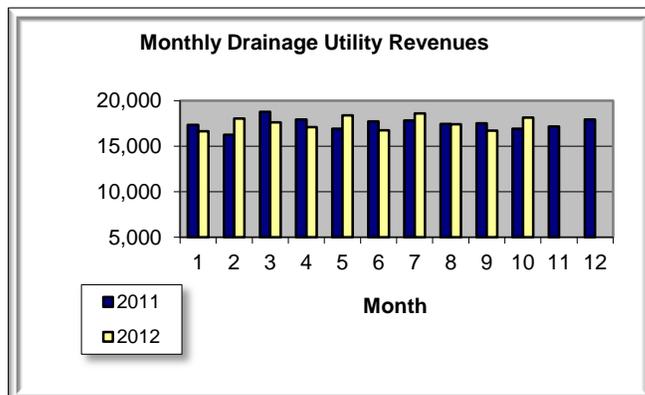


**City of Garden City
 Monthly Financial Report FY 2012
 Through the Month Ended
 October 31, 2012**

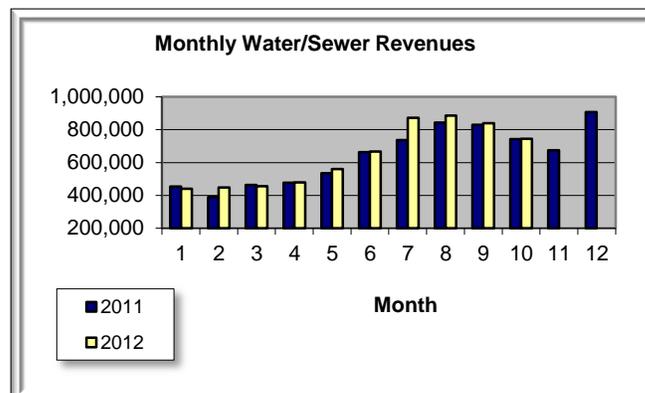
■ Solid Waste revenues – revised budget at \$2,764,553 for 2012 were \$2,400,538 through ten months or 86.83% of budget.



■ Drainage Utility revenues – revised budget at \$203,607 for 2012 were \$175,516 through ten months or 86.20%.



■ Water and Sewage revenues - revised budget at \$7,531,265 for 2012 were \$6,392,806 through ten months or 84.88% of budget.





CITY OF GARDEN CITY, KANSAS
 Comparison of Cash Balances with Encumbrances and Composition of Cash
 For the Ten Months Ended October 31, 2012

Fund	Unencumbered Cash Balance 1/1/2012	Receipts and Transfers	Expenditures and Transfers	Unencumbered Cash Balance 10/31/2012	Add Payables and Encumbrances	Treasurer's Cash 10/31/2012
1 General	3872396.27	14708337.00	15672812.19	2907921.08	0.00	2907921.08
<u>Debt Service Fund</u>						
40 Bond and Interest	239072.69	1868417.55	1883853.43	223636.81	0.00	223636.81
<u>Special Revenue Funds</u>						
5 Capital Improvement	363908.09	9858.48	67666.57	306100.00	0.00	306100.00
6 Community Development Loan Fund	9475.48	4733.42	5852.45	8356.45	0.00	8356.45
7 Cemetery Endowment	20662.58	4718.35	4050.63	21330.30	0.00	21330.30
8 Community Trust	1643140.47	37798.72	439259.49	1241679.70	0.00	1241679.70
10 DEA Forfeiture	26280.76	17835.21	20853.11	23262.86	0.00	23262.86
11 Drug Enforcement	31203.22	16896.87	16427.09	31673.00	0.00	31673.00
13 JAG Grant Recovery Act	0.00	29253.28	57081.25	-27827.97	0.00	-27827.97
15 Enhanced Wireless 911 Fund	91272.03	137048.13	29406.47	198913.69	0.00	198913.69
16 Cops Grant-Technology	-2838.29	58458.05	55619.76	0.00	0.00	0.00
18 Finnup Trust Fund	47517.18	93000.00	70465.59	70051.59	0.00	70051.59
25 Recreation	10355.34	887233.99	896250.00	1339.33	0.00	1339.33
26 Special Improvements	214105.90	3617.53	100381.39	117342.04	0.00	117342.04
27 Special Liability	154243.37	0.00	17072.19	137171.18	0.00	137171.18
29 Special Alcohol Programs	18483.73	67817.25	61500.00	24800.98	0.00	24800.98
30 Special Recreation and Parks	83361.34	75833.82	22503.67	136691.49	0.00	136691.49
31 FOLRZ Projects	0.00	290394.90	215294.40	75100.50	0.00	75100.50
32 Special Trafficway	977623.27	705529.77	616793.25	1066359.79	0.00	1066359.79
50 Community Development Grant	0.00	44395.27	44395.27	0.00	0.00	0.00
52 Economic Development	224928.28	82240.02	959.65	306208.65	0.00	306208.65
53 Project Development	174032.97	92456.42	25410.25	241079.14	0.00	241079.14
Total Special Revenue	4087755.72	2659119.48	2767242.48	3979632.72	0.00	3979632.72
<u>Capital Projects Funds</u>						
42 2011-GO Bond Projects	1412001.37	0.00	609106.76	802894.61	0.00	802894.61
43 2011-Temporary Notes Projects	22601.01	100000.00	119750.19	2850.82	0.00	2850.82
44 2012-Temporary Notes Projects	0.00	175000.00	288072.33	-113072.33	0.00	-113072.33
45 2012-GO Bond Projects	0.00	0.00	0.00	0.00	0.00	0.00
46 2012- Temporary Notes Durango Project	0.00	12616224.61	5698903.77	6917320.84	95211.09	7012531.93
Total Capital Projects	1434602.38	12891224.61	6715833.05	7609993.94	95211.09	7705205.03
<u>Enterprise Funds</u>						
Electric Utility:						
68 General	3831521.02	21991346.46	21283684.31	4539183.17	695751.95	5234935.12
69 Security Deposits	254182.51	189005.80	20539.76	422648.55	0.00	422648.55
Total Electric Utility	4085703.53	22180352.26	21304224.07	4961831.72	695751.95	5657583.67
Water and Sewer Utility:						
80 General	1788735.25	6392806.20	5972963.12	2208578.33	0.00	2208578.33
81 Wastewater Repair and Replacement	519730.64	109660.63	0.00	629391.27	0.00	629391.27
82 Water and Sewage Maintenance Reserve	747816.98	195919.84	0.00	943736.82	0.00	943736.82
Total Water and Sewer Utility	3056282.87	6698386.67	5972963.12	3781706.42	0.00	3781706.42
Airport:						
60 General	87597.91	916563.20	572239.45	431921.66	0.00	431921.66
61 Airport Improvement	117187.17	958195.00	1112797.41	-37415.24	0.00	-37415.24
Total Airport	204785.08	1874758.20	1685036.86	394506.42	0.00	394506.42
Solid Waste Utility:						
75 General	1282346.90	2400537.63	2198826.08	1484058.45	0.00	1484058.45
Recreation Area:						
70 General Golf Course	106727.20	659579.51	737448.68	28858.03	0.00	28858.03
71 Golf Course Building	17755.04	3643.50	13728.49	7670.05	0.00	7670.05
Total Recreation Area	124482.24	663223.01	751177.17	36528.08	0.00	36528.08
Drainage Utility:						
79 General	201593.07	175516.50	112999.81	264109.76	0.00	264109.76
<u>Internal Service Funds</u>						
55 Health Insurance	17070.09	2465517.34	2344200.51	138386.92	0.00	138386.92
56 Health Insurance Reserve	600000.06	0.00	0.00	600000.06	0.00	600000.06
35 Workers Compensation	35068.61	292950.00	155008.09	173010.52	0.00	173010.52
36 Workers Compensation Reserve	433201.76	449.33	0.00	433651.09	0.00	433651.09
Total Internal Service	1085340.52	2758916.67	2499208.60	1345048.59	0.00	1345048.59
Total All Funds	19674361.27	68878789.58	61564176.86	26988973.99	790963.04	27779937.03



City of Garden City
Statement of Revenues and Expenditures-General Fund Revenues
From 10/1/2012 Through 10/31/2012

001 - GENERAL FUND

		Curr Month Collections	YTD Collections	Revised Budget	Uncollected Balance
	Income				
3022	CONNECTING LINKS	0.00	55,992.39	75,000.00	(19,007.61)
3023	CONSUMER USE TAX	44,857.16	597,204.57	675,000.00	(77,795.43)
3028	LIQUOR CONSUMPTION TAX	0.00	67,817.27	75,000.00	(7,182.73)
3035	STATE REVENUE STAMP	(75.00)	(950.00)	0.00	(950.00)
3040	AD VALOREM TAX	(148.27)	3,327,309.68	3,250,000.00	77,309.68
3041	AD VALOREM BACK TAX	11,860.51	77,569.62	168,000.00	(90,430.38)
3044	CITY SALES TAX	468,586.12	4,627,310.24	5,450,000.00	(822,689.76)
3046	COUNTY SALES TAX	279,695.76	2,756,474.13	3,200,000.00	(443,525.87)
3055	MOTOR VEHICLE TAX	48,381.38	464,289.83	470,000.00	(5,710.17)
3056	RECREATIONAL VEHICLE TAX	392.46	3,921.62	5,600.00	(1,678.38)
3057	HEAVY DUTY VEHICLE TAX	0.00	3,840.52	3,000.00	840.52
3065	CATV FRANCHISE	0.00	164,084.05	220,000.00	(55,915.95)
3066	GAS UTILITY FRANCHISE	44,935.60	332,688.74	365,000.00	(32,311.26)
3067	TELEPHONE FRANCHISE	6,388.30	64,899.71	80,000.00	(15,100.29)
3115	CEMETERY SPACES	5,525.00	61,610.00	50,000.00	11,610.00
3301.01	ANIMAL BOARDING	937.00	12,268.00	15,000.00	(2,732.00)
3301.02	CAR STORAGE & TOWING	1,725.75	13,632.04	12,000.00	1,632.04
3301.05	FEES-FALSE ALARM	0.00	7,275.00	8,000.00	(725.00)
3301.07	FEES-GATE RECEIPTS	1,130.00	21,910.00	20,000.00	1,910.00
3301.08	FEES-GRAVE OPENINGS	400.00	37,250.00	55,000.00	(17,750.00)
3301.09	FEES-MONUMENT SETTING	0.00	2,375.00	2,750.00	(375.00)
3301.10	FEES-PLAT FILING	6,275.00	7,544.00	1,500.00	6,044.00
3301.11	FEES-REZONING	100.00	1,800.00	2,500.00	(700.00)
3301.12	FEES-RURAL FIRE CONTRACTS	0.00	(18,612.77)	180,000.00	(198,612.77)
3301.13	FEES-WAIVER FILING	300.00	3,075.00	1,500.00	1,575.00
3301.16	FINES-MUNICIPAL COURT	99,181.87	744,927.80	975,000.00	(230,072.20)
3301.17	FEES-STATE JUDGE	195.54	2,568.23	2,750.00	(181.77)
3301.18	FEES-STATE LAW ENFORCEMENT	7,402.93	58,001.53	92,250.00	(34,248.47)
3301.19	FEES-REINSTATEMENT	707.00	15,351.50	23,000.00	(7,648.50)
3301.20	FEES-RESTITUTION	1,904.00	18,775.94	0.00	18,775.94
3301.21	LEGAL COPIES	348.00	2,447.55	3,000.00	(552.45)
3301.22	PROBATION SCREENING	395.00	886.00	1,000.00	(114.00)
3301.24	FEES-CRIME STOPPER MAJOR	560.00	2,000.00	2,000.00	0.00
3350.01	LICENSE-AMUSEMENT	900.00	2,600.00	1,500.00	1,100.00
3350.02	LICENSE-ARBORIST	225.00	450.00	600.00	(150.00)
3350.03	LICENSE-CEREAL MALT BEVERAGE	0.00	250.00	3,000.00	(2,750.00)
3350.04	LICENSE-CONTRACTOR	6,180.00	14,805.00	25,000.00	(10,195.00)
3350.06	LICENSE-ELECTRICIAN	900.00	2,850.00	5,500.00	(2,650.00)
3350.08	LICENSE-ITINERANT MERCHANT	900.00	11,680.00	31,000.00	(19,320.00)
3350.09	LICENSE-LIQUOR	500.00	3,550.00	2,500.00	1,050.00
3350.10	LICENSE-MECHANICAL	630.00	2,115.00	2,000.00	115.00
3350.12	LICENSE-PAWN SHOP	0.00	50.00	225.00	(175.00)
3350.13	LICENSE-PLUMBER	285.00	1,125.00	3,500.00	(2,375.00)
3350.15	LICENSE-TAXI	75.00	195.00	120.00	75.00
3350.16	TAGS-DOG & CAT	132.00	1,687.00	2,000.00	(313.00)
3400.01	PERMITS-BUILDING	7,634.50	126,664.27	160,000.00	(33,335.73)
3400.02	PERMITS-CURB CUT	45.00	185.00	500.00	(315.00)



City of Garden City
 Statement of Revenues and Expenditures-General Fund Revenues
 From 10/1/2012 Through 10/31/2012

3400.03	PERMITS-ELECTRIC	438.00	5,775.00	10,000.00	(4,225.00)
3400.04	PERMITS-EXCAVATION	45.00	952.00	1,000.00	(48.00)
3400.05	PERMITS-GAS	449.00	2,508.00	4,000.00	(1,492.00)
3400.08	PERMITS-MECHANICAL	303.30	10,953.40	13,000.00	(2,046.60)
3400.09	PERMITS-PLUMBING	505.00	7,152.99	10,000.00	(2,847.01)
3400.11	PERMITS-TV & SIGN	1,000.00	2,755.00	4,000.00	(1,245.00)
3435	INTEREST INCOME	3,981.03	27,032.05	59,684.00	(32,651.95)
3437	FINANCE CHARGE INCOME	1,886.79	8,090.19	10,000.00	(1,909.81)
3440.02	RENTAL-CITY FACILITIES	920.00	43,494.00	65,000.00	(21,506.00)
3440.03	RENTAL-DEPOT	100.00	1,000.00	1,000.00	0.00
3447	ROYALTIES-GAS WELLS	4,606.18	18,900.58	45,000.00	(26,099.42)
3450	SALE OF PROPERTY-AUCTION	0.00	23,753.70	12,000.00	11,753.70
3470.01	REIMBURSE-ADMINISTRATIVE COSTS	0.00	0.00	1,000.00	(1,000.00)
3470.02	REIMBURSE-ENGINEERING	0.00	0.00	1,000.00	(1,000.00)
3470.03	REIMBURSE-FINNUP TRUST	0.00	22.12	25.00	(2.88)
3470.04	REIMBURSE-POLICE SERVICES	2,067.75	106,400.04	215,000.00	(108,599.96)
3470.05	REIMBURSE-CODE SUPPLEMENTS	0.00	100.00	0.00	100.00
3470.07	UTILITY FUNDS REIMBURSEMENT	55,447.12	552,657.49	2,509,850.00	(1,957,192.51)
3470.08	REIMBURSE-COUNTY	8,008.09	154,080.90	172,000.00	(17,919.10)
3470.09	REIMBURSE-HOLCOMB	0.00	32,000.00	32,000.00	0.00
3470.10	REIMBURSE-GC HOUSING AUTHORITY	1,250.00	2,500.00	0.00	2,500.00
3515	FUEL TAX REFUND	0.00	0.00	500.00	(500.00)
3600.01	MISCELLANEOUS-ADMINISTRATION	0.00	24.08	1,000.00	(975.92)
3600.04	MISCELLANEOUS-INSPECTION	45.00	3,142.00	3,000.00	142.00
3600.05	MISCELLANEOUS-PARK & ZOO	0.00	40.00	0.00	40.00
3600.07	MISCELLANEOUS-POLICE	10.00	(740.00)	500.00	(1,240.00)
3600.08	MISCELLANEOUS-STREET	<u>0.00</u>	<u>0.00</u>	<u>50,000.00</u>	<u>(50,000.00)</u>
Total Income		<u>1,131,429.87</u>	<u>14,708,337.00</u>	<u>18,941,854.00</u>	<u>(4,233,517.00)</u>



City of Garden City
Statement of Revenues and Expenditures-General Fund Expenses
From 10/1/2012 Through 10/31/2012

001 - GENERAL FUND

		Curr Month			
		Expenses	YTD Expenses	Revised Budget	Budget Remaining
Expenses					
111	CITY COMMISSION	8,415.09	71,128.84	98,000.00	26,871.16
112	CITY MANAGER	32,773.35	358,286.27	441,400.00	83,113.73
113	SERVICE AND FINANCE	87,455.76	565,243.64	678,850.00	113,606.36
114	LEGAL SERVICES	9,260.25	64,573.00	88,750.00	24,177.00
115	MUNICIPAL COURT	62,734.61	615,985.24	854,500.00	238,514.76
116	HUMAN RESOURCES	13,323.62	131,028.30	159,250.00	28,221.70
117	INFORMATION TECH	19,464.63	313,288.40	290,750.00	(22,538.40)
118	CITY PROSECUTION	<u>21,374.72</u>	<u>211,749.08</u>	<u>252,500.00</u>	<u>40,750.92</u>
	Total Administration	254,802.03	2,331,282.77	2,864,000.00	532,717.23
121	POLICE-ADMINISTRATIVE	166,169.92	1,054,402.94	1,313,000.00	258,597.06
122	POLICE-INVESTIGATIONS	65,466.08	646,918.15	774,000.00	127,081.85
123	POLICE-PATROL	253,336.86	2,735,533.99	3,155,000.00	419,466.01
124	POLICE-SUPPORT SERVICES	87,074.79	963,572.03	1,175,500.00	211,927.97
125	POLICE-ANIMAL CONTROL	<u>17,067.28</u>	<u>144,263.32</u>	<u>191,500.00</u>	<u>47,236.68</u>
	Total Police	589,114.93	5,544,690.43	6,609,000.00	1,064,309.57
131	PUBLIC WORKS-PLANNING,COMM	22,118.03	264,040.32	316,750.00	52,709.68
132	PUBLIC WORKS-ENGINEERING	18,834.61	205,919.65	240,000.00	34,080.35
133	PUBLIC WORKS-STREET MAINT	60,409.88	1,139,837.94	1,320,016.00	180,178.06
134	PUBLIC WORKS-INSPECTIONS	19,689.66	253,682.05	317,300.00	63,617.95
135	PUBLIC WORKS-PARKS	<u>60,864.14</u>	<u>540,897.08</u>	<u>762,500.00</u>	<u>221,602.92</u>
	Total Public Works	181,916.32	2,404,377.04	2,956,566.00	552,188.96
141	ZOO-ADMINISTRATIVE	31,233.88	340,652.49	420,300.00	79,647.51
142	ZOO-MAINTENANCE DIVISION	21,269.56	272,891.47	350,250.00	77,358.53
144	ZOO-ANIMAL DIVISION	<u>75,929.89</u>	<u>812,155.05</u>	<u>1,041,000.00</u>	<u>228,844.95</u>
	Total Zoo	128,433.33	1,425,699.01	1,811,550.00	385,850.99
151	FIRE-ADMINISTRATIVE	16,206.79	174,114.76	225,350.00	51,235.24
152	FIRE-OPERATIONS	169,711.38	1,934,575.30	2,420,250.00	485,674.70
153	FIRE-VOLUNTEERS	<u>566.26</u>	<u>6,358.62</u>	<u>22,000.00</u>	<u>15,641.38</u>
	Total Fire	186,484.43	2,115,048.68	2,667,600.00	552,551.32
161	CEMETERY-OPERATIONS	32,758.27	382,654.31	483,500.00	100,845.69
171	CAPITAL IMPROVEMENT	166,159.69	1,311,059.95	2,084,000.00	772,940.05
181	EMPLOYEE BENEFITS	<u>0.00</u>	<u>158,000.00</u>	<u>158,000.00</u>	<u>0.00</u>
	Total Expenses	<u>1,539,669.00</u>	<u>15,672,812.19</u>	<u>19,634,216.00</u>	<u>3,961,403.81</u>



City of Garden City
Statement of Revenues and Expenditures-Utility Fund Revenues
From 10/1/2012 Through 10/31/2012

		Curr Month Collections	YTD Collections	Revised Budget	Uncollected Balance
Income					
068	ELECTRIC				
3101	COLLECTIONS-ELECTRIC	2,343,155.82	20,863,385.10	25,244,380.00	(4,380,994.90)
3110.01	COLLECTIONS-COIN BOX	(34.99)	(506.29)	250.00	(756.29)
3118	CONNECT FEES	6,636.00	81,303.78	52,000.00	29,303.78
3150	IDENTIFIED LONG/SHORT	(559.79)	1,983.42	(1,000.00)	2,983.42
3151	UNIDENTIFIED LONG/SHORT	(339.94)	(430.02)	99.00	(529.02)
3154	INSUFFICIENT FUNDS CHECKS	(1,000.08)	(3,619.28)	(3,000.00)	(619.28)
3155	RETURNED CHECK CHARGE	375.00	3,275.00	4,500.00	(1,225.00)
3185	PENALTIES	0.00	105,085.48	90,000.00	15,085.48
3201	REIMBURSE-DEVELOPER	0.00	136,231.99	150,000.00	(13,768.01)
3225	SALE OF MATERIAL	0.00	5,745.78	0.00	5,745.78
3435	INTEREST INCOME	25.42	200.86	2,500.00	(2,299.14)
3492	SALES TAX	92,434.40	795,685.29	790,000.00	5,685.29
3600	MISCELLANEOUS	92.88	3,005.35	5,000.00	(1,994.65)
	Total Electric	2,440,784.72	21,991,346.46	26,334,729.00	(4,343,382.54)
075	SOLID WASTE-GENERAL				
3111	COLLECTIONS-SOLID WASTE	237,493.10	2,267,746.84	2,600,000.00	(332,253.16)
3185	PENALTIES	1,513.53	86,419.19	80,000.00	6,419.19
3195	RECYCLING SALES	9,168.15	45,190.14	82,000.00	(36,809.86)
3435	INTEREST INCOME	127.40	1,130.16	2,000.00	(869.84)
3515	FUEL TAX REFUND	0.00	0.00	553.00	(553.00)
3600	MISCELLANEOUS	0.00	51.30	0.00	51.30
	Total Solid Waste	248,302.18	2,400,537.63	2,764,553.00	(364,015.37)
079	DRAINAGE UTILITY				
3104.01	DRAINAGE FEE	18,158.23	174,604.99	203,000.00	(28,395.01)
3104.02	HHW FEE INCOME	0.00	610.63	107.00	503.63
3435	INTEREST INCOME	0.00	300.88	500.00	(199.12)
	Total Drainage Utility	18,158.23	175,516.50	203,607.00	(28,090.50)
080	WATER AND SEWAGE				
3102.01	COLLECTIONS-SEWER	216,446.52	2,152,935.01	2,600,000.00	(447,064.99)
3103	COLLECTIONS-WATER	464,081.20	3,882,707.15	4,200,000.00	(317,292.85)
3118	CONNECT FEES	1,680.00	10,750.00	18,000.00	(7,250.00)
3120	COUNTY SEWER FEES	14,818.80	77,789.63	112,000.00	(34,210.37)
3130	FIRE LEG FEES	175.00	10,395.00	11,000.00	(605.00)
3185	PENALTIES	30,952.65	58,150.75	120,000.00	(61,849.25)
3201	REIMBURSE-DEVELOPER	0.00	7,900.00	11,000.00	(3,100.00)
3225	SALE OF MATERIAL	202.57	20,845.30	17,500.00	3,345.30
3228	SEWER MAINTENANCE FEES	574.88	3,282.90	2,500.00	782.90
3229	SEWER TANK FEES	7,115.47	75,615.06	95,000.00	(19,384.94)
3257	WATER TANK SALES	1,096.28	14,897.08	20,000.00	(5,102.92)
3260	WATER TAP FEES	0.00	19,653.74	10,265.00	9,388.74
3494	TAX-WATER CONSUMPTION	6,893.68	57,244.23	62,000.00	(4,755.77)
3600	MISCELLANEOUS	0.00	640.35	2,000.00	(1,359.65)
4010.20	TRANSFER-WTR SYS MAINT RESV	0.00	0.00	150,000.00	(150,000.00)
4010.21	TRANSFER-WASTEWTR R&R RESV	0.00	0.00	100,000.00	(100,000.00)
	Total Water and Wastewater	744,037.05	6,392,806.20	7,531,265.00	(1,138,458.80)
	Total Income	3,451,282.18	30,960,206.79	36,834,154.00	(5,873,947.21)

Electric

	1	2	3	4	5	6	7	8	9	10	11	12
2011	1,677,700.61	1,461,206.39	1,904,874.06	1,667,624.08	1,628,615.44	1,898,385.81	2,357,642.24	2,871,500.48	2,881,466.52	2,064,811.80	1,993,990.85	1,870,176.75
2012	1,708,307.63	1,897,482.29	1,928,271.64	1,702,938.06	1,957,079.05	1,969,181.37	2,615,793.50	2,971,029.50	2,800,478.70	2,440,784.72		

Solid Waste

	1	2	3	4	5	6	7	8	9	10	11	12
2011	251,485.13	244,629.61	278,006.70	254,028.84	232,699.36	232,922.46	232,230.49	245,181.20	224,989.44	224,813.00	238,000.29	246,788.50
2012	237,882.69	262,885.92	252,938.06	240,634.11	245,569.20	219,944.40	242,537.98	231,911.30	217,931.79	248,302.18		

Water/Sewer

	1	2	3	4	5	6	7	8	9	10	11	12
2011	454,232.14	391,119.26	463,502.89	478,085.68	534,639.94	662,160.48	737,227.24	843,512.95	829,597.43	741,433.24	674,620.64	906,995.38
2012	441,277.06	448,878.23	455,196.66	479,306.45	561,069.96	666,965.94	872,011.20	884,605.30	839,458.35	744,037.05		

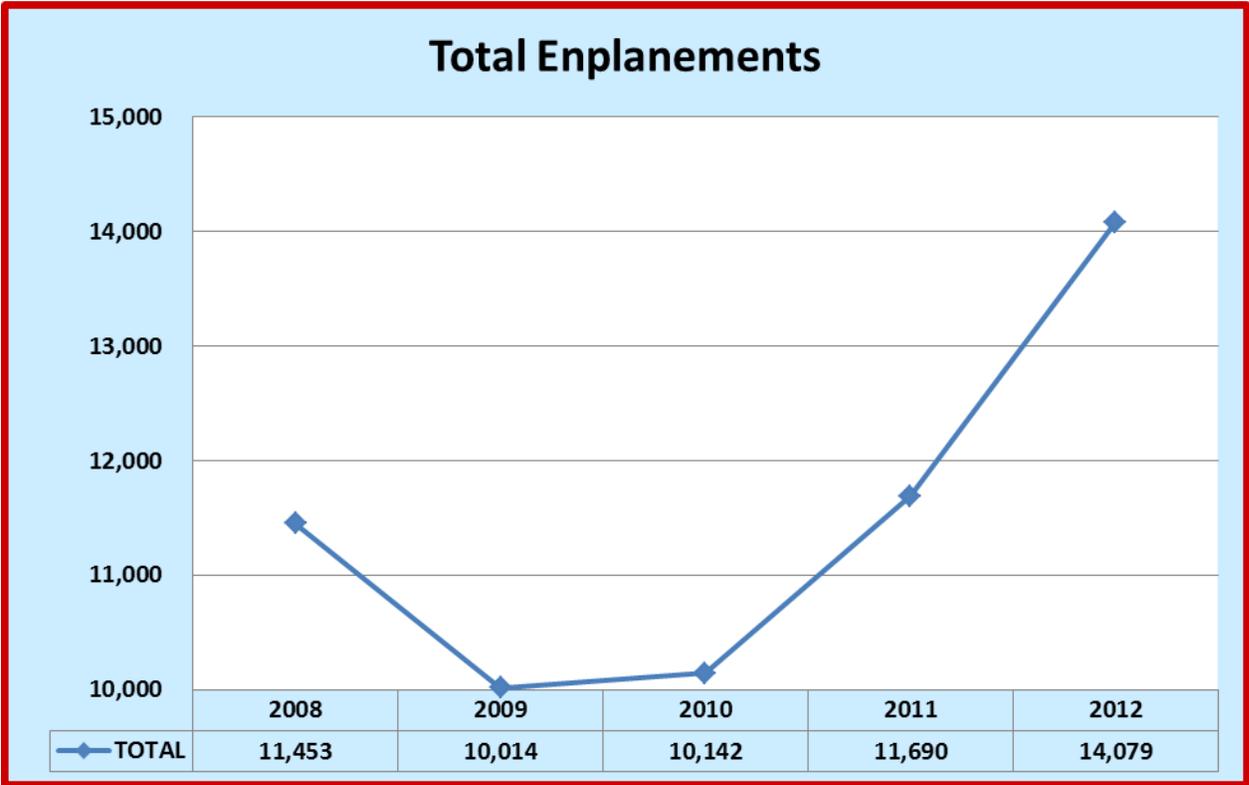
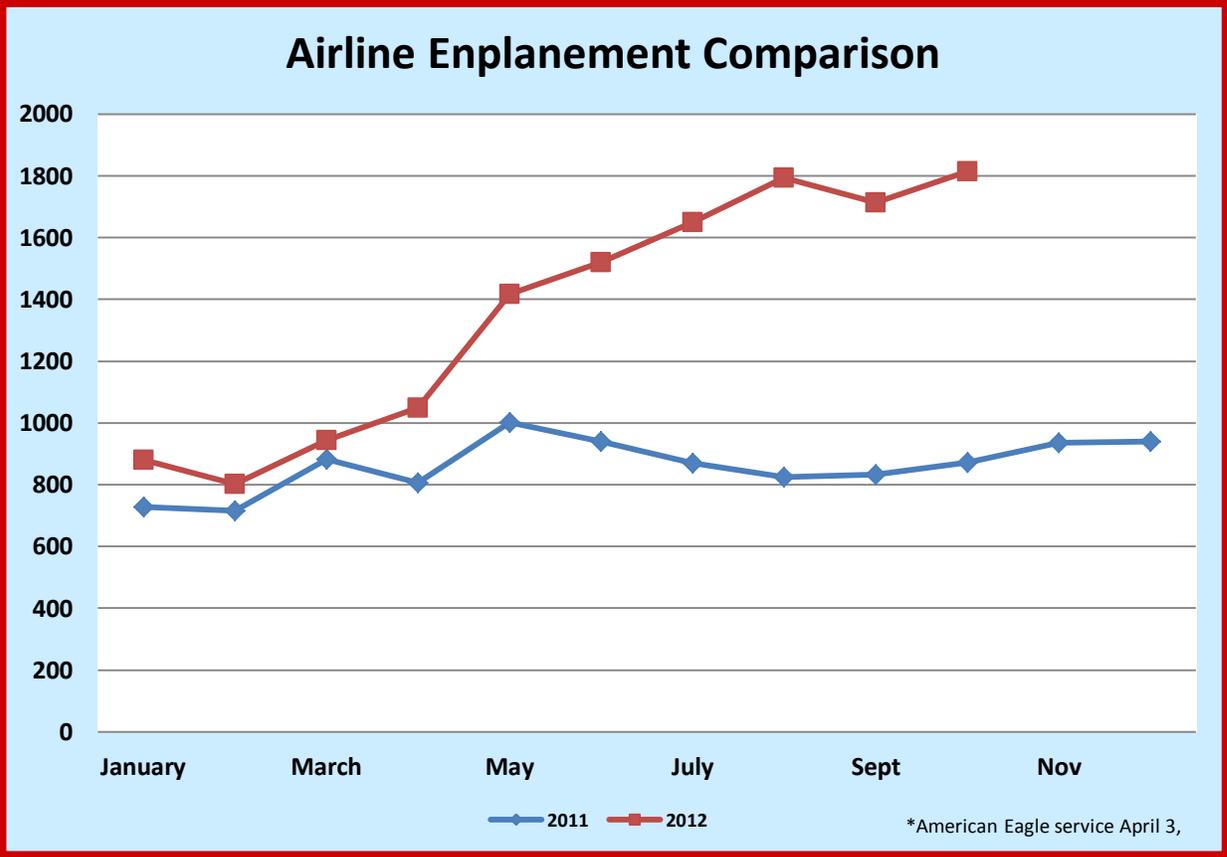
Drainage Utility

	1	2	3	4	5	6	7	8	9	10	11	12
2011	17,364.00	16,283.95	18,784.64	17,961.68	16,950.03	17,755.42	17,834.82	17,458.15	17,518.60	16,933.44	17,182.94	17,964.84
2012	16,657.63	18,044.02	17,632.71	17,099.05	18,421.46	16,753.84	18,609.84	17,418.78	16,720.94	18,158.23		

Wholesale Electric - 068 41 412 5475.01

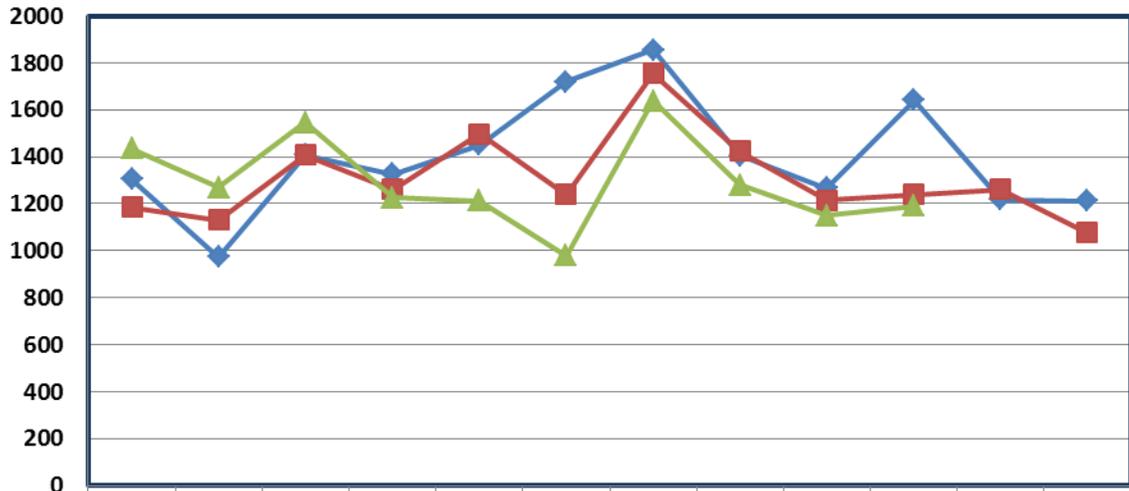
	1	2	3	4	5	6	7	8	9	10	11	12
2011	1,258,549.00	1,166,005.00	1,154,302.38	1,021,174.91	1,375,646.00	2,058,721.90	2,559,094.99	2,504,624.97	1,692,240.91	1,309,999.77	\$1,198,275.16	1,300,888.67
2012	1,456,486.12	1,349,187.18	1,237,795.06	1,356,001.06	1,772,398.46	2,302,441.42	2,586,509.01	2,428,512.20	1,798,661.05			

**GARDEN CITY REGIONAL AIRPORT
MONTHLY REPORTS**



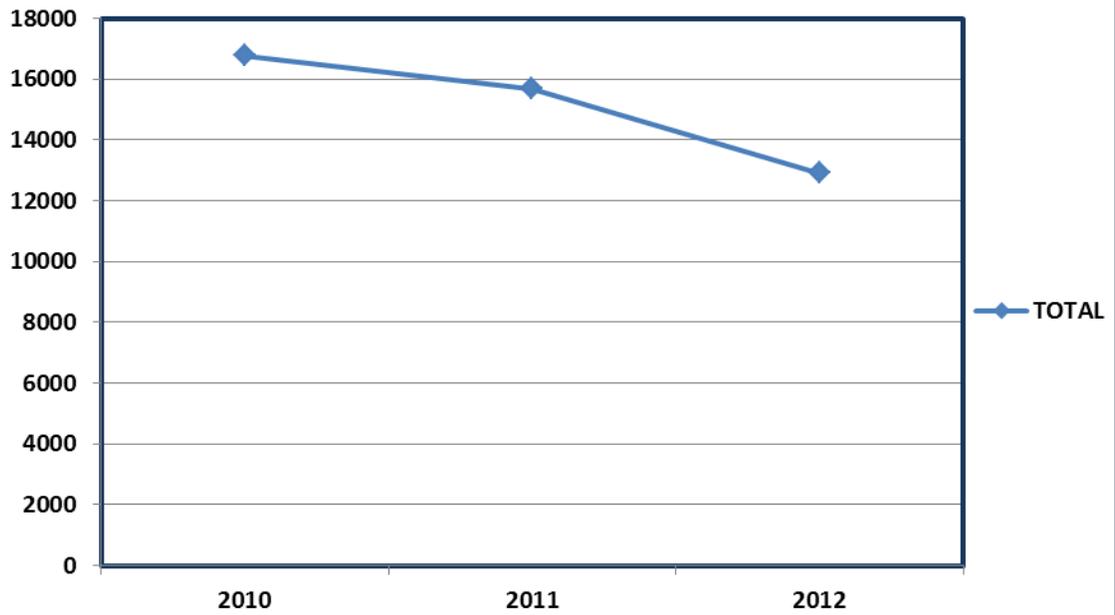
2012	Great Lakes	American Eagle	Allegiant	Total
Jan.	881	0	0	881
Feb	801	0	128	929
March	944	0	0	944
April	87	961	86	1134
May	-	1417	0	1417
June	-	1521	114	1635
July	-	1649	0	1649
Aug	-	1793	72	1865
Sept	-	1714	0	1714
Oct	-	1814	97	1911
Nov	-	0	0	0
Dec	-	0	0	0
TOTAL	2713	10869	497	14079

Monthly Operations Comparison

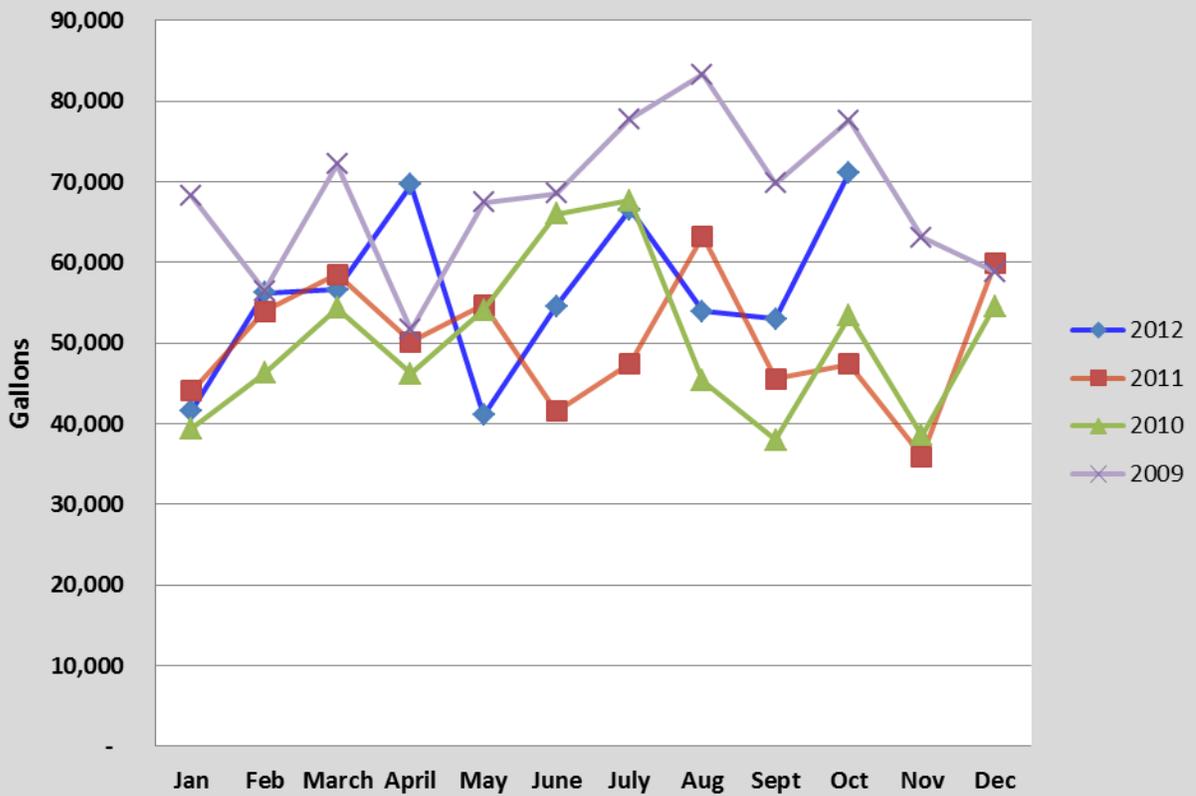


	Jan	Feb	March	April	May	June	July	August	Sept	Oct	Nov	Dec
◆ 2010	1305	972	1407	1326	1452	1721	1855	1406	1267	1640	1218	1211
■ 2011	1185	1132	1407	1262	1497	1239	1756	1425	1214	1240	1262	1076
▲ 2012	1434	1269	1546	1225	1212	978	1638	1281	1150	1190		

Annual Operations Comparison



Fuel Sale Comparison



GARDEN CITY POLICE DEPARTMENT
MASTER ACTIVITY REPORT
October of 2012
INCIDENTS REPORTED

OFFENSES	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Murder/Manslaughter	1	0	1
Rape	1	2	12
Robbery	0	0	6
Aggravated Assault	5	6	40
Burglary	14	14	159
Theft	55	52	546
Auto Theft	1	0	12
Arson	1	1	6
TOTAL	78	75	782
All Other Crimes	130	127	1355
GRAND TOTAL	208	202	2137

CRIMINAL ENFORCEMENT ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Adult Arrests	227	230	2104
Juveniles Detained	66	61	552
TOTAL CUSTODY	293	291	2656
Alcohol Related	26	45	263
Drug Related	23	14	187
Curfew Violations	1	10	100

INVESTIGATIONS DIVISION ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Total Cases Assigned	34	36	370
Total Active Cases	156	149	1483
Adult Affidavits Filed	7	7	105
Juvenile Affidavits Filed	5	0	30
Follow-Up Contacts	831	842	8825
Special Assignments	48	33	430
Search Warrants	5	9	84
Supplemental Reports	227	14	2063
Other Reports	244	324	3364
Cases Referred For Prosecution	12	14	260

TRAFFIC ACCIDENT INVESTIGATIONS

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Fatal Accidents	0	0	0
Injury Accidents	9	7	61
Non-Injury Accidents	58	43	489
TOTAL ACCIDENTS	67	50	550
Private Property Accidents	5	2	39

**GARDEN CITY POLICE DEPARTMENT
 MASTER ACTIVITY REPORT
 October of 2012**

OFFICERS ASSAULTED

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Firearm	0	0	0
Cutting Instrument	0	0	0
Other Dangerous Weapon	0	0	2
Hands, Fist, Feet, Etc.	1	2	21
Police Service Dog	0	0	0
TOTAL ASSAULTS	1	2	23

PATROL/CRD DIVISIONS SUMMARY

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Offense Reports	208	201	2273
Supplemental Reports	93	97	1090
Other Reports	114	129	1216
Community Oriented Policing	330	241	2225
Speeding Citations	135	83	651
Other Traffic Citations	509	479	4977
Parking Citations	40	34	223
Warning Notices	354	404	4087
Penal Summons	72	86	645
Felony Cases Cleared	26	16	204
Misdemeanor Cases Cleared	123	104	1153
DUI Cases Cleared	9	8	114
Insecure Premises	16	13	99
Field Interviews	10	12	163
Citizen & Business Assists	120	147	1378
Alarms	81	92	957
Adult Affidavits Filed	45	24	300
Juvenile Affidavits Filed	17	33	267

COMMUNICATIONS CENTER ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Non-Traffic Activities	2773	2869	28028
Traffic Activities	860	928	8318
TOTAL ACTIVITIES	3633	3797	36346
911 Calls	1376	1293	14552
Finney County Sheriff's Office Activities	440	458	4829

**GARDEN CITY POLICE DEPARTMENT
MASTER ACTIVITY REPORT
October of 2012**

RESPONSE TIME SUMMARY

<i>DESCRIPTION</i>	<i>THIS MONTH</i>
Average Emergency	3.07
Average Non-Emergency	12.14
Average Traffic Accident	12.1

ANIMAL INCIDENT ACTIVITIES

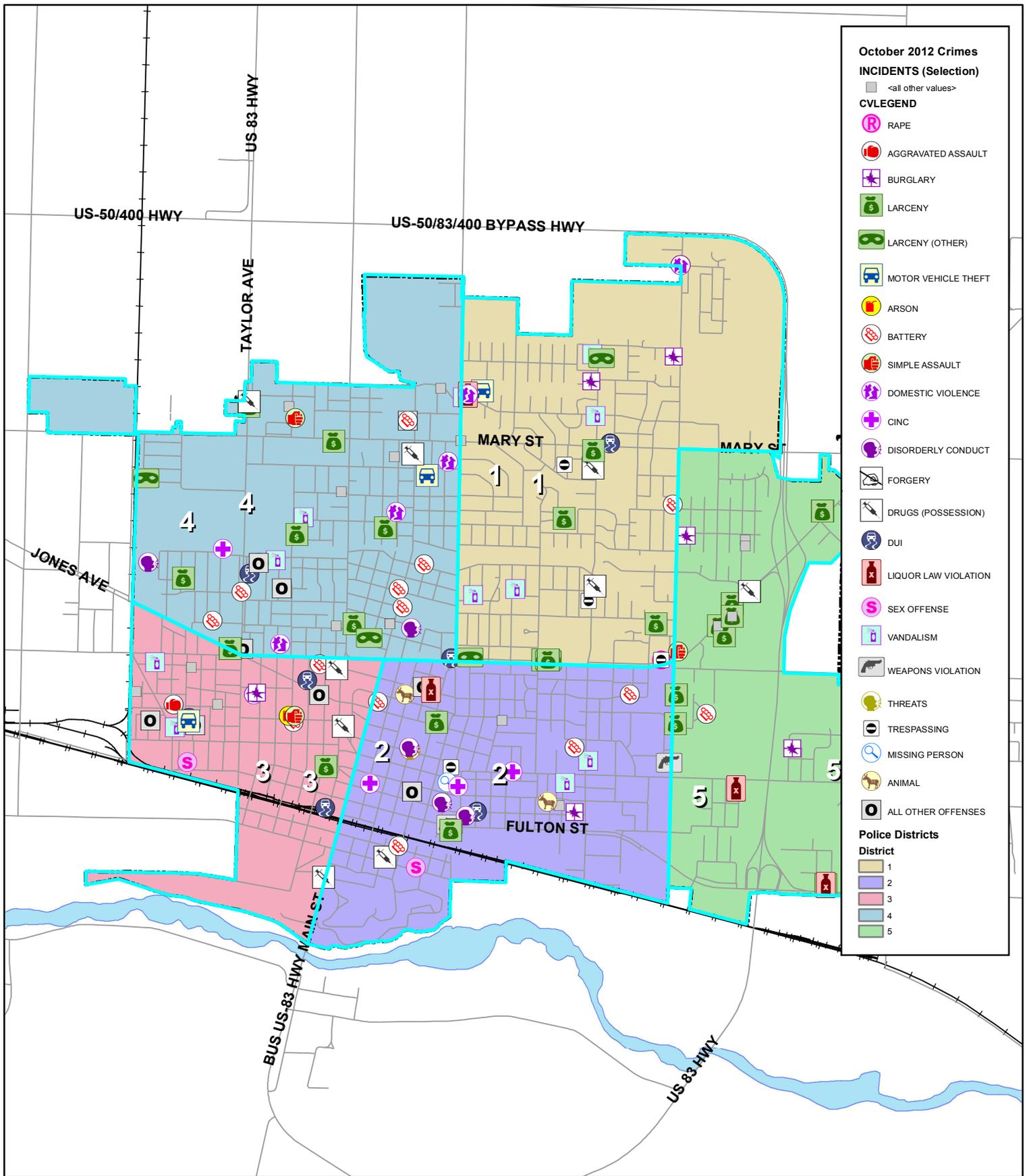
<i>DESCRIPTION</i>	<i>THIS MONTH</i>	<i>LAST MONTH</i>	<i>TO DATE THIS YEAR</i>
Animals Impounded	149	188	1574
Animals Disposed	80	116	759
Citations Issued	0	1	11
Animal Bites	2	5	65
Adoptions	38	22	383

TRAINING HOURS RECEIVED

<i>DESCRIPTION</i>	<i>THIS MONTH</i>	<i>LAST MONTH</i>	<i>TO DATE THIS YEAR</i>
Administrative	47.00	21.00	356.25
Patrol/CRD Division	484.75	347.75	3277.25
Support Services Division	36.00	29.50	288.00
Investigation Division	359.00	51.00	913.25
Instructor Hours	72.75	70.75	491.25
SUB-TOTAL TRAINING HRS	999.50	520.00	5326.00
Academy Training Hours	184.00	40.00	1728.00
TOTAL TRAINING HOURS	1183.50	560.00	7054.00

ADMINISTRATIVE INVESTIGATIONS

<i>DESCRIPTION</i>	<i>THIS MONTH</i>	<i>LAST MONTH</i>	<i>TO DATE THIS YEAR</i>
Allegations Received	0	2	11
Unfounded	0	1	3
Unsubstantiated	0	0	0
Sustained	1	0	3
Exonerated	0	0	1
Violation Not Based On Complaint	0	0	0
Investigation In Progress	0	1	11
Administrative Closure	0	0	0
Commendations	3	4	36



Garden City PD

This agency is not responsible for the misinterpretation of this map and makes no inference or judgment as to the relative safety of particular areas. This map does not meet national map accuracy standards and should not be used for engineering purposes.



2,400 1,200 0 2,400 feet

FINNEY COUNTY

2012 MONTHLY BUILDING REPORT

2012 Monthly Report		Single Family Residential Includes Modular Permits	Single Family Manufactured Permits	Multi-Family Permits <i>(two or more attached dwellings)</i>	Residential Remodel Permits	Commercial Permits	Industrial Permits	Commercial & Industrial Remodel Permits	Miscellaneous Permits <i>(Utility, Religious, Public or Non-Profit Projects)</i>	TOTAL Fee, Permits & Valuation	TOTAL Number of Inspections
JAN	Fee	-	-	-	-	-	-	1289.80	-	1289.80	26
	Permits	-	-	-	-	-	-	11	-	11	
	Valuation	-	-	-	-	-	-	113,400	-	113,400	
FEB	Fee	-	-	-	1999.30	889.00	223.00	583.00	-	3694.30	42
	Permits	-	-	-	9	1	1	5	-	16	
	Valuation	-	-	-	332,172	160,000	40,000	95,400	-	627,572	
MAR	Fee	-	-	-	793.00	757.90	385.00	1,655.00	-	3590.90	55
	Permits	-	-	-	17	1	1	11	-	30	
	Valuation	-	-	-	24,395	153,000	35,000	248,800	-	461,195	
APR	Fee	2452.36	-	-	1,055.10	917.50	-	660.00	-	5,084.96	48
	Permits	2	-	-	21	1	-	8	-	32	
	Valuation	595,708	-	-	63,749	195,000	-	30,795	-	885,253	
MAY	Fee	1012.00	-	-	517.30	1484.70	-	894.55	-	3908.55	60
	Permits	2	-	-	14	2	-	6	-	24	
	Valuation	374,574	-	-	17,873	402,030	-	347,503	-	1,141,980	
JUN	Fee	3,974.70	-	-	568.60	1,130.05	-	21.00	-	5,694.35	43
	Permits	4	-	-	13	2	-	1	-	20	
	Valuation	861,790	-	-	63,533	765,000	-	28,000	-	1,718,323	
JUL	Fee	1810.46	-	-	865.70	2006.04	-	1226.28	-	5908.48	44
	Permits	1	-	-	21	1	-	4	-	27	
	Valuation	487,996	-	-	52,685	557,220	-	280,000	-	1,377,901	
AUG	Fee	853.60	-	-	898.80	374.00	-	186.00	-	2312.400	53
	Permits	1	-	-	14	1	-	5	-	21	
	Valuation	161,259	-	-	53,522	54,400	-	29,800	-	298,981	
SEP	Fee	706.20	100.00	-	1019.00	-	-	200.00	-	2025.20	33
	Permits	1	1	-	12	-	-	2	-	16	
	Valuation	133,624	7,200	-	76,214	-	-	12,800	-	229,838	
OCT	Fee	-	-	-	1254.00	-	-	174.00	-	1428.00	56
	Permits	-	-	-	12	-	-	6	-	18	
	Valuation	-	-	-	139,745	-	-	9,650	-	149,395	
NOV	Fee										
	Permits										
	Valuation										
DEC	Fee										
	Permits										
	Valuation										
2012 TOTAL PERMITS		11	1	-	133	9	2	59	-	34,936.94	460
										215	
										6,127,438	

GARDEN CITY

2012 MONTHLY BUILDING REPORT

2012 Monthly Report		Single Family Residential Includes Modular Permits	Single Family Manufactured Permits	Multi-Family Permits (two or more attached dwellings)	Residential Remodel Permits	Commercial Permits	Industrial Permits	Commercial & Industrial Remodel Permits	Miscellaneous Permits (Utility, Religious, Public or Non-Profit Projects)	TOTAL Fee, Permits & Valuation	TOTAL Number of Inspections
JAN	Fee	-	-	1,012.00	17.00	-	-	3,491.00	-	4,520.00	162
	Permits	-	-	1-2	1	-	-	62	-	65	
	Valuation	-	-	276,132	300	-	-	944,151	-	1,220,583	
FEB	Fee	-	-	-	921.20	100.00	-	764.50	-	1785.70	156
	Permits	-	-	-	27	1	-	25	-	53	
	Valuation	-	-	-	76,021	20,000	-	48,175	-	144,196	
MAR	Fee	-	-	2,082.30	2,508.50	-	27.00	2,780.90	-	7,398.70	143
	Permits	-	-	1-3	82	-	1	23	-	109	
	Valuation	-	-	470,779	195,096	-	1,000	502,065	-	1,168,940	
APR	Fee	1,394.80	-	-	2,553.10	-	-	6,298.91	-	10,246.81	141
	Permits	3	-	-	88	-	-	29	-	120	
	Valuation	557,299	-	-	248,477	-	-	1,789,041	-	2,594,817	
MAY	Fee	1219.90	4917.62	-	3758.80	2002.00	-	4917.62	101.00	12,134.32	157
	Permits	2	5	-	120	4	-	35	1	167	
	Valuation	262,060	3200	-	289,073	485,180	-	1,111,955	18,000	2,169,468	
JUN	Fee	-	-	-	2,647.00	7,101.50	-	2,566.90	7,046.80	19,362.60	185
	Permits	-	-	-	83	4	-	33	2	122	
	Valuation	-	-	-	254,605	2,301,500	-	374,192	11,900	2,942,197	
JUL	Fee	-	-	-	2,885.50	-	-	1,130.58	-	4,016.08	137
	Permits	-	-	-	82	-	-	25	-	107	
	Valuation	-	-	-	309,492	-	-	141,248	-	450,740	
AUG	Fee	-	-	-	2353.90	33,235	-	6452	-	42,041.00	116
	Permits	-	-	-	63	1	-	23	2	89	
	Valuation	-	-	-	217,861	5,000,000	-	1,718,264	896,800	7,832,925	
SEP	Fee	-	363.00	-	2810.60	-	-	5757.80	-	8931.40	92
	Permits	-	1	-	68	-	-	26	-	95	
	Valuation	-	64,782	-	332,476	-	-	1,279,338	-	1,676,597	
OCT	Fee	-	100.00	-	3062.30	-	663.60	3810.00	-	7605.90	172
	Permits	1	1	1-2	98	-	1	31	-	134	
	Valuation	70,000	9,000	220,000	274,053	-	131,500	771,450	-	1,476,003	
NOV	Fee										
	Permits										
	Valuation										
DEC	Fee										
	Permits										
	Valuation										
2012 TOTAL PERMITS		6	7	3-7	712	10	2	312	5	118,042.51 1061	1461
										21,676,466	

HOLCOMB

2012 MONTHLY BUILDING REPORT

2012 Monthly Report		Single Family Residential Includes Modular Permits	Single Family Manufactured Permits	Multi-Family Permits (two or more attached dwellings)	Residential Remodel Permits	Commercial Permits	Industrial Permits	Commercial & Industrial Remodel Permits	Miscellaneous Permits (Utility, Religious, Public or Non-Profit Projects)	TOTAL Fee, Permits & Valuation	TOTAL Number of Inspections
JAN	Fee	-	-	-	28.00	-	-	1,954.00	-	1,982.00	20
	Permits	-	-	-	1	-	-	5	-	6	
	Valuation	-	-	-	750	-	-	263,242	-	263,992	
FEB	Fee	-	-	-	274.00	-	-	113.00	-	387.00	23
	Permits	-	-	-	5	-	-	4	-	9	
	Valuation	-	-	-	3,700	-	-	2,050	-	5,750	
MAR	Fee	-	-	-	311.80	-	-	21.00	-	332.80	15
	Permits	-	-	-	7	-	-	1	-	8	
	Valuation	-	-	-	20,628	-	-	20,000	-	40,628	
APR	Fee	-	-	-	421.00	-	-	-	-	421.00	15
	Permits	-	-	-	11	-	-	-	-	11	
	Valuation	-	-	-	12,610	-	-	-	-	12,610	
MAY	Fee	744.70	-	-	189.30	-	-	-	-	934.00	13
	Permits	1	-	-	3	-	-	-	-	4	
	Valuation	138,648	-	-	12,607	-	-	-	-	151,255	
JUN	Fee	742.50	-	-	249.50	-	-	-	-	992.00	18
	Permits	1	-	-	6	-	-	-	-	7	
	Valuation	134,053	-	-	16,717	-	-	-	-	150,770	
JUL	Fee	-	-	-	339.60	-	-	326.10	-	665.70	9
	Permits	-	-	-	6	-	-	4	-	10	
	Valuation	-	-	-	21,775	-	-	29,761	-	51,536	
AUG	Fee	2,131.40	-	-	423.60	-	-	260.00	-	2,815.00	23
	Permits	2	-	-	11	-	-	3	-	16	
	Valuation	520,000	-	-	22,370	-	-	16,100	-	558,470	
SEP	Fee	-	-	-	664.30	-	-	-	-	664.30	12
	Permits	-	-	-	9	-	-	-	-	9	
	Valuation	-	-	-	58,850	-	-	-	-	58,850	
OCT	Fee	-	-	-	106.80	-	-	5.00	-	111.80	17
	Permits	-	-	-	3	-	-	1	-	4	
	Valuation	-	-	-	6,000	-	-	0	-	6,000	
NOV	Fee										
	Permits										
	Valuation										
DEC	Fee										
	Permits										
	Valuation										
2012 TOTAL PERMITS		4	-	-	62	-	-	18	-	9,305.60	165
										84	
										1,299,861	

councildistrict	permittertype	address	amount	value	purpose	structure	projectdescription
Finney County	BUILDING PERMIT	7255 East LOWE	133.00	15,000	Building	Residential Remodel	BASEMENT REMODEL
Finney County	BUILDING PERMIT	229 NELSON	190.00	35,000	Building	Residential Remodel	Finishing Basment. One master bedroom with bath. One fitness room
Finney County	BUILDING PERMIT	2720 West MAPLE	155.00	7,000	Building	Residential Remodel	28x56 GARAGE
Finney County	ELECTRICAL	6600 East WELDON	27.00	800	Electrical	Residential Remodel	INSTALL UNDERGROUND FROM EXISTING SERVICE TO NEW METER CAN
Finney County	GAS	203 AVE A	38.00	850	Gas Permit	Commercial/Industrial Remodel	INSTALL PROPANE GAS LINE FROM TANK TO BDG
Finney County	ELECTRICAL	710 VFW Road	27.00	3,000	Electrical	Commercial/Industrial Remodel	Electrical permit: Junction box relay and/or epa pump monitor
Finney County	ELECTRICAL	1015 South RACEWAY	27.00	2,500	Electrical	Commercial/Industrial Remodel	CHANGE SERVICE
Finney County	UTILITY	2225 South AIR SERVICE Road	0.00	0	Electrical	Commercial/Industrial Remodel	METER, DEPOSIT, CONNECT FEE
Finney County	ELECTRICAL	4155 RACHAEL RD	27.00	0	Electrical	Residential Remodel	NEW ELECTRICAL SERVICE
Finney County	BUILDING PERMIT	107 STRATFORD	155.00	20,000	Building	Residential Remodel	GARAGE ADDITION 14X24
Finney County	ELECTRICAL	108 AVE C	38.00	1,000	Electrical	Residential Remodel	TEMP SERVICE DUE TO A FIRE IN HOUSE
Finney County	BUILDING PERMIT	2785 West Tennis Road	27.00	27	Building	Residential Remodel	New metal Roof
Finney County	GAS	1805 West Annie Scheer Road	28.00	1,000	Gas Permit	Commercial/Industrial Remodel	Installing a propane gas line from propane tank to office building.
Finney County	BUILDING PERMIT	1804 GRANDVIEW EAST	374.00	55,000	Building	Residential Remodel	SWIMMING POOL AND POOL HOUSE
Finney County	PLUMBING	3730 West JONES	27.00	1,800	Plumbing	Commercial/Industrial Remodel	WATER LINE FROM METER TO BDG
Finney County	GAS	4355 East HWY 50 #2	27.00	500	Gas Permit	Commercial/Industrial Remodel	GAS PRESSURE TEST
Finney County	BUILDING PERMIT	2165 Andover Drive	27.00	1,000	Building	Residential Remodel	64 square feet shed
Finney County	BUILDING PERMIT	930 OEDING	63.00	4,418	Building	Residential Remodel	SIDING
Finney County	GAS	4355 East HWY 50	38.00	500	Gas Permit	Residential Remodel	GAS PRESSUR TEST
Garden City	PLUMBING	806 North SECOND	17.00	750	Plumbing	Residential Remodel	remove and replace with new 40 gal water heater
Garden City	ELECTRICAL	510 Bancroft Street	27.00	300	Electrical	Residential Remodel	Installing Electrical wiring from house to shed. Putting one light fixture inside the shed and one outside.
Garden City	EXCAVATION	1719 JANICE	5.00	0	Excavation	Residential Remodel	REPLACE SEWER LINE
Garden City	BUILDING PERMIT	2504 A	27.00	3,000	Building	Residential Remodel	NEW STORAGE
Garden City	CURB CUT	2017 North THIRD	5.00	0	Curb Cut	Residential Remodel	DRIVEWAY EXPANSION
Garden City	BUILDING PERMIT	1616 CRESTWAY	10.00	5,000	Building	Residential Remodel	6' WOOD FENCE
Garden City	PLUMBING	314 North MAIN	17.00	1,000	Plumbing	Commercial/Industrial Remodel	SEWER REPLACEMENT

Garden City	GAS	1605 East JOHNSON	27.00	150	Gas Permit	Residential Remodel	Moving gas line because of a leak Black Hills moving meter to house
Garden City	BUILDING PERMIT	503 East LAUREL	10.00	500	Building	Residential Remodel	6' WOOD FENCE
Garden City	GAS	1611 WINDY VIEW #5	17.00	500	Gas Permit	Residential Remodel	Gas pressure test. 1611 Windy view Apt 5
Garden City	BUILDING PERMIT	306 East OLIVE	27.00	3,000	Building	Residential Remodel	12X12 SHED
Garden City	PLUMBING	912 East FULTON	27.00	450	Plumbing	Residential Remodel	REPLACE WATER HEATER
Garden City	BUILDING PERMIT	701 GARDENDALE Drive	0.00	54,400	Building	Commercial/Industrial Remodel	RESTROOM
Garden City	ELECTRICAL	1412 North MAIN	100.00	10,000	Electrical	Commercial/Industrial Remodel	CONCESSION REMODEL
Garden City	GAS	1509 JOHNSON	27.00	800	Gas Permit	Residential Remodel	09NEW GAS LINE TO METER
Garden City	PLUMBING	1718 BELMONT	27.00	800	Plumbing	Residential Remodel	REPLACE SEWER LINE IN ALLEY
Garden City	UTILITY	713 AMY	215.32	0	Electrical	SF Residential Includes Modular	METER, DEPOSIT, CONNECT FEE
Garden City	GAS	2935 PRAIRIE	27.00	800	Gas Permit	Residential Remodel	GAS PRESSURE TEST
Garden City	CURB CUT	1707 West KANSAS	0.00	0	Curb Cut	Residential Remodel	CURB CUT
Garden City	GAS	1611 WINDY VIEW #6	17.00	500	Gas Permit	Residential Remodel	Gas pressure test. 1611 Windy view Apt 6
Garden City	BUILDING PERMIT	153 STEVENS	27.00	2,500	Building	Commercial/Industrial Remodel	REPLACE STAIRS TO APT-10" RUN IS ACCEPTED
Garden City	GAS	1308 CLOUD	17.00	1,000	Gas Permit	Residential Remodel	Run new gas line. gas pressure test
Garden City	BUILDING PERMIT	1414 West CAMPBELL	52.00	5,000	Building	Residential Remodel	STUCCO HOUSE
Garden City	SIGN PERMIT	1715 KANSAS	150.00	0	Wall Sign	Commercial/Industrial Remodel	ROOF SIGN AND WALL SIGN FOR TEQUILAS
Garden City	EXCAVATION	802 CENTER	5.00	0	Excavation	Residential Remodel	REPLACE SEWER LINE
Garden City	BUILDING PERMIT	159 CLOVERLEAF	100.00	9,000	Building	SF Manufactured (HUD Standards)	REMOVE AND REPLACE MOBILE HOME
Garden City	UTILITY	713 AMY	40.00	0	Plumbing	SF Residential Includes Modular	METER, DEPOSIT, CONNECT FEE
Garden City	PLUMBING	2109 A Street	27.00	500	Plumbing	Residential Remodel	Repair Sewer Line
Garden City	CURB CUT	536 JENNA	10.00	0	Curb Cut	Residential Remodel	DRIVEWAY AND SIDEWALK
Garden City	GAS	2207 MAIN	27.00	300	Gas Permit	Residential Remodel	REGROUND GAS LINE TO BASEMENT
Garden City	BUILDING PERMIT	140 HARVEST	0.00	5,000	Building	Commercial/Industrial Remodel	ERECT SCADA COMMUNICATIONS TOWER
Garden City	GAS	2801 EIGHTH #14	27.00	400	Gas Permit	Residential Remodel	GAS PRESSURE TEST
Garden City	BUILDING PERMIT	811 PEARL	27.00	2,975	Building	Residential Remodel	RE-ROOF
Garden City	BUILDING PERMIT	2001 West MAPLE	27.00	700	Building	Residential Remodel	Bathroom in existing part of new addition.
Garden City	BUILDING PERMIT	1500 East KANSAS	100.00	15,000	Building	Commercial/Industrial Remodel	REMODEL BASEMENT OFFICE
Garden City	BUILDING PERMIT	606 East HAMLIN	52.00	4,000	Building	Residential Remodel	REROOF

Garden City	BUILDING PERMIT	1007 North FIRST	10.00	7,000	Building	Residential Remodel	6' & 3' FENCE
Garden City	MECHANICAL	1801 West KANSAS	46.80	4,675	Mechanical	Residential Remodel	C/O A/C
Garden City	PLUMBING	1718 BELMONT	27.00	1,800	Plumbing	Residential Remodel	REPLACE SEWER LINE FROM HOUSE TO ALLEY
Garden City	GAS	4101 East HWY 50 #358	17.00	500	Gas Permit	Residential Remodel	Gas Pressure test/ 4101 E. Hwy 50 lot# 358
Garden City	BUILDING PERMIT	706 North SEVENTH	190.00	40,000	Building	Residential Remodel	REMODEL ENTIRE HOUSE
Garden City	CURB CUT	2405 East FULTON	15.00	0	Curb Cut	Commercial/Industrial Remodel	2-DRIVEWAYS, SOUTH SIDE WITH 2 SIDE WALLS, 1/2 LOT
Garden City	ELECTRICAL	107 North JENNIE BARKER #5A	27.00	2,000	Electrical	Commercial/Industrial Remodel	SEPERATE POWER FROM UPSTAIRS AND BASEMENT
Garden City	BUILDING PERMIT	7675 East LOWE	111.00	7,000	Building	Residential Remodel	REPLACE SIDING
Garden City	PLUMBING	916 ANDERSON	27.00	1,200	Plumbing	Residential Remodel	REPAIR SEWER LINE AT ALLEY
Garden City	BUILDING PERMIT	809 North SIXTH	10.00	1,500	Building	Residential Remodel	6' CEDAR FENCE
Garden City	EXCAVATION	1501 WALLACE	5.00	0	Excavation	Commercial/Industrial Remodel	REPLACE SEWER LINE
Garden City	BUILDING PERMIT	1106 North TAYLOR	671.00	150,000	Building	Commercial/Industrial Remodel	BDG REMODEL AND DRIVE THRU MODIFICATIONS
Garden City	GAS	1611 WINDY VIEW #8	17.00	500	Gas Permit	Residential Remodel	Gas pressure test. 1611 Windy view Apt 8
Garden City	UTILITY	533 JENNA Lane	40.00	0	Plumbing	Residential Remodel	METER, DEPOSIT, CONNECT FEE
Garden City	UTILITY	715 AMY	40.00	0	Plumbing	SF Residential Includes Modular	METER, DEPOSIT, CONNECT FEE
Garden City	GAS	1611 WINDY VIEW #7	17.00	500	Gas Permit	Residential Remodel	Gas pressure test. 1611 Windy view Apt 7
Garden City	UTILITY	535 JENNA Lane	40.00	0	Plumbing	Residential Remodel	METER, DEPOSIT, CONNECT FEE
Garden City	GAS	613 SARAH	17.00	700	Gas Permit	Residential Remodel	gas pressure test/ run gas line to range
Garden City	BUILDING PERMIT	1105 SUMMIT	10.00	500	Building	Residential Remodel	5' CHAIN FENCE
Garden City	PLUMBING	159 CLOVERLEAF	27.00	500	Plumbing	Residential Remodel	HOOK UP WATER, SEWER, AND GAS TO MOBILE HOME
Garden City	PLUMBING	802 CENTER	27.00	1,250	Plumbing	Residential Remodel	REPLACE SEWER LINE
Garden City	BUILDING PERMIT	805 DAVIS	100.00	10,000	Building	Residential Remodel	ADDITION TO PATIO
Garden City	BUILDING PERMIT	1210 TENTH	10.00	2,500	Building	Residential Remodel	6' WOOD FENCE
Garden City	UTILITY	715 AMY	215.32	0	Electrical	SF Residential Includes Modular	METER, DEPOSIT, CONNECT FEE
Garden City	PLUMBING	1505 East KANSAS	90.00	6,300	Plumbing	Commercial/Industrial Remodel	Remove and install 100 gal water heater. Jade Buffet
Garden City	EXCAVATION	1718 BELMONT	5.00	0	Excavation	Residential Remodel	REPLACE SEWER LINE

Garden City	PLUMBING	2913 MARIAN	17.00	300	Plumbing	Residential Remodel	Remove and install customer provided water heater.
Garden City	GAS	1504 JAN	27.00	380	Gas Permit	Residential Remodel	GAS PRESSURE TEST
Garden City	PLUMBING	1212 CONARD	17.00	300	Plumbing	Residential Remodel	Remove and install 40 gal water heater provided by black hills energy
Garden City	BUILDING PERMIT	305 West MARY	52.00	3,500	Building	Residential Remodel	REPAIR
Garden City	BUILDING PERMIT	320 COLONY	27.00	200	Building	Residential Remodel	INSTALL NEW WINDOW
Garden City	BUILDING PERMIT	801 CAMPUS	10.00	10,000	Building	Commercial/Industrial Remodel	6' CEDAR FENCE
Garden City	BUILDING PERMIT	1303 SAFFORD	27.00	3,000	Building	Residential Remodel	REROOF
Garden City	MECHANICAL	1218 BELMONT	24.30	2,100	Mechanical	Commercial/Industrial Remodel	C/O FURNACE
Garden City	GAS	908 North MAIN	27.00	250	Gas Permit	Commercial/Industrial Remodel	GAS LINE TEST
Garden City	PLUMBING	616 MAGNOLIA	17.00	750	Plumbing	Residential Remodel	remove old water heater and install new water heater.
Garden City	BUILDING PERMIT	1330 NORTHSORE Circle	21.00	2,500	Building	Residential Remodel	6' CHAIN LINK FENCE-MUST BE AT LEAST 60 FEET FROM FRONT OF PROPERTY LINE OR BE 70% OR MORE OPEN
Garden City	EXCAVATION	916 ANDERSON	5.00	0	Excavation	Residential Remodel	REPAIR SEWER LINE AT ALLEY
Garden City	BUILDING PERMIT	1107 OLIVE	100.00	8,000	Building	Commercial/Industrial Remodel	CHURCH REMODEL
Garden City	SIGN PERMIT	2204 East KANSAS #5	75.00	0	Wall Sign	Commercial/Industrial Remodel	PERM. SIGN FOR RUE 21
Garden City	BUILDING PERMIT	2405 East FULTON	10.00	10,000	Building	Commercial/Industrial Remodel	85" FENCE
Garden City	BUILDING PERMIT	713 AMY	0.00	110,000	Building	SF Residential Includes Modular	NEW HOME
Garden City	BUILDING PERMIT	4101 East HWY 50 #529	27.00	2,100	Building	Residential Remodel	10X12 STORAGE DETACHED BDG
Garden City	GAS	2401 KANSAS #112	27.00	300	Gas Permit	Residential Remodel	GAS LINE
Garden City	CURB CUT	1204 LABRADOR	10.00	0	Curb Cut	Residential Remodel	REMOVE/REPLACE SIDEWALK AND DRIVEWAY
Garden City	BUILDING PERMIT	2619 North THIRD	100.00	7,000	Building	Residential Remodel	WINDOW REPLACEMENT
Garden City	PLUMBING	602 East THOMPSON	27.00	1,200	Plumbing	Residential Remodel	REPAIR SEWER LINE IN ALLEY
Garden City	BUILDING PERMIT	1326 BANCROFT	27.00	800	Building	Residential Remodel	16X12 DECK
Garden City	BUILDING PERMIT	2902 CASTLEWOOD	27.00	3,400	Building	Residential Remodel	PATIO AND SIDEWALK
Garden City	BUILDING PERMIT	517 Summit Street	27.00	700	Building	Residential Remodel	Covered porch in back yard. Will be attached to house with hangers.
Garden City	PLUMBING	1719 JANICE	27.00	800	Plumbing	Residential Remodel	REPLACE SEWER LINE BACKYARD TO MAIN
Garden City	UTILITY	107 North JENNIE BARKER #5A	416.27	0	Electrical	Commercial/Industrial Remodel	METER, DEPOSIT, CONNECT FEE
Garden City	ELECTRICAL	301 West Maple	27.00	1,000	Electrical	Residential Remodel	301 W. Maple, replace brake box and install smoke detector and gfci outlets

Garden City	BUILDING PERMIT	1803 KOSTER	52.00	3,850	Building	Residential Remodel	REPLACE WINDOWS-BEDROOM WINDOWS SHALL MEET EGRESS REQUIREMENTS
Garden City	BUILDING PERMIT	159 SHAMROCK	10.00	700	Building	Residential Remodel	6' FENCE-3' BEYOND THE FRONT LINE OF HOUSE
Garden City	BUILDING PERMIT	1203 North TENTH	27.00	1,100	Building	Residential Remodel	SIDEWALK AROUND HOUSE
Garden City	SIGN PERMIT	905 East KANSAS	150.00	0	Wall Sign	Commercial/Industrial Remodel	2 SIGNS FOR ELKS CLUB
Garden City	BUILDING PERMIT	212 West SANTA FE	0.00	0	Building	Commercial/Industrial Remodel	Some concrete work on sidewalk on maple and 9th street.
Garden City	BUILDING PERMIT	202 West OLIVE	100.00	7,300	Building	Residential Remodel	TEAR OFF AND REPLACE ROOF
Garden City	ELECTRICAL	2902 MAIN	27.00	400	Electrical	Commercial/Industrial Remodel	UPGRADE TO 200AMP
Garden City	BUILDING PERMIT	2311 North THIRD	10.00	8,300	Building	Residential Remodel	6' CEDAR FENCE
Garden City	ELECTRICAL	622 GARDEN CITY	17.00	500	Electrical	Residential Remodel	Modify electrical service and connective wiring to accommodate stairway.
Garden City	ELECTRICAL	207 South MAIN	27.00	800	Electrical	Residential Remodel	REWORK SERVICE
Garden City	BUILDING PERMIT	540 East 5 MILE Road	633.60	131,500	Building	New Industrial	COMMUNICATION TOWER AND FENCE
Garden City	PLUMBING	1201 TENTH	27.00	100	Plumbing	Residential Remodel	REPLACE SEWER LINE FROM HOUSE TO SERVICE
Garden City	BUILDING PERMIT	208 PENNSYLVANIA	27.00	1,500	Building	Residential Remodel	12'x16' shed
Garden City	BUILDING PERMIT	502 North FIFTH	0.00	70,000	Building	SF Residential Includes Modular	NEW HOUSE AND REMODEL EXISTING GARAGE
Garden City	MECHANICAL	1604 BLUFF	24.30	1,415	Mechanical	Residential Remodel	INSTALL GAS LOG SET
Garden City	BUILDING PERMIT	106 WILEY	1327.70	360,000	Building	Commercial/Industrial Remodel	ADDITION TO HOLCOMB RECREATION BDG
Garden City	BUILDING PERMIT	2614 COACHMAN	10.00	900	Building	Residential Remodel	6' FENCE REPLACEMENT
Garden City	GAS	410 North 6th Street	17.00	500	Gas Permit	Commercial/Industrial Remodel	permit for gas pressure test
Garden City	PLUMBING	2006 OLD MANOR	17.00	2,790	Plumbing	Residential Remodel	Replace service sewer line
Garden City	ELECTRICAL	1412 North MAIN	27.00	2,000	Electrical	Commercial/Industrial Remodel	INSTALL 100A SERVICE ON POLE AND TRENCH TO GARBAGE DISPOSAL
Garden City	BUILDING PERMIT	1705 SUMMERWOOD	190.00	30,000	Building	Residential Remodel	32'X24' GARAGE
Garden City	BUILDING PERMIT	2610 CARRIAGE	100.00	25,000	Building	Residential Remodel	24'x30' GARAGE
Garden City	MECHANICAL	2015 CAMPUS	46.80	4,184	Mechanical	Residential Remodel	C/O A/C
Garden City	MECHANICAL	2106 ANTLER RIDGE	24.30	1,706	Mechanical	Residential Remodel	C/O GAS LOG SET
Garden City	BUILDING PERMIT	1223 PARKWOOD	10.00	900	Building	Residential Remodel	3' AND 6' FENCE
Garden City	UTILITY	107 GARDENDALE	0.00	0	Electrical	Commercial/Industrial Remodel	METER, DEPOSIT, CONNECT FEE

Garden City	PLUMBING	801 CAMPUS	42.00	5,000	Plumbing	Commercial/Industrial Remodel	Remove and Replace 100 gal water heater/ gccc-kitchen
Garden City	PLUMBING	209 North MAIN	17.00	1,500	Plumbing	Residential Remodel	Replace water service line. (Sign Pro)
Garden City	SIGN PERMIT	907 North 10 Street	25.00	0	Temporary Sign	Commercial/Industrial Remodel	Temporary Sign Permit for Finney County Senior Association Inc.
Garden City	BUILDING PERMIT	1624 CENTER	10.00	1,000	Building	Residential Remodel	6' CEDAR FENCE
Garden City	MECHANICAL	1205 A Street	190.00	32,000	Mechanical	Commercial/Industrial Remodel	INSTALLATION OF KITCHEN EXHAUST HOODS.
Garden City	PLUMBING	161 honey bee	17.00	1,100	Plumbing	Residential Remodel	remove and replace water heater
Garden City	EXCAVATION	602 East THOMPSON	5.00	0	Excavation	Residential Remodel	REPAIR SEWER LINE IN ALLEY
Garden City	BUILDING PERMIT	2500 SPRUCE	451.00	85,000	Building	Commercial/Industrial Remodel	ERECT 120' MONOPOLE, 11'X30' EQUIPMENT SHELTER
Garden City	MECHANICAL	702 ANDERSON	46.80	5,025	Mechanical	Residential Remodel	C/O A/C
Garden City	EXCAVATION	715 AMY	5.00	0	Excavation	Residential Remodel	SEWER INSTALLATION
Garden City	GAS	908 HOWERTON	27.00	480	Gas Permit	Residential Remodel	GAS PRESSURE TEST
Garden City	SIGN PERMIT	107 GRANT Avenue	75.00	0	Wall Sign	Commercial/Industrial Remodel	PROJECTING WALL SIGN
Garden City	BUILDING PERMIT	2801 C Street	27.00	500	Building	Residential Remodel	Carport floor replacement
Garden City	PLUMBING	2601 MARY #518	27.00	1,200	Plumbing	Residential Remodel	GAS PRESSURE TEST
Garden City	EXCAVATION	1718 BELMONT	5.00	0	Excavation	Residential Remodel	REPLACE SEWER LINE IN ALLEY
Garden City	BUILDING PERMIT	1801 NEIL	27.00	1,000	Building	Residential Remodel	8X10 SHED
Garden City	BUILDING PERMIT	213 PROSPECT	54.00	1,539	Building	Residential Remodel	REPLACEMENT WINDOWS
Garden City	GAS	803 SAFFORD	17.00	500	Gas Permit	Residential Remodel	GAS PRESSURE TEST
Garden City	ELECTRICAL	1705 SUMMERWOOD	17.00	500	Electrical	Residential Remodel	Feed power to garage and outbuilding.
Garden City	BUILDING PERMIT	715 AMY	0.00	110,000	Building	SF Residential Includes Modular	NEW HOME
Garden City	BUILDING PERMIT	908 INGE	27.00	0	Building	Residential Remodel	10X12 SHED
Garden City	PLUMBING	604 East MAPLE	0.00	10,000	Plumbing	Commercial/Industrial Remodel	SPRINKLER SYSTEM EAST OF BIG POOL-CITY PROJECT
Garden City	DEMO PERMIT	4430 HWY 50	30.00	0	Demo	Commercial/Industrial Remodel	DEMO OF OLD STRUCTURES
Garden City	MECHANICAL	2602 SCHULMAN	24.30	2,384	Mechanical	Residential Remodel	C/O FURNACE
Garden City	BUILDING PERMIT	1500 East KANSAS	190.00	26,000	Building	Residential Remodel	BUILD RETAINING WALLS FOR PLANTING AREAS
Garden City	BUILDING PERMIT	109 South THIRTEENTH	27.00	500	Building	Residential Remodel	REPLACE SHINGLES
Garden City	BUILDING PERMIT	2511 North SIXTH	0.00	0	Building	Residential Remodel	CARPORT RENEWAL
Garden City	UTILITY	107 GARDENDALE	0.00	0	Plumbing	Commercial/Industrial Remodel	METER, DEPOSIT, CONNECT FEE
Holcomb	BUILDING PERMIT	202 TYLER	21.00	1,500	Building	Residential Remodel	6' CEDAR PICKET FENCE

Holcomb	CURB CUT	305 WILEY	5.00	0	Curb Cut	Commercial/Industrial Remodel	ADD TO EXISTING BUS PARKING. NEW PAD 14'X20'
Holcomb	GAS	301 JENNY	28.00	500	Gas Permit	Residential Remodel	Gas Pressure Test
Holcomb	MECHANICAL	205 LYNCH	57.80	4,000	Mechanical	Residential Remodel	C/O A/C



CASE TOTAL-669 AS OF 11/01/2012

2012 CODE ENFORCEMENT REPORT

Jurisdiction	File#	Address	ParcelID	Category	Description	OpenDate	CloseDate	PW Clean Up	Resolution	Vehicle Resolution
Garden City	12-000002	1512 A	2730704021002000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLE STORED ON THE PROPERTY. LIGHT BLUE MINI BUS,	1/3/2012	2/3/2012			
Garden City	12-000003	1522 SUNDANCE	2730504012023000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- 1 TOILET, 2 GLASS STORM DOORS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/3/2012	1/13/2012			
Garden City	12-000004	1510 SUNDANCE	2730504012020000	Unlawful Deposits	DEPOSITS IN RIGHT OF WAY- TREE BRANCHES, TRASH, LITTER, & DEBRIS, DEPOSITED IN ALLEY RIGHT OF WAY	1/3/2012	1/13/2012			
Garden City	12-000005	514 BANCROFT	2661301030007000	Debris/Trash	ENVIRO YARD- MISC APPLIANCES, MISC JUNK, SCRAP LUMBER, SCRAP METAL, MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/3/2012	2/24/2012		1/20/2012	
Garden City	12-000027	512 INGE	2661301028006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- CHRISTMAS TREE DEPOSITED IN STREET RIGHT OF WAY.	1/6/2012	1/11/2012			
Garden City	12-000028	2802 North MAIN	2730604002003000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLE PAKED IN BACK OF RESIDENCE. OLDER BLUE THUNDERBIRD,	1/6/2012	2/24/2012			1/27/2012
Garden City	12-000029	2704 North MAIN	2730604002007000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED BUS PAKED ON THE BACK PROPERTY OF RESIDENCE. RED BUS,	1/6/2012	10/5/2012			3/23/2012
Garden City	12-000030	1301 MELANIE	2730803011007000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS DEPOSITED IN ALLEY RIGHT OF WAY DEPOSITED FROM 1301 MELANIE AND I SPOKE TO PROPERTY OWNER WHO ADMITTED TO DEPOSITING THE MATTRESS.	1/6/2012	1/12/2012			
Garden City	12-000031	801 East CEDAR	2741702027004000	Vehicles	VEHICLE NUISANCE- INOPERABLE TRUCK PARKED IN BACK OF RESIDENCE. OLD FORD TRUCK,	1/6/2012	1/12/2012			
Garden City	12-000033	709 EVANS	2741702027009000	Vehicles	VEHICLE NUISANCE- SMALL MOVING TRUCK PARKED IN THE BACK OF RESIDENCE. WHITE ISUSU SMALL MOVING TRUCK,	1/6/2012	1/13/2012			
Garden City	12-000035	1211 North TENTH			RENTAL INSPECTION	1/6/2012	1/13/2012			
Garden City	12-000044	509 SUMMIT	2661301030014000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, SCRAP LUMBER, OLD CARPETING, TRASH, LITTER, & DEBRIS, DEPOSITED IN ALLEY RIGHT OF WAY.	1/9/2012	2/24/2012	1/20/2012		
Garden City	12-000045	511 SUMMIT	2661301030015000	Unlawful Deposits	DEPOSIT IN RIGHT OF WAY- MISC FURNITURE.	1/9/2012	1/20/2012			
Garden City	12-000047	702 MULBERRY	2741802016001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/9/2012	1/20/2012			
Garden City	12-000048	621 North THIRTEENTH	2741802016011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/9/2012	1/20/2012			

Garden City	12-000049	1216 MULBERRY	2661301015007000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TIRES DEPOSITED IN THE STREET RIGHT OF WAY.	1/9/2012	1/12/2012			
Garden City	12-000070	601 North THIRD	2741801028007000	Debris/Trash	ENVIRO YARD- COUCH, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/12/2012	3/7/2012	2/24/2012		
Garden City	12-000071	1218 MULBERRY	2661301015008000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLES BEING STORED ON THE PROPERTY. LIGHT BLUE PONTIAC FIRE BIRD TAG# PSI-742, GREEN CHRYSLER MINIVAN TAG# XMZ-169	1/12/2012	1/27/2012			
Garden City	12-000081	1005 North SECOND	2741702004016000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLE STORED ON THE PROPERTY. WHITE CHEVY PICKUP TAG# 512-CLO	1/13/2012	1/27/2012			
Garden City	12-000085	1006 North THIRD	2741702004010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES- PALLETS- RAIL ROAD TIES- TRASH LITTER & DEBRIS, DEPOSITED IN ALLEY RIGHT OF WAY.	1/13/2012	1/27/2012			
Garden City	12-000086	2221 HERITAGE	2751603010014000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- COUCH, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/13/2012	1/25/2012			
Garden City	12-000087	1511 East CHESTNUT	2741704007010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESSES, MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY	1/13/2012	1/25/2012			
Garden City	12-000088	1505 East CHESTNUT	2741704007009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESSES, MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY	1/13/2012	1/25/2012			
Garden City	12-000089	1501 East CHESTNUT	2741704007008000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS, MISC FURNITURE, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/13/2012	1/25/2012			
Garden City	12-000090	317 North SEVENTH	2741804007001000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MATTRESSES, FILE CABINET, DEPOSITED ON THE PROPERTY.	1/13/2012	1/25/2012			
Garden City	12-000121	803 East LAUREL	2741703011005000	Bldg Code Misc	FIRE DAMAGED UNSECURED STRUCTURE	1/19/2012				
Garden City	12-000139	1220 MULBERRY	2661301015009000	Vehicles	VEHICLE NUISANCE- AN INOPERABLE & UNREGISTERED VEHICLE PAKED IN SIDE YARD NEXT TO THE HOUSE. BLACK & YELLOW PONTIAC WITH PAINTED FLAMES,	1/23/2012	2/2/2012			
Garden City	12-000140	601 CONKLING	2661301031019000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES- SCRAP MLUMBER, CINDER BLOCKS, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO DUMPSTER	1/23/2012		2/15/2012		
Garden City	12-000141	1605 GEORGE	2661301011008000	Vehicles	VEHICLE NUISANCE- AN INOPERABLE & UNREGISTERED VEHICLE PARKED IN BACK YARD OF RESIDENCE. WHITE MERCURY COUGAR TAG# XJU-025,	1/23/2012	3/8/2012			2/2/2012
Garden City	12-000146	1916 LABRADOR #4	2730504008001.03-0	Bldg Code Misc	VEHICLE HIT ELECTRIC METER PEDESTAL AND THEN THE GARAGE DOOR & THEN THE VEHICLE PARKED INSIDE THE GARAGE. THE IMPACT CAUSED THE SECOND VEHICLE TO STRIKE AND DAMAGE THE SEPARATION WALL BETWEEN THE GARAGE AND HOUSE.	1/24/2012	1/24/2012			
Garden City	12-000153	601 SARAH	2751601003007000		DILAPIDATED FENCE	1/25/2012	3/26/2012			
Garden City	12-000156	1608 HATTIE	2730703013004000	Bldg Code Misc	UNLICENSED CONTRACTOR WORKING WITHOUT A PERMIT	1/25/2012				
Garden City	12-000157	1514 North NINTH	2730703011009000	Vehicles	AN INOPERABLE & UNREGISTERED VEHICLE PARKED IN THE BACKYARD. MAROON 4DOOR OLDSMOBILE,	1/26/2012				

Garden City	12-000158	1516 North NINTH	2730703011008000	Vehicles	AN INOPERABLE VEHICLE STORED ON THE PROPERTY. 1984 BLACK PONTIAC FIERO, TAG# PSF-621	1/26/2012	3/23/2012			
Garden City	12-000159	1601 VINZANT	2661301011016000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MISC JUNK, SCRAP METAL, OLD TRAMPOLINE, SCRAP LUMBER, MISC APPLIANCIES, MISC EQUIPMENT, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/26/2012	6/5/2012	3/26/2012	2/8/2012	
Garden City	12-000162	209 West EDWARDS	2730704016006000	Vehicles	AN INOPERABLE & UNREGISTERED VEHICLE STORED ON THE PROPERTY. WHITE FORD PICKUP,	1/26/2012	2/3/2012			
Garden City	12-000164	601 North ELEVENTH	2741802014015000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE,	1/26/2012	1/27/2012			
Garden City	12-000166	812 JENNY	2730703027002000	Debris/Trash	ENVIRO YARD- TREE BRANCHES, MISC FURNITURE, SCRAP LUMBER, MISC JUNK, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/26/2012	2/17/2012			
Garden City	12-000167	1208 North ELEVENTH	2730703027004000	Debris/Trash	ENVIRO YARD- SCRAP LUMBER, GARAGE DOOR PANELS, MISC JUNK, MISC APPLIANCIES, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/26/2012		3/23/2012	2/17/2012	
Garden City	12-000172	1706 East SPRUCE	2741704002003000	Debris/Trash	ENVIRO YARD- MATTRESSES, SCRAP LUMBER, SCRAP METAL, MISC JUNK, TRASH, LITTER, & DEBRIS, PLASTIC TRASH CAN, LIFTING WEIGHTS, DEPOSITED AROUND THE PROPERTY.	1/27/2012	3/23/2012	3/8/2012	2/8/2012	
Garden City	12-000179	402 North THIRD	2741804002006000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MATTRESS, CARPET, CABLE SPOOL, TRASH, LITTER, & DEBRIS, DEPOSITED ON THE PROPERTY.	1/27/2012	3/8/2012		2/9/2012	
Garden City	12-000180	401 North FIFTH	2741804005003000	Vehicles	AN INOPERABLE VEHICLE STORED ON THE PROPERTY. BLACK DODGE PICKUP TAG# 724-AIM	1/27/2012	2/9/2012			
Garden City	12-000181	618 North THIRTEENTH	2741802015006000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MISC EQUIPMENT, MISC JUNK, SCRAP LUMBER, SCRAP METAL, TREE BRANCHES, CAR HOOD, TIRES, TRASH, LITTER, & DEBRIS, DEPOSITED AROUND THE PROPERTY.	1/27/2012	7/20/2012	7/13/2012	2/9/2012	
Garden City	12-000183	618 North THIRTEENTH	2741802015006000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLES STORED ON THE PROPERTY. SILVER VUE TAG# 783-AYI BLUE TOYOTA OR MAZDA HATCHBACK CAR MAROON SUV BROWN CHEVY PICKUP DARK BLUE CHRYSLER CAR WHITE PICK UP	1/27/2012	3/23/2012			2/9/2012
Garden City	12-000186	618 North THIRTEENTH	2741802015006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, TIRES, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTERS.	1/27/2012	3/2/2012	2/9/2012		
Garden City	12-000193	1609 KELLO	2661301004006010	Debris/Trash	VEHICLE NUISANCE- AN INOPERABLE & UNREGISTERED VEHICLE STORED ON THE PROPERTY. MAROON DODGE 4DOOR CAR,	1/30/2012	2/3/2012			
Garden City	12-000194	1906 A	2730701026004000	Vehicles	VEHICLE NUISANCE- INOPERABLE & UNREGISTERED VEHICLES STORED ON THE PROPERTY. BLUE MERCURY GRAND MARQUIS TAG# 508-CLP BLACK GMC SUBURBAN TAG# PPR-673	1/30/2012	2/15/2012			
Garden City	12-000196	608 North TENTH	2741802012010000	Debris/Trash	ENVIRO YARD- FALLEN TREE, TREE BRANCHES, MISC JUNK, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	1/30/2012	5/18/2012	3/26/2012	2/9/2012	

Garden City	12-000199	608 North TENTH	2741802012010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS, WOODEN PALLET, MISC JUNK, TRASH, LITTER, & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/30/2012	3/9/2012	2/10/2012		
Garden City	12-000200	606 North TENTH	2741802012011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- PARTIAL FENCE SECTION DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/30/2012		2/10/2012		
Garden City	12-000201	614 North TENTH	2741802012007000	Vehicles	VEHICLE NUISANCE- AN INOPERABLE & UNREGISTERED VEHICLE STORED ON THE PROERTY. GREY FORD PICKUP.	1/30/2012	4/13/2012			3/23/2012
Garden City	12-000202	613 North NINTH	2741802012020000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MATTRESS, MISC EQUIPMENT, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	1/30/2012		3/15/2012	2/10/2012	
Garden City	12-000203	619 North NINTH	2741802012001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS, COUCH, TRASH, LITTER & DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	1/30/2012	2/10/2012			
Garden City	12-000204	412 WASHINGTON	2741703012002000	Debris/Trash	ENVIRO YARD- TVS, MISC ELECTRONIC ITEMS, MISC JUNK, TRASH CANS, SCRAP LUMBER, SCRAP METAL, STORM DOORS, MISC FURNITURE, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	1/30/2012	2/24/2012			
Garden City	12-000205	411 EVANS	2741703012001000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, MISC EQUIPMENT, MISC JUNK, TIRES, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	1/30/2012	5/18/2012	3/8/2012	2/10/2012	
Garden City	12-000206	412 WASHINGTON	2741703012002000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. TURQUOISE SMALL CAR,	1/30/2012				2/24/2012
Garden City	12-000210	803 East LAUREL	2741703011005000	Bldg Code Misc	FIRE DAMAGE FROM AN IMPROPERLY WIRED CAN LIGHT IN LOFT. THIS IS THE SECOND FIRE IN THIS HOUSE IN THE LAST YEAR.	1/31/2012				
Garden City	12-000233	213 SPENCER	2661301039020000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- FENCE PICKETS, SCRAP LUMBER, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO TWO (2) SEPERATE DUMPSTERS.	2/3/2012	2/15/2012			
Garden City	12-000234	1601 East FULTON			SIGN W/O PERMIT FOLLOW UP INSPECTION	2/3/2012				
Garden City	12-000235	409 East FULTON			VEHICLES IN THE RIGHT OF WAY-FOLLOW UP INSPECTION	2/3/2012				
Garden City	12-000236	505 COLLEGE			NON-CONFORMING SIGN	2/6/2012				
Garden City	12-000237	503 East KANSAS			NON-CONFORMING SIGN	2/6/2012				
Garden City	12-000238	139 CLOVERLEAF			DILAPIDATED SIGN	2/6/2012				
Garden City	12-000241	1606 East SPRUCE	2741704003008000		NON-CONFORMING SIGN	2/6/2012				
Garden City	12-000242	1011 FULTON			NON-CONFORMING SIGN	2/6/2012				
Garden City	12-000243	107 North JENNIE BARKER	2751604001016000		DILAPIDATED SIGN	2/6/2012				
Garden City	12-000245	301 North EIGHTH	2741803002008000	Bldg Code Misc	SPRINKLER HEAD YEARLY EVALUATION CHECK ON THE CITY ADMINISTRATIVE BUILDING	2/6/2012	2/7/2012			
Garden City	12-000251	609 East CHESTNUT	2741804012007000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE YARD NEXT TO THE RESIDENCE. MAROON 4DOOR OLDSMOBILE CAR TAG# WWJ-179 BROWN FORD BRONCO TAG# 261-BNV GRAY VAN TAG# XHW-644 ONE (1) MOTOR CYCLE 2 MOTOR BOATS ON TRAILERS	2/6/2012	3/30/2012			
Garden City	12-000252	609 East CHESTNUT	2741804012007000	Debris/Trash	ENVIRO YARD- OLD DOORS, TIRES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED AROUND THE PROPERTY	2/6/2012	4/28/2012			

Garden City	12-000254	303 North SECOND	2741804012008000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES STORED ON THE PROPERTY. SILVER MITSUBISHI TAG# VQR-369 GRAY JEEP CHEROKEE BLACK CHEVY LUMINA	2/6/2012	5/7/2012			4/4/2012
Garden City	12-000258	950 North JENNIE BARKER	2751500006021050		NON-CONFORMING SIGN	2/7/2012				
Garden City	12-000259	1804 East KANSAS	2741701002002000		BANNER SIGNS X4	2/7/2012				
Garden City	12-000260	1804 East KANSAS	2741701002002000		A-FRAM SIGNS X2	2/7/2012				
Garden City	12-000261	105 North JENNIE BARKER	2751604001017000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES STORED ON THE PROPERTY. ONE(1) RED 1997 CHYSLER CIRRUS TAG# 835-BNV ONE (1) MAROON CADILLAC ESCALADE TAG# 007-PTT	2/7/2012				2/17/2012
Garden City	12-000263	1710 CENTER	2730803011005000	Dilapidated Structure	DILAPIDATED STRUCTURE	2/7/2012				
Garden City	12-000266	1101 North TAYLOR	2611204018008000		DILAPIDATED SIGN	2/7/2012				
Garden City	12-000268	1101 North TAYLOR	2611204018008000		NON-CONFORMING SIGN	2/8/2012				
Garden City	12-000271	1706 East SPRUCE	2741704002003000	Vehicles	VEHICLE NUISANCE- UNREGISTERED COMMERCIAL MOVING TRUCK PARKED IN A RESIDENTIAL AREA.	2/8/2012	3/26/2012			2/24/2012
Garden City	12-000272	707 ST JOHN	2741802017015000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- OLD BOAT, OLD COUCH, SCRAP LUMBER, TRASH, AND DEBRIS DEPOSITED IN THE STREET RIGHT OF WAY.	2/8/2012	2/10/2012			
Garden City	12-000273	707 ST JOHN	2741802017015000	Debris/Trash	ENVIRO YARD- SCRAP METAL, SCRAP METAL SIDING, STORM DOORS, PILE OF MISC ROCKS, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/8/2012	5/3/2012			3/15/2012
Garden City	12-000274	901 SMOKEY HILL	2751601010009000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. ONE (1) OLDER GREEN SEDAN,	2/8/2012	2/24/2012			
Garden City	12-000275	3225 PRAIRIE	2751604003002010		NON-CONFORMING SIGN	2/8/2012				
Garden City	12-000276	2506 DEE	2611201001008000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. ONE (1) GREEN FORD PICKUP TAG# 281-BNV	2/8/2012	2/27/2012			
Garden City	12-000277	2501 DEE	2611201004028000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STOERD ON AN UNIMPROVED SURFACE. ONE(1) RED HONDA ACCORD,	2/8/2012	3/29/2012			2/27/2012
Garden City	12-000278	2710 ROCK	2730503004068000	Vehicles	VEHICLE NUISANCE- VEHICLE PARKED IN ALLEY RIGHT OF WAY. ONE (1) BLACK JEEP TAG# PSB-645	2/8/2012	2/13/2012			
Garden City	12-000280	2710 ROCK	2730503004068000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- METAL CAGING, JET SKIS, JET SKI TRAILER, DEPOSITED IN ALLEY RIGHT OF WAY.	2/8/2012	2/13/2012			
Garden City	12-000282	1214 OLD MANOR	2730803019007000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- COUCH, MISC HOSES, AWNING SCREEN, TRASH, LITTER, AND DEBRIS DEPOSITED IN ALLEY RIGHT OF WAY.	2/8/2012	2/13/2012			
Garden City	12-000286	204 East FULTON	2741704008001000		NON-CONFORMING SIGN	2/9/2012				
Garden City	12-000289	611 West ELM	2741802015012010	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	2/9/2012	3/1/2012			
Garden City	12-000293	626 North THIRTEENTH	2741802015002000	Debris/Trash	ENVIRO YARD- STORM DOOR, BAGS OF TRASH, MISC PLASTIC CONTAINERS, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/9/2012				
Garden City	12-000294	312 West FAIR	2730701024002000	Work w/o Permit	WORK W/O PERMIT	2/9/2012	3/19/2012			

Garden City	12-000297	615 North NINTH	2741802012021000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERD VEHICLE STORED ON THE PROPERTY. BLUE MITSUBISHI EAGLE TALON TAG# 514-CLO	2/10/2012	2/24/2012		
Garden City	12-000298	615 North NINTH	2741802012021000	Debris/Trash	ENVIRO YARD- OLD WEIGHT BENCH, SCRAP LUMBER, MISC JUNK, MISC FURNITURE, STORM DOOR, ROOFING MATERIALS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/10/2012	3/15/2012		
Garden City	12-000299	613 North NINTH	2741802012020000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. OLDSMOBILE TAN MINI VAN,	2/10/2012	3/26/2012		2/27/2012
Garden City	12-000301	2410 DEE	2611201001011000	Debris/Trash	ENVIRO YARD- MISC FURNITURE, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/10/2012	2/14/2012		
Garden City	12-000306	2301 DEE	2611201001024000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE ALLEY RIGHT OF WAY. BLUE MERCURY COUGAR TAG# SEC-280	2/11/2012	2/24/2012		
Garden City	12-000307	504 North TENTH	2741802021009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE DEPOSITED IN THE STREET RIGHT OF WAY.	2/11/2012	2/15/2012		
Garden City	12-000308	903 HAROLD	2751602004011000	Debris/Trash	ENVIRO YARD- MISC FUNITURE, MISC APPLIANCES, CONSTRUCTION DEBRIS, MISC JUNK, METAL SINK LINER, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	2/11/2012	3/26/2012		2/27/2012
Garden City	12-000309	2315 North EIGHTH	2730702006008000	Vehicles	VEHICLE NUISANCE- SEMI TRAILER USED A STORAGE SHED.	2/11/2012	5/17/2012		
Garden City	12-000310	2315 North EIGHTH	2730702006008000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED PARTIALLY DISMANTLED VEHICLES STORED ON THE PROPERTY. WHITE FORD PICK UP) (DISMANTLED GREEN WHITE PICK UP) (OLD RACE CAR FRAME ORANGE) (SEMI TRAILER)	2/11/2012	3/1/2012		
Garden City	12-000316	2708 North THIRD	2730503008020000	Unlawful Deposits	OIL CONTAINERS LEFT ON 3rd STREET IN GUTTER IN FRONT OF FIRST SOUTHERN BAPTIST CHURCH @ 2708 N. 3rd STREET.	2/13/2012			
Garden City	12-000317	1408 BUFFALO JONES	2611204017005000		CMB	2/13/2012	2/16/2012		
Garden City	12-000334	335 South FARMLAND	2752200001022020	Vehicles	TRUCK TRAILER USED FOR STORAGE SHED. PROPERTY IS CURRENTLY ZONED NON CON AG,	2/14/2012	4/3/2012		
Garden City	12-000336	1195 RIDGE	2772502004034000	Vehicles	TRUCKS PARKED ON A RESIDENTIALLY ZONED PROPERTY. ZONED MHP,	2/14/2012			
Garden City	12-000344	504 North TENTH	2741802021009000	Debris/Trash	ENVIRO YARD- MISC FURNITURE DEPOSITED ON THE PROPERTY.	2/15/2012	4/4/2012		3/1/2012
Garden City	12-000349	613 North NINTH	2741802012020000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- COUCH MATTRESS, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	2/15/2012	3/23/2012	3/2/2012	
Garden City	12-000350	1203 North TAYLOR	2611204018001000	Bldg Code Misc	ANSWER QUESTIONS ABOUT FACIA ON BUILDING - REPAIRS, ETC AND WHAT THE OWNER WOULD BE ALLOWED TO DO WITHOUT A CONTRACTOR.	2/15/2012	2/22/2012		
Garden City	12-000351	615 CONKLING	2661301031001000	Debris/Trash	ENVIRO YARD- COUCH, PALLET, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	2/16/2012	3/1/2012		
Garden City	12-000353	615 CONKLING	2661301031001000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PAREK ON YARD WITHIN CITY LIMITS. SILVER PONTIAC GRAND AM,	2/16/2012			3/1/2012
Garden City	12-000354	2506 B	2730701005007000	Vehicles	TRUCKS PARKED IN A RESIDENTIALLY ZONED PROPERTY. PROPERTY ZONED R3,	2/16/2012	3/8/2012		
Garden City	12-000355	2503 A	2730701005011000	Dilapidated Structure	DILAPIDATED STRUCTURE, FENCE	2/16/2012	2/21/2012		

Garden City	12-000356	2507 A	2730701005013000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN BACK YARD ON AN UNIMPROVED SURFACE. ONE (1) FORD SILVER AND BLUE VAN,	2/16/2012				3/1/2012
Garden City	12-000358	2511 A	2730701005014000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN BACK YARD ON AN IMPROVED SURFACE. ONE (1) GREEN JEEP,	2/16/2012				3/1/2012
Garden City	12-000360	602 East SANTA FE	2741804040004000	Bldg Code Misc	CITIZEN COMPLAINT: DEMOLITION OF INTERIOR OF HOUSE WITH A LARGE DUMPSTER FULL OF CONSTRUCTION DEBRIS IN FRONT YARD. ?REMODEL WITHOUT A PERMIT?	2/16/2012	2/21/2012			
Garden City	12-000364	619 North TWELFTH	2741802015023000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN REAR YARD ON A UNIMPROVED SURFACE. ONE (1) WHITE CHEVY PICKUP TAG# 738-CXM	2/17/2012	3/23/2012			
Garden City	12-000365	1210 North TENTH	2730703028003000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PAKED ON THE PROPERTY. ONE (1) YELLOW BUICK TAG # XQV-320	2/17/2012	3/7/2012			
Garden City	12-000366	1210 North TENTH	2730703028003000	Debris/Trash	ENVIRO YARD- TIRES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/17/2012	3/7/2012			
Garden City	12-000367	1210 North TENTH	2730703028003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	2/21/2012	3/7/2012			
Garden City	12-000370	1212 North TENTH	2730703028002000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	2/21/2012		3/7/2012		
Garden City	12-000371	1710 CENTER	2730803011005000	Debris/Trash	ENVIRO YARD- TREE BRANCHES, STORM WINDOW, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/21/2012	4/4/2012			3/7/2012
Garden City	12-000372	1707 PRAIRIE PARK	2730803011009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- FENCE SECTIONS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	2/21/2012	2/27/2012			
Garden City	12-000373	811 North FIRST	2741702022011000	Debris/Trash	DEPOSITS IN THE RIGHT OF WAY- COUCH DEPOSITED IN THE STREET RIGHT OF WAY.	2/21/2012	2/24/2012			
Garden City	12-000375	711 North FIRST	2741702028001000	Dilapidated Structure	DILAPIDATED STRUCTURE- SHED IN REAR YARD IS IN A DETERIORATED AND DILAPIDATED STATE.	2/21/2012	6/14/2012			
Garden City	12-000376	1401 East JOHNSON	2730803001004000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PAKED ON THE PROPERTY. ONE (1) BLUE DODGE DURANGO NO TAG,	2/21/2012				3/8/2012
Garden City	12-000377	1401 East JOHNSON	2730803001004000	Debris/Trash	ENVIRO YARD- LEAVES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/21/2012	2/27/2012			
Garden City	12-000378	1211 North TENTH	2730703027001000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES PARKED ON AN UNIMPROVED SURFACE. ONE(1) PRIMER GRAY HOND ACCORD ? NO TAGS, ONE(1) GRAY FORD RANGER PICKUP,	2/21/2012	4/6/2012			3/8/2012
Garden City	12-000389	1604 NEIL	2611201006002000	Bldg Code Misc	ANSWER QUESTIONS ABOUT SEWER LINE FROM HOUSE TO ALLEY	2/22/2012	2/22/2012			
Garden City	12-000408	509 North TENTH	2741802020015000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. ONE (1) SMALL RED COMPACT CAR.	2/27/2012	3/26/2012			

Garden City	12-000412	510 North TENTH	2741802021006000	Debris/Trash	ENVIRO YARD- MISC APPLIANCES, MISC FURNITURE, SCRAP LUMBER, SCRAP METALS, MISC JUNK, MATTRESS AND BOX SPRING SET, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	2/27/2012	3/19/2012			
Garden City	12-000413	510 North TENTH	2741802021006000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN BACK OF PROPERTY. ONE (1) GRAY NISSAN PATHFINDER,	2/27/2012	3/19/2012			
Garden City	12-000414	508 North TENTH	2741802021007000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES PARKED ON AN UNIMPROVED SURFACE IN THE BACK PROPERTY. ONE (1) RED MERCURY COUGAR TAG# 760-ABU ONE (1) OLDER TRUCK,	2/27/2012	3/14/2012			
Garden City	12-000415	908 West OLIVE	2730703018004000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED ON AN UNIMPROVED SURFACE IN BACK PROPERTY. ONE(1) CHEVY BLACK SEDAN	2/27/2012	3/1/2012			
Garden City	12-000434	1006 North TWELFTH	2741802004006000		DILAPIDATED STRUCTURE	2/28/2012	4/2/2012			
Garden City	12-000443	908 West OLIVE	2730703018004000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN BACK YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. ONE (10 BLACK CHEVY CAR,	3/1/2012				
Garden City	12-000452	124 ANDERSON	2741704009007000	Bldg Code Misc	ANSWER QUESTIONS ABOUT SPLITTING THE ELECTRIC SERVICE FROM 1 SERVICE TO 2 SERVICES.	3/1/2012	3/26/2012			
Garden City	12-000454	514 SUMMIT	2661301031008000	Bldg Code Misc	GARAGE/SHOP IN REAR YARD - DILAPIDATED? FROM KEITH DENTON (CCO).	3/2/2012				
Garden City	12-000460	1506 ST JOHN	2661301039003000	Debris/Trash	ENVIRO YARD- COUCH, TIRES, MISC APPLIANCES, SCRAP METAL, SCRAP WIRING, SCRAP LUMBER, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/3/2012	4/6/2012			
Garden City	12-000502	809 BANCROFT	2661301011017000	Debris/Trash	AN ON SITE INSPECTION OF THE PROPERTY REVEALED ENVIRO YARD- FENCE SECTIONS, METAL PIPING, DOWN TREE, TREE BRANCHES, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/9/2012	3/26/2012			
Garden City	12-000503	2702 C	2730604007005000	Unlawful Deposits	AN ON SITE INSPECTION OF THE PROPERTY REVEALED DEPOSITS IN THE RIGHT OF WAY- OLD CARPETING, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY BEHIND THE RESIDENCE.	3/9/2012	3/26/2012			
Garden City	12-000504	307 West PROSPECT	2730604007006000	Unlawful Deposits	AN ON SITE INSPECTION OF THE PROPERTY REVEALED DEPOSITS IN THE RIGHT OF WAY- MISC DOOR, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY BEHIND THE RESIDENCE.	3/9/2012	3/29/2012			
Garden City	12-000505	308 FLORENCE	2730604007003000	Unlawful Deposits	AN ON SITE INSPECTION OF THE PROPERTY REVEALED DEPOSITS IN THE RIGHT OF WAY- A FENCE SECTION WAS REPLACED AT THIS ADDRESS AND WAS DEPOSITED IN THE ALLEY RIGHT OF WAY AND PLACED NEXT TO THE DUMPSTER.	3/9/2012	3/29/2012			

Garden City	12-000507	812 North SEVENTH	2741801018002000	Vehicles	AN ON SITE INSPECTION OF THE PROPERTY REVEALED A VEHICLE NUISANCE- INOPERABLE AND UNREGISTERD VEHLCE STORED ON THE PROPERTY. OLDER GMC PICKUP.	3/9/2012	3/29/2012			
Garden City	12-000552	1605 East LAUREL	2741704006013000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED ON THE PROPERTY. ONE (1) BUICK REGAL ONE (1) PICKUP PARKED IN THE FRONT YARD	3/15/2012	3/29/2012			
Garden City	12-000553	605 AMY	2751601004006000	Vehicles	VEHICLE NUISANCE- VEHICLES PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE. PILOT VEHICLES.	3/15/2012	3/26/2012			
Garden City	12-000559	101 North TAYLOR	2661304001005000	Debris/Trash	ENVIRO YARD- SCRAP LUMBER, CONSTRUCTION MATERIAL, TIRES, MISC JUNK, SCRAP METAL, PLASTIC CONTAINERS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/16/2012		8/30/2012	8/1/2012	
Garden City	12-000560	101 North TAYLOR	2661304001005000	Vehicles	VEHICLE NUISANCE- INOPERBLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY WITHIN THE CITY LIMITS. ONE (1) RED DODGE 4DOOR CAR TAG# WDR-514	3/16/2012	8/6/2012			3/30/2012
Garden City	12-000562	102 PENNSYLVANIA	2661304001004000	Debris/Trash	ENVIRO YARD- SCARP LUMBER, CONSTRUCTION MATERIAL, SCRAP METAL, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/16/2012	6/14/2012			
Garden City	12-000564	102 PENNSYLVANIA	2661304001004010	Debris/Trash	ENVIRO YARD- SCRAP LUMBER, CONSTRUCTION MATERIALS, SCRAP METAL, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY	3/16/2012	6/14/2012			
Garden City	12-000565	209 North THIRTEENTH	2741802029012000	Debris/Trash	ENVIRO YARD- SCRAP METAL, SCRAP LUMBER, TIRES, MISC JUNK, MISC EQUIPMENT, MISC APPLIANCES, MISC FURNITURE, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/16/2012		7/5/2012	6/5/2012	
Garden City	12-000566	209 North THIRTEENTH	2741802029012000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE BACK YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE.	3/16/2012				6/5/2012
Garden City	12-000567	1621 North TAYLOR	2611204007018000		CMB	3/16/2012	3/16/2012			
Garden City	12-000570	1202 PINECREST	2730803017013000	Debris/Trash	ENVIRO YARD- BAGS OF TRASH, PLASTIC BOTTLES, AUTOMOTIVE CHEMICALS, BROKEN GLASS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/16/2012	3/26/2012			
Garden City	12-000572	306 COLONY	2751603007015000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, BLUE TARP, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER	3/16/2012		3/30/2012		
Garden City	12-000575	3201 CAMPUS Drive			Copy fee for copies of permits	3/16/2012				
Garden City	12-000576	510 North ELEVENTH	2741802020006000	Debris/Trash	ENVIRO YARD- MISC APPLIANCES, MISC FURNITURE, SCRAP LUMBER, SCRAP METALS, MISC JUNK, MATTRESS AND BOX SPRING SET, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	3/19/2012	4/26/2012			
Garden City	12-000578	510 North ELEVENTH	2741802020006000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN BACK OF PROPERTY. ONE (1) GRAY NISSAN PATHFINDER,	3/19/2012	3/30/2012			
Garden City	12-000579	26/2112146 SHAMROCK	2751603004010000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLES STORED ON THE PROPERTY WITHIN THE CITY LIMITS. ONE (1) CHEVY PICKUP WHITE ONE (1) DODGE PICKUP WHITE ONE (1) CHEVY PICKUP WHITE	3/19/2012	4/26/2012			

Garden City	12-000608	2214 East KANSAS	2720903006006000		DEMOLITION PERMIT	3/21/2012			
Garden City	12-000614	905 West CAMPBELL	2730703002002000		ELECTRICAL NOT UP TO CODE	3/22/2012	4/23/2012		
Garden City	12-000642	901 SMOKEY HILL	2751601010009000		NON-CONFORMING "DANGER" SIGN	3/26/2012			
Garden City	12-000643	950 North JENNIE BARKER	2751500006021050		MODEL HOMES SIGN	3/26/2012			
Garden City	12-000644	3225 PRAIRIE	2751604003002010		NON-CONFORMING SIGN	3/26/2012			
Garden City	12-000672	1515 North EIGHTH	2730703013021000		CODE COMPLIANCE CASE	3/29/2012	3/29/2012		
Garden City	12-000680	3311 PRIMROSE	2720402006022000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012			
Garden City	12-000681	3311 PRIMROSE	2720402006022000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/19/2012		
Garden City	12-000682	2405 DEE	2611201005001000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/23/2012		
Garden City	12-000683	405 ST JOHN	2741802020010000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/13/2012		
Garden City	12-000684	801 North NINTH	2741802002012000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/23/2012		
Garden City	12-000685	212 BUFFALO JONES	2741802011002000	Vehicles	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/13/2012		
Garden City	12-000686	403 West FAIR	2730701022012000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	3/30/2012	4/13/2012		
Garden City	12-000687	411 West FAIR	2730701022011000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/2/2012		
Garden City	12-000688	2104 North EIGHTH	2730701022010000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	3/30/2012	4/23/2012		
Garden City	12-000689	715 ST JOHN	2741802017012000	Debris/Trash	ENVIRO YARD- MISC JUNK, MISC EQUIPMENT, TIRES, PLASTIC CONTAINERS, SCRAP LUMBER, SRAP METALS, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	3/30/2012		5/18/2012	4/13/2012
Garden City	12-000700	16/201709 East SANTA FE	2741804029002000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/2/2012	7/16/2012		
Garden City	12-000721	2514 B	2730701005004000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/16/2012		
Garden City	12-000726	1303 North MAIN	2730704028008000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED IN ALLEY RIGHT OF WAY. ONE (1)WHITE CAMARO Z28	4/4/2012	4/26/2012		
Garden City	12-000730	1501 East CHESTNUT	2741704007008000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, MATTRESSES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	4/4/2012	4/16/2012		
Garden City	12-000731	1505 East CHESTNUT	2741704007009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, MATTRESSES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	4/4/2012	4/16/2012		
Garden City	12-000732	1511 East CHESTNUT	2741704007010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, MATTRESSES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	4/4/2012	4/16/2012		
Garden City	12-000733	1515 East CHESTNUT	2741704007001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MISC FURNITURE, MATTRESSES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	4/4/2012	4/16/2012		
Garden City	12-000734	105 North JENNIE BARKER	2751604001017000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/23/2012		
Garden City	12-000735	201 East FULTON	2741804019005000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/16/2012		
Garden City	12-000739	207 East FULTON	2741804019006000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/16/2012		
Garden City	12-000740	1305 West FULTON	2661301037015000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/9/2012		

Garden City	12-000741	1211 ST JOHN	2661301034006000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/23/2013			
Garden City	12-000743	503 North TAYLOR	2661301034007000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/4/2012	4/9/2012			
Garden City	12-000746	112 North TENTH	2741803012002000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/23/2012			
Garden City	12-000747	111 North TENTH	2741803011001000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/5/2012	4/23/2012			
Garden City	12-000748	701 West FULTON	2741803007005000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/23/2012			
Garden City	12-000749	1309 West FULTON	2661301037014000	Weeds	WEEDS OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/16/2012			
Garden City	12-000752	715 ST JOHN	2741802017012000	Weeds	WEEDS TO BE REMOVED- WEEDS 12? OR TALLER OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/23/2012			
Garden City	12-000755	901 North TAYLOR	2661301014017000	Weeds	WEEDS TO BE REMOVED- WEEDS 12? OR TALLER OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/5/2012	4/16/2012			
Garden City	12-000756	705 North TAYLOR	2661301016011000	Weeds	WEEDS TO BE REMOVED- WEEDS 12? OR TALLER OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/9/2012			
Garden City	12-000757	707 North TAYLOR	2661301016012000	Weeds	WEEDS TO BE REMOVED- WEEDS 12" OR TALLER OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/5/2012	4/9/2012			
Garden City	12-000762	301 East PINE	2741801038007000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/16/2012			
Garden City	12-000765	510 CAMPUS	2751603010021020	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/6/2012	4/20/2012			
Garden City	12-000766	2106 North EIGHTH	2730701022009000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/6/2012	4/9/2012			
Garden City	12-000768	623 West OLIVE	2730703008021000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/6/2012	4/23/2012			
Garden City	12-000770	1604 West KANSAS	2661301004002000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/23/2012			
Garden City	12-000771	1504 BUFFALO JONES	2611204016001000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/23/2012			
Garden City	12-000772	2521 JOHN	2730702002001000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/23/2012			
Garden City	12-000773	2506 North HWY 83	2730702002003000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/6/2012	4/30/2012			
Garden City	12-000774	414 West MARY	2730701006011000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/23/2012			

Garden City	12-000777	1205 East MARY	2730503007016000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/6/2012				
Garden City	12-000779	1011 LAMPLIGHTER	2730503007010000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/6/2012	4/23/2012			
Garden City	12-000787	1705 East MARY	2730504018001000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/9/2012	4/23/2012			
Garden City	12-000789	903 North TWELFTH	2741802008008000	Debris/Trash	ENVIROMENTAL YARD: CONCRETE PIECES, CLOTHES LINE POLES, SCRAP LUMBER, MISC JUNK, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY	4/9/2012	4/27/2012			
Garden City	12-000809	506 North EIGHTH	2741801034004000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/11/2012	4/27/2012			
Garden City	12-000810	1910 North EIGHTH	2730701023007000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/11/2012	4/11/2012			
Garden City	12-000811	2602 SHAMUS	2730503008007000	Vehicles	VEHICLE NUISANCE- INOPERABLE AND UNREGISTERED VEHICLE PARKED ON AN UNIMPROVED SUFACE. BLACK SUV,	4/11/2012				
Garden City	12-000820	1904 North EIGHTH	2730701023010000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000822	502 West PROSPECT	2730603007001020	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000823	504 West PROSPECT	2730603007001040	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000824	501 West PROSPECT	2730603006002000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	5/3/2012			
Garden City	12-000825	1207 North EIGHTH	2730703030011000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000826	3502 North CAMPUS	2720402002002000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000830	2213 East KANSAS	2720903004016000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000831	7/2912 CAMPUS	2751602004003000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000833	207 CAMPUS	2741704001016000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/12/2012	4/27/2012			

Garden City	12-000834	202 COLLEGE	2741704015004000	Vehicles	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/12/2012	4/27/2012			
Garden City	12-000838	322 North ELEVENTH	2741802026003000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/13/2012	4/27/2012			
Garden City	12-000839	401 North NINTH	2741802025024000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/13/2012	5/9/2012			
Garden City	12-000840	401 North NINTH	2741802025024000	Debris/Trash	ENVIROMENTAL YARD- PILES OF TREE BRANCHES, BABY STROLLER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	4/13/2012		6/5/2012	4/27/2012	
Garden City	12-000841	501 North TENTH	2741802020011000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/13/2012	4/23/2012			
Garden City	12-000842	201 West EMERSON	2730701005010000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/13/2012	5/9/2012			
Garden City	12-000843	202 South FIRST	2741804042001000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/13/2012	5/10/2012			
Garden City	12-000851	607 East SANTA FE	2741804030004000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/16/2012	4/30/2012			
Garden City	12-000852	2521 North SEVENTH	2730701003001000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/16/2012	4/30/2012			
Garden City	12-000853	2518 North EIGHTH	2730701006012000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/16/2012	4/16/2012			
Garden City	12-000885	504 North THIRD	2741801041006000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/21/2012	5/14/2012			
Garden City	12-000886	506 North THIRD	2741801041005000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS .	4/21/2012	5/17/2012			
Garden City	12-000887	201 WESLEY	2661301040007000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/21/2012	5/3/2012			
Garden City	12-000919	512 North THIRD	2741801041002000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/26/2012				
Garden City	12-000934	1312 North EIGHTH	2730704026002000	Weeds	WEEDS TO BE REMOVED- WEEDS EXCEEDING 12 INCHES HIGH OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/9/2012			
Garden City	12-000935	412 MAGNOLIA	2741703001005000	Debris/Trash	ENVIROMENTAL YARD- MISC TIRES, BROKEN ELECTRICAL APPLIANCES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	4/27/2012	5/2/2012			

Garden City	12-000936	1510 ST JOHN	2661301039005000	Vehicles	VEHICLE NUISANCE- RECREATIONAL VEHICLE PARKED IN BACK YARD AND NO CURRENT REGISTRATION.	4/27/2012	6/14/2012			5/10/2012
Garden City	12-000938	405 North SECOND	2741804002011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- DOOR, TREE BRANCHES, PILE OF RED ROCKS AND DEBRIS DEPOSITED IN THE ALLEY NEXT TO THE DUMPSTER	4/27/2012		6/5/2012		
Garden City	12-000939	403 North SECOND	2741804002010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- DOOR, TREE BRANCHES, PILE OF RED ROCKS AND DEBRIS DEPOSITED IN THE ALLEY NEXT TO THE DUMPSTER	4/27/2012	4/30/2012			
Garden City	12-000945	1609 LONGHORN	2730804007006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, DEBRIS, DEPOSITED IN ALLEY NEXT TO THE DUMPSTER.	4/27/2012	5/9/2012			
Garden City	12-000946	1611 LONGHORN	2730804007005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, DEBRIS, DEPOSITED IN ALLEY NEXT TO THE DUMPSTER.	4/27/2012	5/9/2012			
Garden City	12-000947	1107 GILLESPIE	2741702024014000	Weeds	WEEDS TO BE REMOVED WEEDS EXCEEDING 12 INCHES HIGH, OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/7/2012			
Garden City	12-000948	1314 BANCROFT	2611204010006000	Weeds	WEEDS TO BE REMOVED WEEDS EXCEEDING 12 INCHES HIGH, OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	4/30/2012			
Garden City	12-000950	1519 North TWELFTH	2730703004025000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/11/2012			
Garden City	12-000952	1405 West OLIVE	2611204006016000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/15/2012			
Garden City	12-000953	1609 CONKLING	2611204006019000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAY	4/27/2012	5/17/2012			
Garden City	12-000954	1308 CONARD	2611204002004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/8/2012			
Garden City	12-000955	1902 A	2730701026004010	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESSES, TABLE, CHUNK OF CEMENT,DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	4/27/2012	8/22/2012	5/10/2012		
Garden City	12-000956	1904 A	2730701026004020	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESSES, TABLE, CHUNK OF CEMENT,DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	4/27/2012	8/22/2012	5/10/2012		
Garden City	12-000957	912 PERSHING	2730803024004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/27/2012	5/18/2012			
Garden City	12-000961	4507 East MAPLE	2741804039007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/30/2012	5/1/2012			
Garden City	12-000963	207 South FIRST	2741804041009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	4/30/2012	6/5/2012			

Garden City	12-000964	605 East SANTA FE	2741804030005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012				
Garden City	12-000965	505 East SANTA FE	2741804031004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012	5/24/2012			
Garden City	12-000966	211 South SEVENTH	2741804035009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012	5/24/2012			
Garden City	12-000967	2523 North MAIN	2730701004001000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012	5/11/2012			
Garden City	12-000969	2505 North EIGHTH	2730702001012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012	7/5/2012			
Garden City	12-000971	2619 North TENTH	2730603008012000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	4/30/2012				
Garden City	12-000984	1316 BANCROFT	2611204010005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/1/2012	5/14/2012			
Garden City	12-000986	1901 North ELEVENTH	2730702003001000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/1/2012	5/14/2012			
Garden City	12-000987	1502 West KANSAS	2661301003001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/1/2012	5/14/2012			
Garden City	12-000988	1005 SUMMIT	2661301003007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/1/2012	5/9/2012			
Garden City	12-000989	4/21303 North TAYLOR	2611204008003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/1/2012	5/14/2012			
Garden City	12-000992	307 West EMERSON	2730701006031000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, SCRAP LUMBER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	5/1/2012	5/14/2012			
Garden City	12-000994	2808 TERRACE	2730503003012000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS, COUCH, MISC FURNITURE, OLD CARPETING, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/1/2012	5/14/2012			
Garden City	12-000995	2820 TERRACE	2730503003011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- MATTRESS, COUCH, MISC FURNITURE, OLD CARPETING, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/1/2012	5/14/2012			
Garden City	12-001001	1002 BANCROFT	2661301003005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/2/2012	5/14/2012			

Garden City	12-001005	2808 ELDORADO #D	2730503003007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/14/2012			
Garden City	12-001007	2808 ELDORADO #C	2730503003006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/14/2012			
Garden City	12-001009	2808 ELDORADO #B	2730503003006010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/14/2012			
Garden City	12-001011	407 MAGNOLIA	2741703002014000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/18/2012			
Garden City	12-001012	1802 East SPRUCE	2741704002002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/24/2012			
Garden City	12-001013	2408 East KANSAS	2720903006020030	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/25/2012			
Garden City	12-001014	2601 PAWNEE	2720902005006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- LEFT OVER CEMENT DUMPED IN THE ALLEY RIGHT OF WAY.	5/2/2012	5/17/2012			
Garden City	12-001015	2601 PAWNEE	2720902005006000	Work w/o Permit	WORK WITHOUT PERMIT	5/2/2012				
Garden City	12-001018	08/2206 MOHAWK	2720902005005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- TREE BRANCHES, TREE CUTTINGS, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/2/2012	5/15/2012			
Garden City	12-001021	2301 YOSEMITE	2720902024011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- PILE OF LEFT OVER CEMENT PIECES. SCRAP LUMBER, TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/2/2012	5/4/2012			
Garden City	12-001022	211 North ELEVENTH	2741803005001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/2/2012	5/4/2012			
Garden City	12-001029	2012301 North TWELFTH	2741802028011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/3/2012	5/14/2012			
Garden City	12-001031	303 North TWELFTH	2741802028012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/3/2012	5/14/2012			
Garden City	12-001032	212 North ELEVENTH	2741803004004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/3/2012	5/10/2012			
Garden City	12-001034	304 North FIRST	2741703021005000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/3/2012				
Garden City	12-001035	811 East CHESTNUT	2741703021006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/3/2012				

Garden City	12-001052	510 North TAYLOR	2741802017010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY- COUCH DEPOSITED IN THE STREET RIGHT OF WAY.	5/4/2012	5/7/2012			
Garden City	12-001054	223 WESLEY	2661301040001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/4/2012	6/5/2012			
Garden City	12-001055	1603 ST JOHN	2661301028010000	Vehicles	VEHICLE NUISANCE- VEHICLE PARKED IN FRONT YARD OF RESIDENCE ON AN UNIMPROVED SURFACE. GREY PRIMER CHEVY BLAZER,	5/4/2012	7/5/2012			6/8/2012
Garden City	12-001056	711 IDA	2661301023001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/4/2012	5/14/2012			
Garden City	12-001057	1609 VINZANT	2661301011013000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/4/2012	5/14/2012			
Garden City	12-001058	804 IDA	2661301007014000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/4/2012	5/14/2012			
Garden City	12-001059	903 INGE	2661301007003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/4/2012	5/14/2012			
Garden City	12-001060	2605 North MAIN	2730604003011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/4/2012	5/14/2012			
Garden City	12-001069	153 STEVENS	2741801033011000		RENTAL INSPECTION	5/4/2012				
Garden City	12-001100	1330 LINCOLN	2611203006003010	Vehicles	COMMERCIAL TRUCKS AND TRAILERS, STORGE CONTAINER, WHICH ARE NOT PERMITTED ON THE PROPERTY ACCORDING TO COUNTY ZONING REGULATIONS STORED ON THE PROPERTY.	5/8/2012	10/2/2012			
Garden City	12-001103	510 North TAYLOR	2741802017010000	Debris/Trash	ENVIROMENTAL YARD: MISC FURNITURE, TREE BRANCHES, MISC APPLIANCIES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITD ON THE PROPERTY.	5/9/2012	5/24/2012			
Garden City	12-001113	2220 MOHAWK	2720902005002000	Vehicles	VEHICLE NUISANCE: INOPEDRABLE AND UNREGISTERD VEHICLE AND BOAT WITH TRAILER PARKED IN BACK YARD ON AN UNIMPROVED SURFACE.	5/10/2012	6/6/2012			
Garden City	12-001114	2602 YELLOWSTONE	2720902024020000	Vehicles	VEHICLE NUISANCE: BOAT AND TRAILER PARKED IN SIDE YARD OF RESIDENCE ON AN UNIMPROVED SURFACE.	5/10/2012	5/17/2012			
Garden City	12-001115	603 East JOHNSON	2730803002025000	Vehicles	VEHICLE NUISANCE: TRAILER STORED ON SIDE YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE.	5/10/2012	5/17/2012			
Garden City	12-001116	1707 BENTON	2611201006020000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	10/8/2012			
Garden City	12-001117	601 JENNY	2730703015036000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH DEPOSITED IN THE STREET RIGHT OF WAY.	5/10/2012	5/15/2012			
Garden City	12-001118	1305 HATTIE	2730703015039000		DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/10/2012	5/24/2012			

Garden City	12-001119	0 SEC 05 24-32	2730501001007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/24/2012			
Garden City	12-001121	0 SEC 05 24-32	2730501001004010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/25/2012			
Garden City	12-001122	0 SEC 05 24-32	2730501001007010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/24/2012			
Garden City	12-001124	1904 CRESTWAY	2730804002002000		DILAPIDATED STRUCTURE	5/10/2012				
Garden City	12-001125	0 SEC 05 24-32	2730501001007020	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/24/2012			
Garden City	12-001126	3101 CAMPUS	2730501001009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/24/2012			
Garden City	12-001127	2900 CAMPUS	2720400001005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/10/2012	5/24/2012			
Garden City	12-001128	1101 East CHESTNUT	2741703018005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/24/2012			
Garden City	12-001129	710 FLEMING	2741701014006000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	7/31/2012			
Garden City	12-001130	1805 CAMPUS	2730804001003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/10/2012	5/14/2012			
Garden City	12-001133	407 North SECOND	2741804002012000	Debris/Trash	ENVIROMENTAL YARD: TIRES, CAR SEAT, MISC JUNK, SCRAP METAL, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	5/11/2012		7/5/2012	6/5/2012	
Garden City	12-001134	407 North SECOND	2741804002012000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE, AND TWO CAMPER TRAILERS, PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE. MAROON DODGE CARAVAN TAG # XMZ-669	5/11/2012	6/6/2012			
Garden City	12-001138	407 North SECOND			DEPOSITS IN THE RIGHT OF WAY: TIRES, PILE OF RED ROCKS, TREE BRANCHES, CAR BUMPER, TRASH, LITTER, AND DEBRIS DEPOSITED IN ALLEY RIGHT OF WAY NEXT BOTH DUMPSTERS.	5/11/2012		6/5/2012		
Garden City	12-001141	1905 LABRADOR	2730504007008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/11/2012	5/24/2012			
Garden City	12-001142	604 East SANTA FE	2741804040003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/11/2012				
Garden City	12-001143	602 East SANTA FE	2741804040004000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/11/2012	5/24/2012			

Garden City	12-001151	302 East SANTA FE	2741804037002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/14/2012	5/15/2012			
Garden City	12-001152	1513 North EIGHTH	2730703013020	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/14/2012	5/14/2012			
Garden City	12-001153	207 South SEVENTH	2741804035011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/14/2012	5/24/2012			
Garden City	12-001155	1111 West CAMPBELL	2730703002010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/14/2012	5/24/2012			
Garden City	12-001175	1906 VINZANT	2661301023003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/15/2012	6/5/2012			
Garden City	12-001179	0 SKYLINE	2772502005013000	Debris/Trash	ENVIROMENTAL YARD: MISC FURNITURE, TIRES, SCRAP LUMBER, MISC JUNK, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	5/15/2012				
Garden City	12-001181	1808 KELLO	2661301008003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/15/2012	6/5/2012			
Garden City	12-001185	2808 TERRACE	2730503003012000		RENTAL INSPECTION	5/15/2012	6/15/2012			
Garden City	12-001196	601 JENNY	2730703015036000	Debris/Trash	ENVIROMENTAL YARD: COUCH, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	5/15/2012	6/5/2012			
Garden City	12-001198	409 North SECOND	2741804002013000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: CAR BUMPER, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY	5/16/2012		6/5/2012		
Garden City	12-001201	1830 COMMANCHE	2720903001001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/16/2012	6/15/2012			
Garden City	12-001202	1608 GLENELLEN			DEPOSITS IN THE RIGHT OF WAY: MISC FERNITURE FRAMES DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/16/2012	5/24/2012			
Garden City	12-001203	1605 FLEMING	2730804014010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY BEHIND THE RESIDENCE.	5/16/2012	5/24/2012			
Garden City	12-001204	1604 GLENELLEN	2730804014007000	Debris/Trash	DEPOSITS IN THE RIGHT OF WAY: LARGE CARD BOARD BOX, OLD HEAD BOARD. TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY BEHIND THE RESIDENCE AND NEXT TO THE DUMPSTER.	5/16/2012		6/8/2012		
Garden City	12-001205	2142 SANDIA	2720402003011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/16/2012	6/15/2012			
Garden City	12-001206	2002 SHORTGRASS	2720402007019000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/16/2012				
Garden City	12-001234	152 SHAMROCK	2751603004008000		RENTAL INSPECTION	5/18/2012	5/21/2012			
Garden City	12-001266	3010 LARUE	2720900001011010		DYING LANDSCAPE	5/24/2012				

Garden City	12-001267	912 CAMPUS	2751602004003000		LANDSCAPE OVERGROWN & DUMPSTER DOORS NEED FIXED	5/24/2012				
Garden City	12-001270	502 North FOURTH	2741801040006010	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE STREET/RIGHT OF WAY.	5/24/2012	6/5/2012			
Garden City	12-001271	1702 North MAIN	2730704009007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/24/2012	6/29/2012			
Garden City	12-001272	1609 WALKER	2661301020006000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/24/2012	6/6/2012			
Garden City	12-001273	508 North THIRD	2741801041004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/24/2012	6/6/2012			
Garden City	12-001274	302 South SEVENTH	2741804044006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/24/2012	6/6/2012			
Garden City	12-001284	2101 North SEVENTH	2730701028007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/25/2012	6/15/2012			
Garden City	12-001285	2930 LORAINE	2730503001012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/25/2012	10/3/2012			
Garden City	12-001286	2928 LORAINE	2730503001011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/25/2012	6/15/2012			
Garden City	12-001287	2928 LORAINE	2730503001011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: SCRAP LUMBER, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	5/25/2012	6/7/2012			
Garden City	12-001290	711 North FIRST	2741702028001000	Debris/Trash	ENVIROMENTAL YARD: MATTRESS, BROKEN MORROR, SCRAP LUMBER, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	5/25/2012	6/26/2012			
Garden City	12-001291	711 North FIRST	2741702028001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/25/2012	6/6/2012			
Garden City	12-001292	812 East FULTON	2741703031016000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	5/25/2012	6/7/2012			
Garden City	12-001293	109 North SECOND	2741804026001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/25/2012	6/6/2012			
Garden City	12-001294	512 East FULTON	2741804025001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	5/25/2012				
Garden City	12-001302	304 North FIFTH	2741804010006000		RENTAL INSPECTION	5/29/2012				
Garden City	12-001315	3501 CAMPUS	2730501001001000		RENTAL INSPECTION	5/30/2012				
Garden City	12-001361	2008 PARKWOOD	2730802016005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, TIRES, DEPOSITED IN THE ALLEY RIGHT OF WAY BEHIND THE RESIDENCE.	6/7/2012	6/15/2012			

Garden City	12-001362	2112 North MAIN	2730701028002000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES STORED ON THE PROPERTY. BLUE CHEVROLET PICK-UP TAG # 057-AYL DARK BLUE FORD RANGER PICKUP TAG # 226-CLQ	6/7/2012				6/22/2012
Garden City	12-001363	104 West KANSAS	2741801008001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/7/2012	6/11/2012			
Garden City	12-001364	2604 North SEVENTH	2730604011010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/7/2012	6/22/2012			
Garden City	12-001365	2606 North SEVENTH	2730604011009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/7/2012	6/11/2012			
Garden City	12-001373	1302 West FULTON	2661304002001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/8/2012	6/18/2012			
Garden City	12-001376	2319 North THIRD	2730701014016000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/8/2012	6/15/2012			
Garden City	12-001377	2104 North THIRD	2730802013010000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES STORED ON THE PROPERTY. LIGHT BLUE PONTIAC 4 DOOR CAR TAG# 391-BHS TWO TONE BROWN AND TAN CHEVY SURBURBAN TAG# 390-BHS BLUE FORD PICKUP RED JEEP	6/8/2012	7/5/2012			
Garden City	12-001378	/18/20012701 West MARY	2730603008010010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/8/2012	6/18/2012			
Garden City	12-001379	811 SAFFORD	2661301010001010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/8/2012	6/18/2012			
Garden City	12-001381	1605 GEORGE	2661301011008000	Debris/Trash	ENVIROMENTAL YARD: MATTRESSES, CHAIRS, FRIDGERATOR DOORS, FENCE SECTIONS, MISC FURNITURE, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	6/8/2012	6/19/2012			
Garden City	12-001414	410 CAMPUS	2751603010021030	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/15/2012	7/6/2012			
Garden City	12-001434	3501 CAMPUS	2730501001001000		RED TAGGED-BROKEN METER SOCKET	6/18/2012				
Garden City	12-001443	206 BURNSIDE	2741903003006000	Vehicles	VEHICLE NUISANCE: MORE THAN ALLOWED NUMBER OF VEHICLES ON THE PROPERTY ACCORDING TO COUNTY ZONING.	6/19/2012				
Garden City	12-001479	408 West MAPLE	2741803028005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/22/2012				
Garden City	12-001481	205 North THIRTEENTH	2741803007001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/22/2012	7/13/2012			

Garden City	12-001482	07/06/20121505 BUFFALO JONES	2611204018006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/22/2012	7/6/2012		
Garden City	12-001484	914 INGE	2661301008005000	Debris/Trash	ENVIROMENTAL YARD: MISC CAR PARTS, MISC JUNK, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	6/25/2012	9/5/2012		8/6/2012
Garden City	12-001485	910 North FIFTH	2741801013003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/25/2012	6/25/2012		
Garden City	12-001487	910 North FIFTH	2741801013003000	Debris/Trash	ENVIROMENTAL YARD: SCRAP METAL,SCRAP LUMBER, PILE OF BRICKS, MISC JUNK, MISC FURNITURE, TRASH, LITTER, AND DEBRIS DEPOSITESD ON THE PROPERTY.	6/25/2012			
Garden City	12-001488	401 South NINTH	2741803028019000		CMB	6/25/2012			
Garden City	12-001489	808 BANCROFT	2661301012006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/25/2012			
Garden City	12-001502	901 JENNY	2730703017014000	Debris/Trash	DEPOSITS IN THE RIGHT OF WAY: COUCH, MATTRESSES, MISC FURNITURE, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	6/26/2012	7/2/2012		
Garden City	12-001503	1305 North ELEVENTH	2730703017001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH, MATTRESSES, MISC FURNITURE,TREE BRANCHES, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	6/26/2012	7/6/2012		
Garden City	12-001512	518 North THIRTEENTH	2741802018003000	Vehicles	VEHICLE NUISANCE: UNREGISTERED BOAT AND TRAILER WITH FLAT TIRES STORED ON THE PROPERTY.	6/27/2012			7/12/2012
Garden City	12-001518	801 East FULTON	2741703024004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/12/2012		
Garden City	12-001520	107 North JENNIE BARKER	2751604001016000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/10/2012		
Garden City	12-001525	402 North FIFTH	2741804004007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/13/2012		
Garden City	12-001526	408 North FIFTH	2741804004004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/2/2012		
Garden City	12-001527	406 North FIFTH	2741804004005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/2/2012		
Garden City	12-001528	301 North FOURTH			WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/2/2012		
Garden City	12-001529	302 North FIFTH	2741804010007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/13/2012		

Garden City	12-001530	302 North FIFTH	2741804010007000	Debris/Trash	ENVIROMENTAL YARD: PLASTIC CONTAINERS, SCRAP LUMBER, TIRES, SCRAP METAL, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	6/28/2012	9/7/2012		7/16/2012
Garden City	12-001532	709 EVANS	2741702027009000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/11/2012		
Garden City	12-001533	506 North TENTH	2741802021008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/2/2012		
Garden City	12-001535	506 North NINTH	2741802022009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	8/27/2012		
Garden City	12-001536	326 North TENTH	2741802025001010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/10/2012		
Garden City	12-001537	1908 ST JOHN	2661301041011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	6/28/2012	7/16/2012		
Garden City	12-001546	908 North SEVENTH	2741801011004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	7/2/2012			
Garden City	12-001547	1101 North NINTH	2730703033006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	7/2/2012	7/13/2012		
Garden City	12-001548	1204 HATTIE	2730703030006000		RED TAGGED	7/2/2012			
Garden City	12-001549	1820 West KANSAS	2661301006004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	7/2/2012	7/13/2012		
Garden City	12-001550	1901 CHESTERFIELD	2661301024005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/2/2012	7/23/2012		
Garden City	12-001552	1502 West KANSAS	2661301003001000	Debris/Trash	ENVIROMENTAL YARD: MISC CAR PARTS, MISC EQUIPMENT, MISC JUNK, MISC CHEMICALS AND CONTAINERS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/2/2012			
Garden City	12-001553	1714 East LAUREL	2741704016022000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/2/2012	7/23/2012		
Garden City	12-001585	1804 ST JOHN	2661301041005	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/5/2012	7/23/2012		
Garden City	12-001588	1810 ST JOHN	2661301041007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/5/2012	7/23/2012		
Garden City	12-001589	517 EUGENE	2661301026001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/5/2012	7/10/2012		

Garden City	12-001590	515 EUGENE	2661301026017000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/5/2012	7/31/2012			
Garden City	12-001595	201 West FAIR	2730701020011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/6/2012	7/18/2012			
Garden City	12-001598	2112 North THIRD	2730802013009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, TIRES, CARDBOARD, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IH THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTERS.	7/6/2012	7/18/2012			
Garden City	12-001599	602 East PRICE	2730802013008000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, TIRES, CARDBOARD, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED IH THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTERS.	7/6/2012	7/18/2012			
Garden City	12-001600	502 North FOURTH	2741801040006010	Vehicles	VEHICLE NUISANCE: VEHICLES PARKING IN BACK YARD ON AN UNIMPROVED SURFACE.	7/6/2012	7/12/2012			
Garden City	12-001613	3318 PRIMROSE	2720402005001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/9/2012	7/20/2012			
Garden City	12-001614	1910 CRESTWAY	2730804002001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/9/2012				
Garden City	12-001615	2310 HENDERSON	2730801008004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/9/2012	7/26/2012			
Garden City	12-001616	1905 North THIRD	2730704001001000	Debris/Trash	ENVIROMENTAL YARD: MISC CLOTHING, MISC FURNITURE, TIRES, SCRAP LUMBER, MISC JUNK, PLASTIC CONTAINERS, PAINT CANS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/9/2012	7/23/2012			
Garden City	12-001617	1905 North THIRD	2730704001001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/9/2012	7/23/2012			
Garden City	12-001618	2001 North THIRD	2730701031010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/9/2012	7/23/2012			
Garden City	12-001621	157 HONEY BEE CT	2751603004001	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: WALL PANEL, MATTRESS, PALLETS, TV, SCRAP LUMBER, SCRAP WIRE FENCING, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/9/2012	7/23/2012			
Garden City	12-001623	160 SHAMROCK	2751603004006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: WALL PANEL, MATTRESS, PALLETS, TV, SCRAP LUMBER, SCRAP WIRE FENCING, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/9/2012	7/23/2012			
Garden City	12-001624	158 SHAMROCK		Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: WALL PANEL, MATTRESS, PALLETS, TV, SCRAP LUMBER, SCRAP WIRE FENCING, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/9/2012	7/23/2012			

Garden City	12-001626	166 SHAMROCK	2751603004003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, CHAIR, OLD CARPETTING, TIRE, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/10/2012	7/23/2012			
Garden City	12-001628	165 HONEY BEE	2751603004001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, CHAIR, OLD CARPETTING, TIRE, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/10/2012	7/23/2012			
Garden City	12-001630	416 MAGNOLIA	2741703001003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS DEPOSITED BEHIND THE RESIDENCE NEXT TO THE DUMPSTER.	7/10/2012	7/13/2012			
Garden City	12-001631	1502 East SPRUCE	2741704004006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/10/2012				
Garden City	12-001633	1016 North FOURTH	2741801001005000		RENTAL INSPECTION	7/10/2012				
Garden City	12-001637	1502 West KANSAS	2661301003001000		NON-CONFORMING	7/11/2012				
Garden City	12-001645	7/11/20012712 East FULTON	2741804027001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/23/2012			
Garden City	12-001647	708 East FULTON	2741804027002000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/23/2012			
Garden City	12-001649	706 East FULTON	2741804027003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/23/2012			
Garden City	12-001650	803 East LAUREL	2741703011005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/23/2012			
Garden City	12-001651	803 East LAUREL	2741703011005000	Dilapidated Structure	DILAPIDATED STRUCTURE: FENCE FALLEN INTO DISREPAIR.	7/11/2012				
Garden City	12-001652	412 North SECOND	2741804001001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/16/2012			
Garden City	12-001653	918 LYLE	2741702014002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/11/2012	7/31/2012			
Garden City	12-001657	504 North THIRD	2741801041006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/12/2012	7/16/2012			
Garden City	12-001658	801 East WALNUT	2741702023008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/12/2012	7/16/2012			
Garden City	12-001659	148 SHAMROCK	2751603004009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/12/2012	7/23/2012			
Garden City	12-001660	151 CLOVERLEAF	2751603002005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/12/2012	7/23/2012			

Garden City	12-001662	155 CLOVERLEAF	2751603002003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/12/2012	8/7/2012			
Garden City	12-001663	706 PATS	2741702005001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE ALLEY RIGHT OF WAY.	7/12/2012	7/18/2012			
Garden City	12-001665	605 WHEATRIDGE	2730802005006000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES, GRASS CLIPPINGS, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/12/2012	7/18/2012			
Garden City	12-001670	1707 B	2730704006001000	Unlawful Deposits	ENVIROMENTAL YARD: TIRES, SCRAP METALS, SCRAP LUMBER, MISC JUNK, MISC EQUIPMENT, CANOE, PADDLE BOAT, CONSTRUCTION MATERIALS, MISC BICYCLES, TIRES, MISC APPLIANCES. TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/13/2012	8/15/2012			
Garden City	12-001671	1707 B	2730704006001000	Vehicles	VEHICLE NUISANCE: CAMPER TRAILER STORED ON THE PROPERTY WITHOUT LEGAL REGISTRATION.	7/13/2012	8/15/2012			
Garden City	12-001672	1707 B	2730704006001000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PAKED IN FRONT AND SIDE YARD OF THE PROPERTY. RED DODGE PICKUP PURPLE FORD CAR TAG# XEK-853	7/13/2012	8/2/2012			
Garden City	12-001677	710 North FIRST	2741702027003000		NON-CONFORMING FENCE	7/13/2012				
Garden City	12-001683	5963 OLD POST	2772502007006000	Debris/Trash	ENVIROMENTAL YARD: EMPTY CHICKEN COOPS FILLED WITH FEED AND DROPPINGS, PLASTIC CONTAINERS, SCRAP METAL, HOT WATER HEATER, SCRAP LUMBER, TIRES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/16/2012				
Garden City	12-001684	3010 LARUE	2720900001011010		REPLACE DEAD TREES	7/16/2012				
Garden City	12-001686	634 North EIGHTH	2741801033003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	8/2/2012			
Garden City	12-001688	308 West MAPLE	2741803028002000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, MISC FURNITURE, DEPOSITED IN THE STREET RIGHT OF WAY.	7/16/2012	7/20/2012			
Garden City	12-001689	308 West MAPLE	2741803028002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	7/18/2012			
Garden City	12-001690	308 West MAPLE	2741803028002000	Debris/Trash	ENVIROMENTAL YARD: ALUMINUM CANS, PILES OF SCRAP METAL, TOILET, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/16/2012	8/6/2012			
Garden City	12-001691	309 West MAPLE	2741803024005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	7/27/2012			
Garden City	12-001693	301 West MAPLE	2741803024006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	7/18/2012			
Garden City	12-001694	304 West MAPLE	2741803028001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	7/27/2012			

Garden City	12-001696	912 CAMPUS	2751602004003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/16/2012	8/6/2012			
Garden City	12-001697	912 CAMPUS	2751602004003000	Dilapidated Structure	DILAPIDATED STRUCTURE: TRASH BIN DOORS MISSING,	7/16/2012				
Garden City	12-001719	406 East KANSAS	2741801002002000		CMB	7/18/2012				
Garden City	12-001725	2008 North MAIN	2730701033004000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, CEMENT, SCRAP LUMBER, TRSH, LITTER AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/19/2012	8/23/2012	8/2/2012		
Garden City	12-001728	2010 North MAIN	2730701033003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, CEMENT, SCRAP LUMBER, TRSH, LITTER AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/19/2012	8/23/2012	8/2/2012		
Garden City	12-001732	605 AMY	2751601004006000		PILOT VEHICLES/HOME OCCUPATION IN R-C W/O A CUP	7/19/2012	9/13/2012			
Garden City	12-001739	2808 ELDORADO #A	2730503003005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/20/2012				
Garden City	12-001741	3208 CAMPUS	2720402007020000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/20/2012	8/6/2012			
Garden City	12-001742	2002 LABRADOR	2720400003004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/20/2012	7/31/2012			
Garden City	12-001747	2001 East MARY	2720400003006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/6/2012			
Garden City	12-001748	2051 East MARY	2720400003007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/6/2012			
Garden City	12-001749	2101 East MARY	2720400003008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/6/2012			
Garden City	12-001750	2601 CHEROKEE	2720400003009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/7/2012			
Garden City	12-001751	2301 East MARY	2720400002002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/6/2012			
Garden City	12-001752	2610 FLEMING	2730504016003000	Weeds	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, FENCE SECTIONS, SCRAP LUMBER, TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/23/2012	8/6/2012			
Garden City	12-001753	2609 PEARLY JANE	2730504016007000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, SCRAP LUMBER, TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	7/23/2012	8/6/2012			

Garden City	12-001754	309 West MAPLE	2741803024005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: PILE OF MISC FURNITURE, TREE BRANCHES, TRASH, LITTER AND DEBRIS DEPOSITED ON THE STREET RIGHT OF WAY.	7/23/2012	8/6/2012		
Garden City	12-001755	146 CLOVERLEAF	2751603003011010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/6/2012		
Garden City	12-001756	1903 East HWY 50	2741704014001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/20/2012		
Garden City	12-001757	212 South FOURTH	2741804039006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/23/2012	8/7/2012		
Garden City	12-001790	3201 CAMPUS Drive	2730501001007	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/27/2012	8/8/2012		
Garden City	12-001791	1305 East CHESTNUT	2741703016009000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/27/2012	8/15/2012		
Garden City	12-001794	1305 East CHESTNUT	2741703016009000	Debris/Trash	ENVIROMENTAL YARD: MISC FURNITURE, MISC APPLIANCES, MISC BICYLES, MISC JUNK, CONSTRUCTION MATERIALS, TRASH, LITTER, AND DEBRIS DEPOSITED AROUND THE PROPERTY.	7/27/2012		8/8/2012	
Garden City	12-001795	412 MAGNOLIA	2741703001005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/27/2012	8/15/2012		
Garden City	12-001800	412 MAGNOLIA	2741703001005000	Debris/Trash	ENVIROMENTAL YARD: SCRAP LUMBER, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	7/30/2012	10/2/2012	8/15/2012	
Garden City	12-001801	416 MAGNOLIA	2741703001003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/30/2012	8/9/2012		
Garden City	12-001822	1702 North MAIN	2730704009007000		RENTAL INSPECTION	7/31/2012			
Garden City	12-001823	903 North EIGHTH	2741802001011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/6/2012		
Garden City	12-001824	903 North EIGHTH	2741802001011000	Debris/Trash	ENVIROMENTAL YARD: MISC FURNITURE, TREE RANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/31/2012	8/6/2012		
Garden City	12-001825	903 North EIGHTH	2741802001011000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE PARKED ON THE PROPERTY TO THE SOUTH. GRAY PONTIAC GRAND PRIX TAG# 690-CLO	7/31/2012	8/6/2012		
Garden City	12-001826	909 North EIGHTH	2741802001014000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/22/2012		
Garden City	12-001827	07909 North EIGHTH	2741802001014000	Debris/Trash	ENVIROMENTAL YARD: PLASTIC CONTAINER FULL OF USED FIREWORKS, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	7/31/2012	8/17/2012		
Garden City	12-001828	905 North EIGHTH	2741802001012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/6/2012		

Garden City	12-001829	907 North EIGHTH	2741802001013000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/6/2012			
Garden City	12-001830	1018 North SEVENTH	2741801006002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/17/2012			
Garden City	12-001831	1312 North MAIN	2730704029002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/6/2012			
Garden City	12-001832	412 North FOURTH	2741804003002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	7/31/2012	8/6/2012			
Garden City	12-001836	1006 North FOURTH	2741801001010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/6/2012			
Garden City	12-001837	707 North THIRD	2741801026011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/8/2012			
Garden City	12-001838	1304 North EIGHTH	2730704026006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/15/2012			
Garden City	12-001839	1306 North EIGHTH	2730704026005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/15/2012			
Garden City	12-001841	1410 A	2730704023003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012				
Garden City	12-001842	806 North FIFTH	2741801016004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/15/2012			
Garden City	12-001843	1017 North SIXTH	2741801006016000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/1/2012	8/22/2012			
Garden City	12-001848	215 WESLEY	2661301040002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/2/2012	8/15/2012			
Garden City	12-001850	1306 West FULTON	2661304002002000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESSES AND BOXSPRING DEPOSITED IN THE STREET RIGHT RIGHT OF WAY NEXT TO THE DUMPSTER.	8/2/2012	8/15/2012			
Garden City	12-001851	1212 West FULTON	2661304001003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESSES AND BOXSPRING DEPOSITED NEXT TO THE DUMPSTER AT 1302 W FULTON.	8/2/2012	8/15/2012			
Garden City	12-001852	509 East HAZEL	2741801001014010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/2/2012	8/20/2012			
Garden City	12-001853	601 East HAZEL	2741702004012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/2/2012	8/7/2012			

Garden City	12-001854	601 East HAZEL	2741702004012000	Debris/Trash	ENVIRONMENTAL YARD: COLLAPSED SWIMMING POOL, TV, MISC FURNITURE, TREE BRANCH, TRASH, LITTER, AND DEBRIS, DEPOSITED ON THE PROPERTY.	8/2/2012	8/15/2012			
Garden City	12-001856	910 West OLIVE	2730703018005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: RECLINER DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/2/2012	8/15/2012			
Garden City	12-001861	905 HOWERTON	2730703018012000	Vehicles	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, SCRAP LUMBER, BED SPRING, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	8/2/2012	8/15/2012			
Garden City	12-001862	1720 PATS	2741701008004000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: CARDBOARD BOXES, MISC FURNITURE, TREASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTERS.	8/2/2012	8/15/2012			
Garden City	12-001864	2914 FLEMING	2730504004009000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE ALLEY AND STREET RIGHT OF WAY.	8/2/2012	8/15/2012			
Garden City	12-001868	504 ST JOHN	2741802027001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE ALLEY RIGHT OF WAY.	8/3/2012	8/15/2012			
Garden City	12-001871	510 ST JOHN	2741802027002010	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, MISC FURNITURE, TREE BRANCHES, CARDBOARD TUBING, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/3/2012	8/15/2012			
Garden City	12-001872	508 ST JOHN	2741802027002000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, MISC FURNITURE, TREE BRANCHES, CARDBOARD TUBING, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/3/2012	8/15/2012			
Garden City	12-001873	318 North TWELFTH	2741802027003000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS, MISC FURNITURE, TREE BRANCHES, CARDBOARD TUBING, TRASH, LITTER, AND DEBRIS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/3/2012	8/15/2012			
Garden City	12-001874	504 West MAPLE	2741803028008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	8/3/2012	8/15/2012			
Garden City	12-001884	1410 A	2730704023003000		DILAPIDATED STRUCTURE	8/6/2012				
Garden City	12-001885	1512 ST JOHN	2661301039006	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/6/2012	8/17/2012			
Garden City	12-001886	210 WESLEY	2661301039010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/6/2012	8/17/2012			
Garden City	12-001888	709 ST JOHN	2741802017014000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/6/2012	8/7/2012			
Garden City	12-001889	711 ST JOHN	2741802017013000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/6/2012	8/7/2012			

Garden City	12-001890	914 INGE	2661301008005000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED ON THE PROPERTY. MAROON DODGE PICK UP, MAROON FORD 4DOOR CAR,	8/6/2012				8/17/2012
Garden City	12-001892	645 WHEATRIDGE	2730802005017000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/6/2012	8/7/2012			
Garden City	12-001916	0 OVERLAND	2751601013001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/8/2012	8/27/2012			
Garden City	12-001922	3106 East KANSAS	2720900002006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/9/2012				
Garden City	12-001927	411 North THIRD	2741804003001000		CODE COMPLIANCE CASE-BROKEN BOTTLES ON TOP OF FENCE	8/9/2012	8/16/2012			
Garden City	12-001941	2501 East HWY 50			CMB INSPECTION	8/13/2012				
Garden City	12-001947	503 North TAYLOR	2661301034007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/14/2012	8/30/2012			
Garden City	12-001948	1206 North ELEVENTH	2730703027005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/14/2012	9/7/2012			
Garden City	12-001949	701 East FULTON	2741804014002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	8/14/2012				
Garden City	12-001950	503 North TAYLOR	2661301034007000	Weeds	DEPOSITS IN THE RIGHT OF WAY: COUCH DEPOSITED IN THE STREET RIGHT OF WAY.	8/14/2012	9/17/2012	8/30/2012		
Garden City	12-001953	1025 North FOURTH	2741801002010000	Vehicles	VEHICLE NUISANCE: INOPERABLE VEHICLE PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE. RED FORD PICKUP TAG# 825-DON,	8/14/2012	8/30/2012			
Garden City	12-001956	2506 North MAIN	2730701003010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TV, FURNITURE CUSHIONS, SMALL TABLE, DEPOSITED ON THE STREET RIGHT OF WAY.	8/14/2012	8/15/2012			
Garden City	12-001959	4080 LAMONTE	2751500004005030		TRUCK ISSUE	8/14/2012				
Garden City	12-001960	4155 LAMONTE	2751500003008000		TRUCK ISSUE	8/14/2012				
Garden City	12-001961	4080 LAMONTE	2751500004005030		TRUCK ISSUE	8/14/2012				
Garden City	12-001966	1410 A	2730704023003000	Debris/Trash	ENVIROMENTAL YARD: ALUMINUM CANS, TRASH, LITTER, AND DEBRIS SCATTERD AROUND THE PROPERTY.	8/15/2012	8/30/2012			
Garden City	12-001967	601 East HAZEL	2741702004012000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITSED ON THE STREET RIGHT OF WAY.	8/15/2012	9/7/2012	8/30/2012		
Garden City	12-001968	2506 North MAIN	2730701003010000	Debris/Trash	ENVIROMENTAL YARD: TV DEPOSITED ON THE PROPERTY.	8/15/2012	8/30/2012			
Garden City	12-001969	1706 East SPRUCE	2741704002003000	Debris/Trash	ENVIROMENTAL YARD: TV, MISC FURNITURE, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/15/2012	8/30/2012			
Garden City	12-001970	1603 East LAUREL	2741704006012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/15/2012	8/30/2012			
Garden City	12-001971	2901 LOST RIVER	2730504004016000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/15/2012	8/30/2012			

Garden City	12-001972	808 North FIFTH	2741801016003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/15/2012	8/30/2012			
Garden City	12-001973	504 West MAPLE	2741803028008000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE STREET RIGHT WAY.	8/15/2012	9/7/2012	8/30/2012		
Garden City	12-001975	504 West MAPLE	2741803028009000	Debris/Trash	ENVIROMENTAL YARD: TREE BRANCHES, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS SCATTERD AROUND THE PROPERTY.	8/15/2012	10/2/2012		9/7/2012	
Garden City	12-001981	5930 East WELDON	2772502002001000	Debris/Trash	ENVIROMENTAL YARD: SCRAP METALS, SCRAP LUMBER, MISC JUNK, MISC EQUIPMENT, TIRES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/16/2012	10/3/2012			
Garden City	12-001982	1002 North FOURTH	2741801001012000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE STREET RIGHT OF WAY.	8/16/2012	8/31/2012			
Garden City	12-001984	512 North FOURTH	2741801040002000	Vehicles	VEHICLE NUISANCE: COMMERCIAL TRUCKS PARKED ON AN UNIMPROVED SURFACE ON THE PROPERTY.	8/16/2012	8/22/2012			
Garden City	12-001985	512 North FOURTH	2741801040002000	Debris/Trash	ENVIROMENTAL YARD: PALLETS AND SCRAP LUMBER DEPOSITED ON THE PROPERTY.	8/16/2012	8/22/2012			
Garden City	12-001987	510 North FOURTH	2741801040003000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNRGISTERED VEHICLE PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE. FORD MAROON ECONOLINE VAN.	8/16/2012				
Garden City	12-001992	2601 C	2730604008011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS AND BOX SPRING DEPOSITED ON THE STREET RIGHT OF WAY.	8/17/2012	8/31/2012			
Garden City	12-001994	811 AMY	2751601014010000	Vehicles	VEHICLE NUISANCE: THREE (3) ATVS PARKED IN FRONT YARD.	8/17/2012	8/22/2012			
Garden City	12-001995	3219 AMY	2751601016003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	8/17/2012	8/21/2012			
Garden City	12-001996	1501 East CHESTNUT	2741704007008000	Debris/Trash	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, MATTRESS, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/20/2012	8/31/2012			
Garden City	12-001998	1505 East CHESTNUT	2741704007009000	Unlawful Deposits	DEPOSITS IN THER RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/20/2012	8/31/2012			
Garden City	12-001999	1511 East CHESTNUT	2741704007010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/20/2012	8/31/2012			
Garden City	12-002000	727 AMY	2751601005002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/20/2012	8/31/2012			
Garden City	12-002001	2405 DEE	2611201005001000	Debris/Trash	ENVIROMENTAL YARD: BUCKET FULL OF USED OIL, STACK OF BUILDING MATERIALS, ROOF SHINGLING, TIRES, STACK OF SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/20/2012			8/31/2012	
Garden City	12-002003	2211 North HWY 83	2611201001004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/20/2012	9/11/2012			

Garden City	12-002004	2003 North SEVENTH	2730701033008000	Vehicles	VEHICLE DAMAGE: INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE. MAROON AND SILVER CADILLAC TAG# 959-BWV,	8/20/2012	9/20/2012			
Garden City	12-002005	109 West MENDENHALL	2730701010005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/20/2012	9/11/2012			
Garden City	12-002027	3306 North VFW	2610100001008000	Debris/Trash	ENVIROMENTAL YARD: SCRAP LUMBER, MISC JUNK, MISC BUILDING MATERIALS, SCRAP METAL, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/22/2012				
Garden City	12-002036	507 East SPRUCE	2741801028006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/22/2012	8/27/2012			
Garden City	12-002037	507 East SPRUCE	2741801028006000	Debris/Trash	ENVIROMENTAL YARD: SCREEN DOOR, SCRAP LUMBER, WOOD TABLE, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/22/2012	8/27/2012			
Garden City	12-002038	611 North THIRD	2741801028001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/22/2012	9/7/2012			
Garden City	12-002040	621 North THIRTEENTH	2741802016011000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE DEPOSITED IN THE STREET AND ALLEY RIGHT OF WAY.	8/23/2012	9/28/2012	9/13/2012		
Garden City	12-002041	2617 CARRIAGE	2730503007022000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	9/5/2012			
Garden City	12-002042	717 SARAH	2751601006014000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	9/7/2012			
Garden City	12-002044	722 SARAH	2751601006013000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	8/27/2012			
Garden City	12-002045	914 AMY	2751601014018000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	9/7/2012			
Garden City	12-002046	918 AMY	2751601014019000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	8/27/2012			
Garden City	12-002047	922 AMY	2751601014020000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	8/27/2012			
Garden City	12-002048	926 AMY	2751601014021000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/23/2012	8/27/2012			
Garden City	12-002049	168 SHAMROCK	2751603004002000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH, FENCE POSTS, DEPOSITED IN ALLEY RIGHT OF WAY.	8/23/2012	9/5/2012			
Garden City	12-002052	1504 A	2730704021005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	8/24/2012	8/27/2012			

Garden City	12-002053	1505 North MAIN	2730704021009000	Vehicles	VEHICLE NUISANCE: VEHICLES PARKED IN BACK YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. MAROON PONTIAC CAR TAG# 716-CXO WHITE CHEVY PICKUP, TAG# 717-CXO	8/24/2012	8/31/2012			
Garden City	12-002054	1701 A	2730704007006000	Vehicles	VEHICLE NUISANCE: VEHICLE PARKED IN SIDE YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. MAROON MERCURY SEDAN TAG# 584-CLO OR CLD	8/24/2012	8/30/2012			
Garden City	12-002056	209 ALBERT	2730704020007000	Vehicles	VEHICLE NUISANCE: PICK UP PARKED IN SIDE YARD.	8/24/2012	8/30/2012			
Garden City	12-002057	1410 B	2730704024003000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE FRONT YARD ON THE PROPERTY ON AN UNIMPROVED SURFACE. BROWN NISSAN PICKUP TAG# PRL-192, BLUE FORD MUSTANG,	8/24/2012	9/7/2012			
Garden City	12-002059	1408 B	2730704024004000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE BACK-YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. TAN EL CAMINO, GRAY CHEVY PICK-UP TAG# 220-DOP MAROON PONTIAC SEDAN, GRAY PRIMERD SUV,	8/24/2012	9/28/2012			
Garden City	12-002060	1408 B	2730704024004000	Debris/Trash	ENVIROMENTAL YARD: LAWN MOWERS, SCRAP METAL, MISC JUNK, PLASTIC TARP, FISH TANK, MISC FURNITURE, MISC CAR PARTS, TIRES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/24/2012	9/7/2012			
Garden City	12-002061	1409 A	2730704024012000	Vehicles	VEHICLE NUISANCE: VEHICLE PARKED IN THE BACK-YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. WHITE FORD F150 PICKUP TAG# PSG-340	8/24/2012	8/30/2012			
Garden City	12-002062	1411 B	2730704025001000		VEHICLE NUISANCE: VEHICLES PARKED ON THE BACK-YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE. BLACK FORD EXPEDITION TAG# XQV-236	8/24/2012	9/7/2012			
Garden City	12-002063	902 East HAMLIN	2730802021013000	Vehicles	VEHICLE NUISANCE: VEHICLES STORED IN THE BACK-YARD ON AN UNIMPROVED SURFACE. TAN FORD VAN, WHITE SEDAN,	8/24/2012	10/1/2012			
Garden City	12-002085	2107 ARAPAHO	2720902012010000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	8/30/2012	9/28/2012	9/13/2012		
Garden City	12-002086	101 North TAYLOR	2661304001005000		DILAPIDATED STRUCTURE	8/30/2012				
Garden City	12-002097	2807 North TENTH	2730603002001000		MOTOR VEHICLE REPAIR SHOP	8/31/2012	9/24/2012			
Garden City	12-002098	2601 C	2730604008011000	Debris/Trash	ENVIRONMENTAL YARD: FISH TANK, FINCE PICKETS, WEIGHT BENCH, MISC WINDOWS, MATTRESS AND BOX SPRING, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	8/31/2012		10/29/2012	9/13/2012	
Garden City	12-002114	1830 COMMANCHE	2720903001001000	Vehicles	VEHICLE NUISANCE: COMMERCIAL TRUCKS PARKED ON THE PROPERTY THAT IS ZONED COMMERCIAL. THE EMPTY LOT IS NOT IMPROVED WITH PAVEMENT OR CONCRETE.	9/5/2012				
Garden City	12-002117	1314 BANCROFT	2611204010006000	Debris/Trash	ENVIRONMENTAL YARD: SHREDDED COTTON, TREE BRANCHES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/5/2012			9/20/2012	

Garden City	12-002134	806 MEADOWVIEW	2730703008016000	Unlawful Deposits	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED RECREATIONAL VEHICLE PARKED ON THE PROPERTY. AMERICAN RECREATIONAL VEHICLE TAG# VZJ-023	9/10/2012	10/10/2012			
Garden City	12-002137	635 West OLIVE	2730703008017000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: GRASS CUTTINGS, TREE BRANCHES, CUT WEEDS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/10/2012		9/28/2012		
Garden City	12-002138	1001 North EIGHTH	2741802001018000	Debris/Trash	ENVIRONMENTAL YARD: MATTRESS AND BOX SPRING, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/10/2012		10/29/2012	9/24/2012	
Garden City	12-002139	922 North NINTH	2741802001005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/10/2012	10/1/2012			
Garden City	12-002140	2203 North EIGHTH	2730702007037000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE BACK YARD ON AN UNIMPROVED SURFACE ALSO INOPERABLE AND UNREGISTERED VEHICLES PARKED ON THE PROPERTY. RED AND WHITE FORD F150 PICKUP, TEAL FORD VAN TAG# PRX-385 RECREATIONAL VEHICLE TAG# 456-CLP	9/10/2012	10/5/2012			
Garden City	12-002144	2203 North EIGHTH	2730702007037000	Debris/Trash	ENVIRONMENTAL YARD: TIRES, SCRAP METAL, MISC EQUIPMENT, MISC JUNK, SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/10/2012			10/5/2012	
Garden City	12-002145	402 North FIFTH	2741804004007000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. BLUE JEEP,	9/10/2012	9/24/2012			
Garden City	12-002146	811 HAROLD	2751602004010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/10/2012	10/3/2012			
Garden City	12-002148	705 SUMMIT	2661301019010000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE BACK YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE.	9/10/2012	10/5/2012			
Garden City	12-002152	1411 WALKER	2661301018006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/11/2012	10/8/2012			
Garden City	12-002153	2708 North ELEVENTH	2730603008005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MISC FURNITURE, DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/11/2012				
Garden City	12-002154	2509 North TAYLOR	2611201001002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/11/2012	10/26/2012			
Garden City	12-002156	2505 North TAYLOR	2611201001003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/11/2012	9/28/2012			
Garden City	12-002157	207 South FOURTH	2741804038008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/11/2012				
Garden City	12-002158	407 North SEVENTH	2741801043001000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	9/11/2012	9/17/2012			
Garden City	12-002166	201 BUFFALO JONES	2741802010001000		MOVED A MHP W/OUT PERMIT.	9/11/2012				

Garden City	12-002167	704 INGE	2661301021006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/12/2012	9/17/2012			
Garden City	12-002168	801 SAFFORD	2661301010008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/12/2012	9/17/2012			
Garden City	12-002169	2512 DEE	2611201001005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: COUCH, MATTRESSES AND BOX SPRING TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	9/12/2012	10/1/2012			
Garden City	12-002171	2930 LORAINE	2730503001012000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: BAGS OF TRASH, DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	9/12/2012	10/1/2012			
Garden City	12-002174	602 East SANTA FE	2741804040004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/12/2012	9/17/2012			
Garden City	12-002175	604 East SANTA FE	2741804040003000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE BACK YARD OF THE PROPERTY ON AN UNIMPROVED SURFACE.	9/12/2012	10/1/2012			
Garden City	12-002178	604 East SANTA FE	2741804040003000	Debris/Trash	ENVIRONMENTAL YARD: SCRAP CARPETING, MISC FURNITURE, TREE BRANCHES, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/12/2012	9/28/2012			
Garden City	12-002179	1114 PERSHING	2730803023003000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE BACKYARD ON AN UNIMPROVED SURFACE. MAROON SEDAN, BLUE SEDAN, WHITE CHEVY PICKUP,	9/12/2012				
Garden City	12-002180	124 West KANSAS AVE	2741801008006	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/12/2012				
Garden City	12-002181	1913 HARDING	2730804004001010	Vehicles	COMMERCIAL TRUCK PARKED ON A RESIDENTIAL ZONED PROPERTY. PROPERTY IS CURRENTLY ZONED ZL,	9/12/2012	10/12/2012			
Garden City	12-002187	1007 EVANS	2741702006012000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	10/1/2012			
Garden City	12-002188	1005 EVANS	2741702006011000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	10/1/2012			
Garden City	12-002189	1003 EVANS	2741702006010000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	9/17/2012			
Garden City	12-002190	1001 North FIRST	2741702005010000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	9/17/2012			
Garden City	12-002192	10/01/20121004 North SECOND	2741702005008000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	10/1/2012			

Garden City	12-002193	1002 North SECOND	2741702005009000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/13/2012	9/17/2012			
Garden City	12-002196	1116 North FIFTH	2730704032006000		DILAPIDATED STRUCTURE, ADDITION W/OUT PERMIT	9/14/2012				
Garden City	12-002197	2013 SUNFLOWER	2730801012016000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: SECTION OF VINES DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/14/2012	10/4/2012			
Garden City	12-002198	2011 SUNFLOWER	2730801012015000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/14/2012		10/4/2012		
Garden City	12-002199	2106 DENNISON	2730801012005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	9/14/2012	10/2/2012			
Garden City	12-002200	1603 North SEVENTH	2730704014007000	Vehicles	VEHICLE NUISANCE: VEHICLES PARKED IN THE BACKYARD ON AN UNIMPROVED SUFACE.	9/14/2012	9/24/2012			
Garden City	12-002202	402 EVANS	2741703013007000	Debris/Trash	ENVIRONMENTAL YARD: CONSTRUCTION DEBRIS, SCRAP LUMBER, SCRAP METAL, DEPOSITED ON THE PROPERTY.	9/14/2012				
Garden City	12-002203	402 EVANS	2741703013007000	Vehicles	VEHICLE NUISANCE; PICKUP TRUCK PARKED IN THE BACKYARD ON AN UNIMPROVED SUFACE.	9/14/2012	10/1/2012			
Garden City	12-002208	1116 North FIFTH	2730704032006000	Debris/Trash	ENVIRONMENTAL YARD: MISC JUNK, LAWN MOWER, SCRAP LUMBER, MISC GARDENING MATERIALS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/14/2012	10/29/2012			
Garden City	12-002209	211 SPENCER	2661301039019000	Debris/Trash	ENVIRONMENTAL YARD: MISC FURNITURE, MATTRESS, SCRAP METAL, PLASTIC CONTAINERS, SCRAP LUMBER, MISC JUNK, REFRIGERATOR, DOWNED TREE LIMB, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	9/14/2012				
Garden City	12-002212	104 North THIRD	2741804026004000		DILAPIDATED STRUCTURE	9/17/2012				
Garden City	12-002214	616 FLEMING	2741701016006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/17/2012	10/3/2012			
Garden City	12-002245	2104 DENNISON	2730801012006000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE STORED ON JACKS IN DRIVE WAY. RED AND WHITE CHEVY PICK-UP TRUCK TAG# WRM-672	9/20/2012	9/28/2012			
Garden City	12-002247	2104 DENNISON	2730801012006000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	9/20/2012	9/27/2012			
Garden City	12-002249	1301 MELANIE	2730803011007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	9/20/2012	10/8/2012			
Garden City	12-002250	1710 CENTER	2730803011005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/20/2012	10/2/2012			
Garden City	12-002251	2619 C	2730604008001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	9/20/2012	10/1/2012			

Garden City	12-002252	2315 TONIO	2730702005009010	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE STORED ON THE PROPERTY. WHITE GMC SUBURBAN TA# 142-CQR	9/20/2012				10/4/2012
Garden City	12-002273	305 West PROSPECT	2730604007007000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/24/2012	9/28/2012			
Garden City	12-002275	305 West PROSPECT	2730604007007000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: TREE BRANCHES, CUT TREE LIMBS, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/24/2012	9/28/2012			
Garden City	12-002276	2702 C	2730604007005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/24/2012	10/5/2012			
Garden City	12-002278	2702 C	2730604007005000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: FONCE POSTS, SCRAP LUMBER, TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/24/2012	10/5/2012			
Garden City	12-002279	304 FLORENCE	2730604007002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/24/2012				
Garden City	12-002281	2708 C	2730604007004000	Vehicles	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	9/24/2012	10/5/2012			
Garden City	12-002282	2708 C	2730604007004000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: PILES OF ROCK AND DIRT WASTE TRASH, LITTER, AND DEBRIS DEPOSITED IN THE ALLEY RIGHT OF WAY.	9/24/2012	10/5/2012			
Garden City	12-002311	1713 OLD LOVER'S Lane			POLE SIGNS NEED TO BE RELOCATED OR REMOVED	9/28/2012				
Garden City	12-002312	2115 SCHULMAN AVE	2720903006013		NON-CONFORMING USE AND SIGN W/O PERMIT (ZUMBA LESSONS)	9/28/2012				
Garden City	12-002325	1714 CENTER	2730803011004000	Unlawful Deposits	DEPOSITS IN THE RIGTH OF WAY: RAILROAD TIES, SCRAP CONCRETE, PALLETS, DEPOSITED IN THE ALLEY RIGHT OF WAY.	10/2/2012	10/5/2012			
Garden City	12-002340	4101 East HWY 50 LOT# 321	2751500006023000	Debris/Trash	ENVIRONMENTAL YARD: MISC FURNITURE, SCRAP LUMBER, MISC APPLIANCES, SCRAP METAL, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/4/2012				
Garden City	12-002342	4101 East HWY 50 LOT# 368	2751500006023000	Vehicles	COMMERCIAL TRUCKS PARKED IN A RESIDENTIAL ZONED PROPERTY. PROPERTY IS ZONED MHP,	10/4/2012	10/12/2012			
Garden City	12-002345	10/29/20124101 East HWY 50 LOT# 357	2751500006023000	Debris/Trash	ENVIRONMENTAL YARD; ALUMINUM CANS, REFRIGERATOR, MISC JUNK, SCRAP DOORS, MISC FEURNITURE, SCRAP METAL, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/4/2012	10/29/2012			
Garden City	12-002346	25/20124101 East HWY 50 LOT# 268	2751500006023000	Debris/Trash	ENVIRONMENTAL YARD: MISC FURNITURE, GLASS DOOR, SCRAP LUMBER, MISC EXERCISE EQUIPMENT, REFRIGERATOR, MISC JUNK, TRASH, LITTER AND DEBRIS DEPOSITED ON THE PROPERTY.	10/4/2012	10/25/2012			
Garden City	12-002365	1212 A	2730704035002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	10/5/2012				

Garden City	12-002366	1212 A	2730704035002000	Debris/Trash	ENVIRONMENTAL YARD: OLD TARP, TRASH, LITTER, AND DEBRIS SCATTERED AROUND THE PROPERTY.	10/5/2012	10/29/2012			
Garden City	12-002368	25/20122306 DEE	2611201001021000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLE PARKED IN THE BACKYARD. BLUE TWO DOOR HATCH BACK NO TAG,	10/5/2012	10/25/2012			
Garden City	12-002369	2304 DEE	2611201001022000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE BACKYARD. GREY PRIMERED CHEVY SUV WHITE SUV	10/5/2012	10/26/2012			
Garden City	12-002371	2304 DEE	2611201001022000	Debris/Trash	ENVIRONMENTAL YARD: TIRES, TREE BRANCHES, SCRAP METAL, MISC JUNK, MISC EQUIPMENT, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/5/2012	10/26/2012			
Garden City	12-002386	1010 BERNICE	2751602001005000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/9/2012				
Garden City	12-002388	2114 SCHULMAN	2751602002001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/9/2012	10/25/2012			
Garden City	12-002391	2051 LABRADOR	2720400004002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	10/9/2012	10/26/2012			
Garden City	12-002393	10/26/20122652 CHEROKEE	2720400002003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS	10/9/2012	10/26/2012			
Garden City	12-002395	2152 LABRADOR	2720400003001000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/9/2012	10/25/2012			
Garden City	12-002397	2005 North TAYLOR	2611201001037000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/9/2012	10/25/2012			
Garden City	12-002412	2052 LABRADOR	2720400003003000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/11/2012	10/25/2012			
Garden City	12-002413	2102 LABRADOR	2720400003002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/11/2012	10/25/2012			
Garden City	12-002415	2301 LABRADOR	2720400002004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/11/2012	10/25/2012			
Garden City	12-002416	2301 East MARY	2720400002002000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/11/2012	10/25/2012			
Garden City	12-002421	950 North JENNIE BARKER # 163	2751500006021050	Debris/Trash	ENVIRONMENTAL YARD: REFRIGERATOR IS STORED OUTSIDE THE RESIDENCE.	10/11/2012				
Garden City	12-002425	10/26/20121706 Third		Debris/Trash	ENVIRONMENTAL YARD: PILES OF ROOFING DEBRIS, TREE BRANCHES, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/11/2012	10/29/2012			

Garden City	12-002432	104 North THIRD	2741804026004000	Debris/Trash	ENVIRONMENTAL YARD: MISC BARRELS, SCRAP METAL, SCRAP LUMBER, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/15/2012				
Garden City	12-002434	104 North THIRD	2741804026004000	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/15/2012				
Garden City	12-002435	2316 DEE	2611201001016000	Vehicles	TRUCKS PARKED IN A RESIDENTIAL DISTRICT: CEMMERCIAL TRUCK PARKED IN THE BACK YARD OF THE PROPERTY.	10/15/2012	10/15/2012			
Garden City	12-002441	604 East EDWARDS	2730803015008000	Debris/Trash	ENVIRONMENTAL YARD: TREE BRANCHES, PILE OF EXCAVATED DIRT, PROPANE TANKS, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	10/16/2012				
Garden City	12-002455	2801 8TH			CUP PERMIT-GCBZA 2012-23	10/16/2012				
Garden City	12-002457	1715 KANSAS			LIQUOR LICENSE	10/16/2012				
Garden City	12-002460	912 CAMPUS	2751602004003000		NON-CONFORMING LANDSCAPE	10/17/2012				
Garden City	12-002523	0 SEC 04 24-32	2720402002001010	Weeds	WEEDS TO BE REMOVED: WEEDS EXCEEDING 12 INCHES HIGH ARE OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT OF WAYS.	10/26/2012				
Garden City	12-002532	601 GARDEN CITY	2741801033012000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: MATTRESS DEPOSITED ON THE STREET RIGHT OF WAY NEXT TO THE DUMPSTER.	10/29/2012				
Garden City	12-002535	1201 North THIRD	2730704032018000	Vehicles	VEHICLE NUISANCE: INOPERABLE AND UNREGISTERED VEHICLES PARKED IN THE BACK YARD OF THE PROPERTY. BLACK TOYOTA SEQUOIA TAG# XHW-614 MAROON HONDA ACCCORD	10/30/2012				
Garden City	12-002552	901 SMOKEY HILL	2751601010009000	Red Tag	RED TAG-FIRE DAMAGE	11/1/2012				



MEMORANDUM

DATE: November 16, 2012
TO: Governing Body
FROM: Alex Mestdagh
RE: Construction Update

Engineering Department

Steven F. Cottrell, P.E.,
City Engineer

Alex L. Mestdagh, P.E.
Assistant City Engineer

The following is a progress report on ongoing projects throughout the City:

Schulman Crossing

The concrete paving for the northbound lanes of Lareu Road were completed last week, and the paving of the southbound lanes is scheduled to be completed this coming week. The concrete paving on the east half of Schulman Avenue has been largely completed, and work will soon shift to the west half of Schulman. At this time, Schulman will be reopened at Jennie Barker and closed at US-50/83/400. Local access will be maintained via Jennie Barker.

Bids were opened last week for the second portion of roadway construction, the proposed US-50/83/400 Bypass improvements. Pending Commission approval, work could begin on this project as early as December. The tight schedule of this project has led to a proposed plan that includes closing the US-50/83/400 Bypass from Kansas Avenue to Spruce Street to allow for faster construction. Traffic is proposed to be detoured to Campus Drive during work.

Joe McGraw Street

The new roadway, curb and gutter, and waterline serving the Preferred Cartage property are complete.

South Main Street Reconstruction (Fulton to Maple)

The reconstruction of the center two lanes of Main Street from the railroad to Maple Street was completed last week. Work will shift to the outside lanes through this same area while traffic is maintained on the newly constructed center lanes. Construction will move north of the railroad in early 2013.

Jennie Barker Utility Extension

This extension of a City watermain is nearing complete, and work is ongoing on the sewer extension.

Safe Routes to School Sidewalk Construction

Depending on weather and contractor availability, work on several sidewalk locations may begin in December. The bulk of this project will be constructed in 2013.

Garden City Regional Airport Parking Lot Expansion

Depending on weather and contractor availability, work on the underground portions of this project may begin this winter. Grading and paving work will follow shortly thereafter.

Marriott Hotel Waterline Extension

The watermain construction to serve the new Marriott is underway and should be completed in two to three weeks.

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www.garden-city.org



MEMORANDUM

TO: Governing Body
FROM: Ashley Freburg, Communications Specialist
DATE: November 14, 2012
RE: City of Garden City Communication Update

CITY COMMISSION

DAVID D. CRASE,
Mayor

ROY CESSNA

JOHN DOLL

DAN FANKHAUSER

CHRIS LAW

MATTHEW C. ALLEN
City Manager

MELINDA A. HITZ, CPA
Finance Director

RANDALL D. GRISELL
City Counselor

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Issue

The following is intended to provide members of the Governing Body an update on the performance of the City's communication tools: Bi-Monthly Newsletter, Channel 8, City Website, Facebook Page, and Twitter Feed.

City Website

As indicated in Attachment 1, analytics show that the City's website www.garden-city.org was visited 7,993 times in October, with visitors viewing an average of 3.26 pages per visit. The site received 26,030 page views throughout the month, which was a slight increase over the previous month. The home page (`index.aspx` in analytic data) was once again the most frequently viewed page on the site, with 13,938 page views. Again, the site saw an increase in the number of visits to the jobs page, which was viewed 2,470 times. Other popular pages included Civic Alerts (which features news releases) the search page and the directory.

The search engine Google remains the top referring site, directing 3,746 visitors (46.87% of all visitors) to the site for the month. Another 1,623 visitors (20.31%) logged directly onto the City's website, usually logging on to the homepage, jobs page, civic alerts, the document center, or through the public login. Videos posted on the City Website remain popular. Video of the October Garden City Commission Meetings were viewed an average of 249 times.

The City's website currently has 1,043 registered users. Registered users are those who have created a user login to gain access to certain areas of the site. After creating a login username and password, these users are able to sign up for Notify Me civic alerts and report issues or ask questions using Request Tracker.

An additional function added to the website in August is the ability to view utility bills and make payments online. Since the feature was launched, 70 users have signed up for the option and 132 payments have been received online.

Social Networking

Facebook

Attachment 2 provides the Governing Body an overview of the users and interactions on the City of Garden City's Facebook page during October.

The City of Garden City Facebook Page has 2,533 "Likes" or "Fans." The page also has the potential to reach 549,246 Friends of Fans. Of the users reached through Facebook posts, 1,075 list Garden City as their home. The majority of



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users are female (64 %). The most common age range of our fans is those who are 18-44 years old. Photos remain the most popular posts on the City's Facebook Page. In October, posts regarding Lee Richardson Zoo were also popular.

Twitter

The City's Twitter feed remains a source of information on local government activity for followers. The City currently has 473 Twitter followers. Staff continues to build influence by retweeting and following other organizations that have integrated Twitter into their communications plans. Staff has also worked to increase the frequency of tweets, which regularly regard construction advisories and upcoming meetings and events.

Channel 8

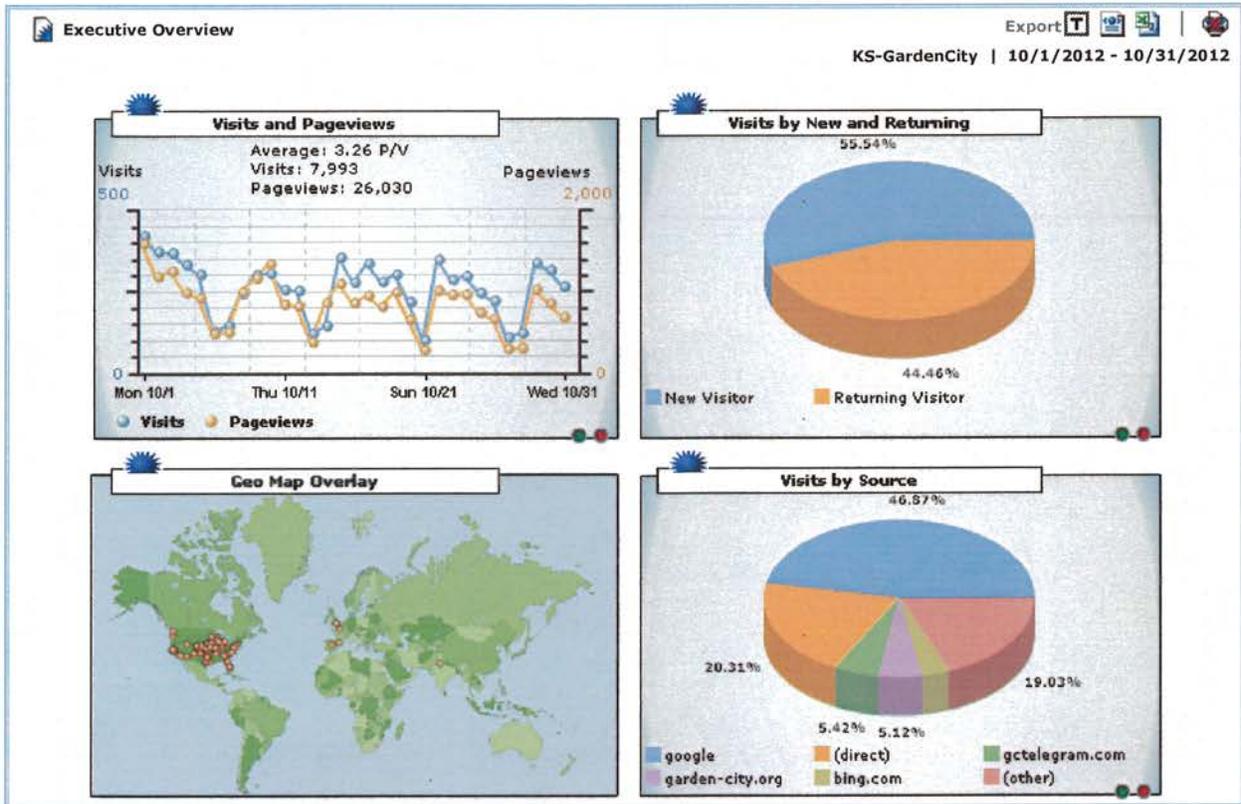
Channel 8 reaches Cox Cable subscribers in Garden City and the surrounding area. Staff continues to work to keep presentations up-to-date and relevant. Channel 8 is being transferred from a 6-year-old PC to a new Mac computer, which should increase its functionality and resolve performance issues. The transfer should allow for a variety of video formats to be used on Channel 8.

City Newsletter

The October/November newsletter was distributed in the October billing cycle. It includes articles on the construction at Schulman Crossing, the Mayor's State of the City Address, the Capital Improvement Plan, and the availability of online utility bill payment. Staff is working on the December/January newsletter, which will be distributed in the December billing cycle.

Recommendation

There is no recommendation. This report was generated for the Governing Body's review.



Help Information

Executive Overview

The four graphics in this report provide a quick snapshot of visits to your site. Shown are:

- the total number of visits and pageviews your site received, the average number of pageviews per visit (P/V), and the number of visits and pageviews over time
- the number of first-time visitors and returning visitors
- the cities from which the most visitors come to your site
- your top referral sources. Examples of referral sources include search engines, newsletters, and referring websites. (direct) indicates visitors who entered your website by typing your URL directly into their browser.

Top 5 Sources				
	Visits	%±	G1/Visit	%±
1. google	3,746	0%	0.00%	0%
2. (direct)	1,623	0%	0.00%	0%
3. gctelegram.com	433	0%	0.00%	0%
4. garden-city.org	409	0%	0.00%	0%
5. bing.com	261	0%	0.00%	0%
Top 5 Keywords				
	Visits	%±	G1/Visit	%±
1. garden city ks	605	0%	0.00%	0%
2. city of garden city ks	369	0%	0.00%	0%
3. garden city kansas	281	0%	0.00%	0%
4. finnap park garden city ks	271	0%	0.00%	0%
5. garden city, ks	69	0%	0.00%	0%
Top 5 Campaigns				
	Visits	%±	G1/Visit	%±
1. (organic)	3,948	0%	0.00%	0%
2. (referral)	2,422	0%	0.00%	0%
3. (direct)	1,623	0%	0.00%	0%

Help Information

Marketing Summary

Have my marketing efforts become more or less effective? This report shows the increase or decrease in visits and conversion rates associated with your top five sources (such as search engines and referral sites), top five keywords, and top five campaigns. Define your starting (earliest) date range on the lower calendar; define your current or ending date range on the upper calendar.

- The first column (Visits) shows the total number of visits referred by particular source, keyword, or campaign during the current date range (upper calendar). The green or red arrows and % numbers indicate the percentage increase or decrease in number of visits, respectively, from the previous date range (lower calendar).
- Subsequent columns show the conversion rates for each goal for the current date range (upper calendar). The green or red arrows and % numbers indicate the percentage increase or decrease in the conversion rate from the earlier date range.

A (direct) source indicates visitors that typed your site URL directly into their browser.

Top 5 Entrances						
	Entrances	%±	Bounces	%±	Bounce Rate	%±
1. /index.aspx	6,369	0%	2,949	0%	46.30%	0%
2. /Jobs.aspx	397	0%	122	0%	30.73%	0%
3. /CivicAlerts.aspx	170	0%	131	0%	77.06%	0%
4. /publiclogin.aspx	113	0%	28	0%	24.78%	0%
5. /DocumentCenterii.aspx	107	0%	91	0%	85.05%	0%
Top 5 Exits						
	Exits	%±	Pageviews	%±	% Exit	%±
1. /index.aspx	5,286	0%	13,938	0%	37.93%	0%
2. /Jobs.aspx	663	0%	2,470	0%	26.84%	0%
3. /CivicAlerts.aspx	355	0%	754	0%	47.08%	0%
4. /DocumentCenterii.aspx	207	0%	277	0%	74.73%	0%
5. /Directory.aspx	132	0%	637	0%	20.72%	0%
Top 5 Content						
	Visits	%±	Pageviews	%±	Avg Time	%±
1. /index.aspx	6,669	0%	13,938	0%	00:01:49	0%
2. /Jobs.aspx	931	0%	2,470	0%	00:00:52	0%
3. /CivicAlerts.aspx	530	0%	754	0%	00:39:29	0%
4. /Search.aspx	376	0%	605	0%	00:00:31	0%
5. /directory.aspx	333	0%	627	0%	00:00:28	0%

Help Information

Content Summary

Has my content become more or less effective at retaining visitors? This report shows whether site entrances, bounce rates, exits, and pageviews have increased or decreased from a previous date range to the current date range. Define your starting (earliest) date range on the lower calendar; define your current or ending date range on the upper calendar.

- The first column (Entrances/Exits/Visits) shows the total number of entrances, exits, and visits for your top five entrance pages, exit pages, and visited pages, respectively, during the current date range (upper calendar). The green or red arrows and % numbers indicate the percentage increase or decrease from the previous date range (lower calendar).
- The second column (Bounces/Pageviews/Pageviews) shows the number of immediate exits (bounces) from your top five entrance pages, and the number of times your top exit pages and most visited pages were viewed during the current date range (upper calendar). The green or red arrows and % numbers indicate the percentage increase or decrease from the previous date range.
- The third column (Bounce Rate/%Exit/Avg Time) shows the bounce rate, the exit rate, and the average visit time for your top five entrance pages, exit pages, and visited pages, respectively, during the current date range. The green or red arrows and % numbers indicate the percentage increase or decrease from the previous



City of Garden City, KS - Lo... Timeline

Liked

Overview Likes Reach Talking About This Check-Ins

10/01/2012 - 10/31/2012

Export Data

See Your Ad Here

<http://ow.ly/fdzp4>
<http://ow.ly/fdzp4>
 2 1

Promote This Story

Create Page

People Who Like Your Page (Demographics and Location) [See Likes](#)

Gender and Age?

	3% 13-17	11.5% 18-24	18.2% 25-34	12.9% 35-44	10.7% 45-54	5.6% 55-64	2% 65+
Female 64%							
Male 35%	1.9%	7.8%	10.7%	7.2%	4.3%	2%	1.1%

Countries?

- 2,447 United States of America
- 13 Mexico
- 6 Canada
- 5 Brazil
- 3 India
- 3 Philippines
- 3 Germany
- More ▾

Cities?

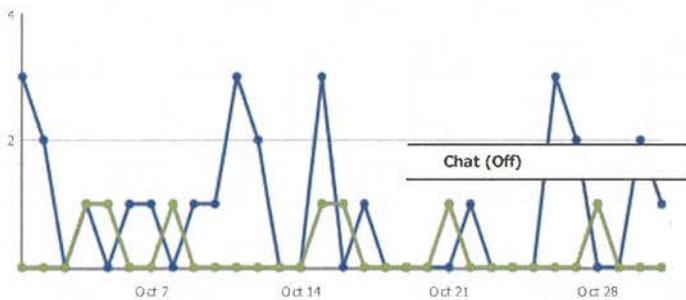
- 1,075 Garden City, KS
- 112 Wichita, KS
- 51 Holcomb, KS
- 44 Topeka, KS
- 40 Lawrence, KS
- 31 Hays, KS
- 29 Kansas City, MO
- More ▾

Languages?

- 2,409 English (US)
- 71 English (UK)
- 22 Spanish
- 5 Arabic
- 4 Spanish (Spain)
- 3 German
- 2 French (France)
- More ▾

Where Your Likes Came From

New Likes? Unlikes?



Like Sources?

- 11 On Page?
- 8 Mobile?
- 3 Timeline?
- 2 Page Browser?
- 1 Facebook Recommendations?
- 1 Search Results?
- 1 On Hover?

You are posting, commenting, and liking as City of Garden City, KS - Local Government - Change to Ashley Freburg



City of Garden City, KS - Lo... Timeline

Liked

Overview Likes Reach Talking About This Check-Ins

10/01/2012 - 10/31/2012

Export Data

Who You Reached (Demographics and Location)

Gender and Age?

Female	56.5%	1.7%	12.9%	16.7%	10.7%	7.2%	4.7%	2.5%
		13-17	18-24	25-34	35-44	45-54	55-64	65+
Male	42.6%	1%	14.5%	14.2%	6.6%	3.4%	1.6%	1.2%

Countries?

- 1,598 United States of America
 - 7 Mexico
 - 6 Brazil
 - 3 Japan
 - 3 Canada
 - 2 Czech Republic
 - 2 Puerto Rico
- More ▾

Cities?

- 549 Garden City, KS
 - 113 Manhattan, KS
 - 74 Wichita, KS
 - 32 Lawrence, KS
 - 31 Hays, KS
 - 26 Topeka, KS
 - 23 Kansas City, MO
- More ▾

Languages?

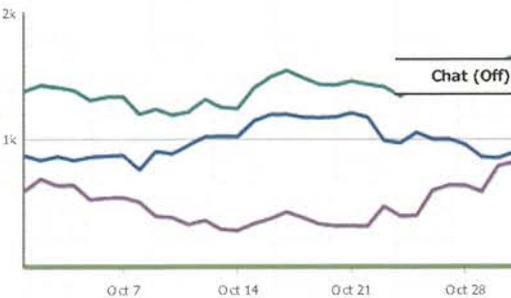
- 1,568 English (US)
 - 45 English (UK)
 - 12 Spanish
 - 4 Portuguese (Brazil)
 - 2 Spanish (Spain)
 - 2 German
 - 1 Latin
- More ▾

How You Reached People (Reach and Frequency)

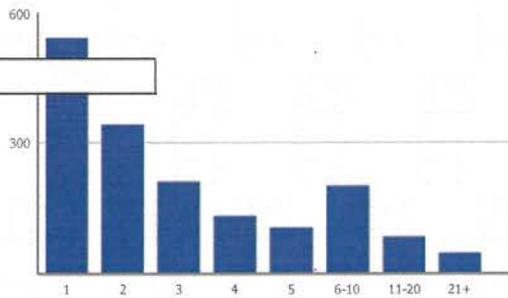
All Page Content

Reach?

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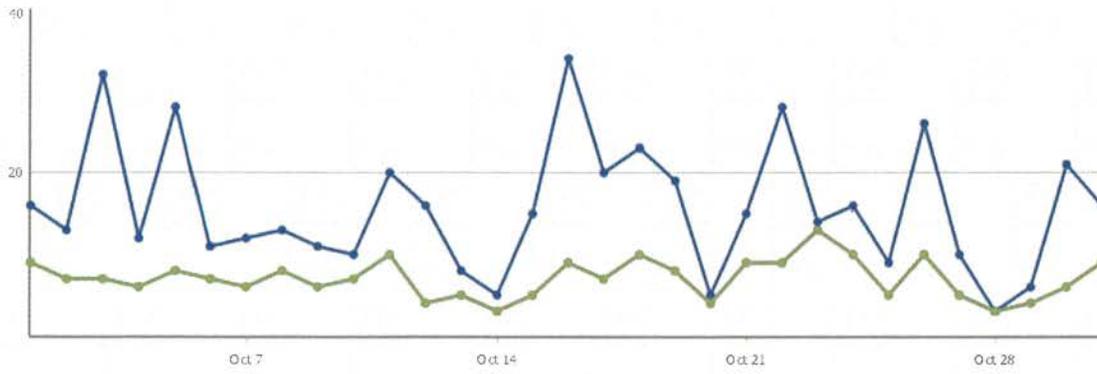


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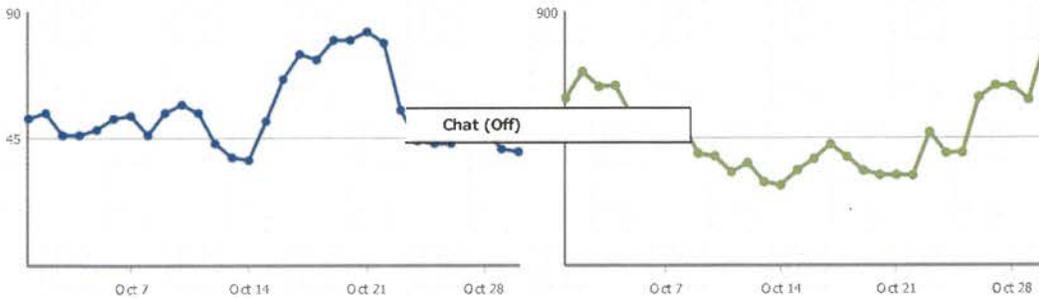
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CONSIDERATION OF APPROPRIATION ORDINANCE

Ordinances & Resolutions

MEMORANDUM

TO: Governing Body
FROM: Sam Curran
DATE: November 12, 2012
SUBJECT: Solid Waste Rate Ordinance

ISSUE

Staff is requesting Governing Body consideration and approval on the proposed ordinance for rate increases for Solid Waste Fees.

BACKGROUND

Staff was directed by the Governing Body to consider the following when developing the proposed rates:

1. Increase Multi-Family Rate to the same level as the Single Family Residential Rate.
2. Implement a two year step-up increase for Multi-Family Rate to meet the Single Family Residential Rate.
3. Create an annual rate increase for all customers.
4. Maintain \$600,000 in the fund balance.

The City's proposed rate increases will begin January 1, 2013 with the first increase of \$3.20 for Multi-Family customers. The second increase of \$3.25 for Multi-Family customers is scheduled to take place January 1, 2014. These combined increases to the Multi-Family customer rate will make the rate equal to the current Single Family Residential rate. The third rate increase (residential \$2.75, multi-family \$2.75, commercial \$3.25) would take place January 1, 2015 for all customers to stabilize the fund balance. The final adjustment to the proposed rates would begin January 1, 2016 with an annual increase to all customers of \$0.50 per year.

Because of the Commercial Rate Chart printed in the ordinance, the City will need to review and approve a similar ordinance ever three years starting January 1, 2017. This will provide an opportunity for staff to evaluate the rates and the fund balance and suggest any changes.

Staff has included the following information for your review:

1. Summary of Rate Increases
2. Proposed Solid Waste Fee Ordinance
3. Reminder letter from Waste Connections Inc.

The reminder letter from Waste Connections Inc. identifies and places the City on notice of the new disposal rate of \$41.17 per ton, which will take effect on January 1, 2013. The current disposal rate at the landfill is \$39.59 per ton.

ALTERNATIVES

1. Approve the proposed Solid Waste Fee Ordinance.
2. Do not approve the Solid Waste Fee Ordinance and provide additional direction for staff.

RECOMMENDATION

Staff recommends Governing Body consideration and approval of Solid Waste Fee Ordinance (Alternative 1).

**Public Works
Solid Waste Division
Summary of Rate Increases**

Customer Description	Past Rates			Proposed Rates Per Year											
	2001	2009	2010	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Residential	\$ 11.50	\$ 14.90	\$ 19.25	\$ 19.25	\$ 19.25	\$ 19.25	\$ 22.00	\$ 22.50	\$ 23.00	\$ 23.50	\$ 24.00	\$ 24.50	\$ 25.00	\$ 25.50	\$ 26.00
Multi-Family	\$ 7.40	\$ 9.90	\$ 12.80	\$ 12.80	\$ 16.00	\$ 19.25	\$ 22.00	\$ 22.50	\$ 23.00	\$ 23.50	\$ 24.00	\$ 24.50	\$ 25.00	\$ 25.50	\$ 26.00
Commercial	\$ 7.10	\$ 9.25	\$ 12.00	\$ 12.00	\$ 12.00	\$ 12.00	\$ 15.25	\$ 15.75	\$ 16.25	\$ 16.75	\$ 17.25	\$ 17.75	\$ 18.25	\$ 18.75	\$ 19.25

NOTES: Planned Year for Landfill Rate Increase

Proposed Increases

- 1) 2013 - Increase Multi-Family by \$3.20
- 2) 2014 - Increase Multi-Family by \$3.25
- 3) 2015 - Increase All Customers to stabilize the reserves, Residential by \$2.75, Multi-Family by \$2.75, Commercial by \$3.25
- 4) 2016 - Annual Increase of \$0.50/year for all customers

(Published in the Garden City Telegram on the ____ day of _____, 2012)

ORDINANCE NO. _____-2012

AN ORDINANCE REGULATING FEES PERTAINING TO SOLID WASTE COLLECTION IN THE CITY OF GARDEN CITY, KANSAS; AMENDING CODE SECTION 74-37; REPEALING CURRENT CODE SECTION 74-37; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED by the Governing Body of the City of Garden City, Kansas:

SECTION 1. Section 74-37 of the Code of Ordinances of the City of Garden City, Kansas, is hereby amended to read as follows:

Section 74-37. Fees.

The charges to be assessed and paid by a customer for collection, hauling and disposal of refuse shall be as follows:

(a) *Residential.* The charges for each residential unit shall be billed per month in accordance with the billing rules established by ordinance for payment of utility bills. Residential units utilizing the individual roll-out refuse containers shall be considered residential, and shall be billed accordingly.

Yearly Fees (Residential)

2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
\$19.25	\$19.25	\$22.00	\$22.50	\$23.00	\$23.50	\$24.00	\$24.50	\$25.00	\$25.50	\$26.00

Those residential units requesting additional individual roll-out refuse containers shall be charged an additional fee per month per each additional refuse container, and shall be billed accordingly.

Additional Poly Refuse Container Fees (Residential)

2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
\$9.60	\$9.60	\$11.00	\$11.00	\$11.00	\$11.00	\$13.00	\$13.00	\$13.00	\$13.00	\$13.00

(b) *Multiple Family.* The charges for each multi-family unit shall be billed per month in accordance with the billing rules established by ordinance for payment of utility bills. Multi-family units utilizing the individual roll-out refuse containers shall be considered residential, and shall be billed accordingly.

Yearly Fees (Multi-family)

2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
\$16.00	\$19.25	\$22.00	\$22.50	\$23.00	\$23.50	\$24.00	\$24.50	\$25.00	\$25.50	\$26.00

Those multi-family units requesting additional individual roll-out refuse containers shall be charged an additional fee per month per each additional refuse container, and shall be billed accordingly.

Additional Poly Refuse Container Fees (Multi-family)

2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
\$9.60	\$9.60	\$11.00	\$11.00	\$11.00	\$11.00	\$13.00	\$13.00	\$13.00	\$13.00	\$13.00

(c) *Commercial.* The charges to be paid by each commercial unit for the collection, hauling and disposal of refuse shall be billed per month per cubic yard collected weekly in accordance with the following schedule of charges:

Fee Chart for 2013 and 2014

Container Capacity (cu. yd.)	Collections Per Week					
	1	2	3	4	5	6
1	\$ 12.00	\$ 24.00	\$ 36.00	\$ 48.00	\$ 60.00	\$ 72.00
1.5	\$ 18.00	\$ 36.00	\$ 54.00	\$ 72.00	\$ 90.00	\$ 108.00
2	\$ 24.00	\$ 48.00	\$ 72.00	\$ 96.00	\$ 120.00	\$ 144.00
3	\$ 36.00	\$ 72.00	\$ 108.00	\$ 144.00	\$ 180.00	\$ 216.00
4.5	\$ 54.00	\$ 108.00	\$ 162.00	\$ 216.00	\$ 270.00	\$ 324.00
6	\$ 72.00	\$ 144.00	\$ 216.00	\$ 288.00	\$ 360.00	\$ 432.00
9	\$ 108.00	\$ 216.00	\$ 324.00	\$ 432.00	\$ 540.00	\$ 648.00
12	\$ 144.00	\$ 288.00	\$ 432.00	\$ 576.00	\$ 720.00	\$ 864.00
15	\$ 180.00	\$ 360.00	\$ 540.00	\$ 720.00	\$ 900.00	\$ 1,080.00
18	\$ 216.00	\$ 432.00	\$ 648.00	\$ 864.00	\$ 1,080.00	\$ 1,296.00
21	\$ 252.00	\$ 504.00	\$ 756.00	\$ 1,008.00	\$ 1,260.00	\$ 1,512.00
27	\$ 324.00	\$ 648.00	\$ 972.00	\$ 1,296.00	\$ 1,620.00	\$ 1,944.00
33	\$ 396.00	\$ 792.00	\$ 1,188.00	\$ 1,584.00	\$ 1,980.00	\$ 2,376.00

Fee Chart for 2015

Container Capacity (cu. yd.)	Collections Per Week					
	1	2	3	4	5	6
1	\$ 15.25	\$ 30.50	\$ 45.75	\$ 61.00	\$ 76.25	\$ 91.50
1.5	\$ 22.88	\$ 45.75	\$ 68.63	\$ 91.50	\$ 114.38	\$ 137.25
2	\$ 30.50	\$ 61.00	\$ 91.50	\$ 122.00	\$ 152.50	\$ 183.00
3	\$ 45.75	\$ 91.50	\$ 137.25	\$ 183.00	\$ 228.75	\$ 274.50
4.5	\$ 68.63	\$ 137.25	\$ 205.88	\$ 274.50	\$ 343.13	\$ 411.75
6	\$ 91.50	\$ 183.00	\$ 274.50	\$ 366.00	\$ 457.50	\$ 549.00
9	\$ 137.25	\$ 274.50	\$ 411.75	\$ 549.00	\$ 686.25	\$ 823.50
12	\$ 183.00	\$ 366.00	\$ 549.00	\$ 732.00	\$ 915.00	\$ 1,098.00
15	\$ 228.75	\$ 457.50	\$ 686.25	\$ 915.00	\$ 1,143.75	\$ 1,372.50
18	\$ 274.50	\$ 549.00	\$ 823.50	\$ 1,098.00	\$ 1,372.50	\$ 1,647.00
21	\$ 320.25	\$ 640.50	\$ 960.75	\$ 1,281.00	\$ 1,601.25	\$ 1,921.50
27	\$ 411.75	\$ 823.50	\$ 1,235.25	\$ 1,647.00	\$ 2,058.75	\$ 2,470.50
33	\$ 503.25	\$ 1,006.50	\$ 1,509.75	\$ 2,013.00	\$ 2,516.25	\$ 3,019.50

Fee Chart for 2016

Container Capacity (cu. yd.)	Collections Per Week					
	1	2	3	4	5	6
1	\$ 15.75	\$ 31.50	\$ 47.25	\$ 63.00	\$ 78.75	\$ 94.50
1.5	\$ 23.63	\$ 47.25	\$ 70.88	\$ 94.50	\$ 118.13	\$ 141.75
2	\$ 31.50	\$ 63.00	\$ 94.50	\$ 126.00	\$ 157.50	\$ 189.00
3	\$ 47.25	\$ 94.50	\$ 141.75	\$ 189.00	\$ 236.25	\$ 283.50
4.5	\$ 70.88	\$ 141.75	\$ 212.63	\$ 283.50	\$ 354.38	\$ 425.25
6	\$ 94.50	\$ 189.00	\$ 283.50	\$ 378.00	\$ 472.50	\$ 567.00
9	\$ 141.75	\$ 283.50	\$ 425.25	\$ 567.00	\$ 708.75	\$ 850.50
12	\$ 189.00	\$ 378.00	\$ 567.00	\$ 756.00	\$ 945.00	\$ 1,134.00
15	\$ 236.25	\$ 472.50	\$ 708.75	\$ 945.00	\$ 1,181.25	\$ 1,417.50
18	\$ 283.50	\$ 567.00	\$ 850.50	\$ 1,134.00	\$ 1,417.50	\$ 1,701.00
21	\$ 330.75	\$ 661.50	\$ 992.25	\$ 1,323.00	\$ 1,653.75	\$ 1,984.50
27	\$ 425.25	\$ 850.50	\$ 1,275.75	\$ 1,701.00	\$ 2,126.25	\$ 2,551.50
33	\$ 519.75	\$ 1,039.50	\$ 1,559.25	\$ 2,079.00	\$ 2,598.75	\$ 3,118.50

* The following will be a minimum charge per month for any commercial account.

2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
\$12.00	\$12.00	\$15.25	\$15.75	\$16.25	\$16.75	\$17.25	\$17.75	\$18.25	\$18.75	\$19.25

(c) *Administrative fee.* There will be an additional charge of \$15.00 for customers requesting a change of service.

(d) *Special collection.* The charges for the collection of items of refuse excluded from the definition of trash in section 74-1, and the regular collection of refuse by the city, shall be fixed in accordance with the following schedule of charges:

(1) Minimum charge (one container)	\$45.00
(2) Minimum charge for a grouping of two or more containers	\$35.00
(3) Collection requiring labor (per container per hour)	\$60.00
(4) Special Trafficway Rent-A-Truck (per truckload)	\$30.00
(5) Special clean-up charge for Poly-Karts (per hour)	\$15.00

SECTION 2. Section 74-37 of the Code of Ordinances of the City of Garden City, Kansas, is hereby repealed, to be replaced as specified in this ordinance.

SECTION 3. This ordinance shall take effect and be in force from and after January 1, 2013, and after its publication in the Garden City Telegram.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, the _____ day of _____, 2012.

DAVID D. CRASE, Mayor

ATTEST:

CELYN N. HURTADO
City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Attorney



WASTE CONNECTIONS INC.
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FINNEY COUNTY LANDFILL
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WESTERN PLAINS REGIONAL LANDFILL

November 21, 2011

City of Garden City
Sam Curran
Public Works Director
301 N. 8th St.
Garden City, Ks 67846

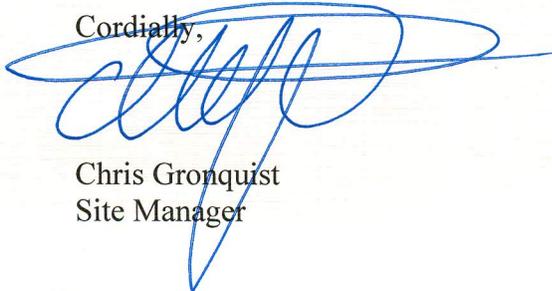
RE: CPI Increase

Valued Customer,

The purpose of this letter is a reminder of a rate increase outlined in the established contract. This will take effect on January 1st, 2013 increasing your disposal rate to \$41.17 per ton. I appreciate the opportunity to continue servicing the City of Garden City.

Please feel free to contact me with any questions.

Cordially,



Chris Gronquist
Site Manager

(Published in The Garden City Telegram on the _____ day of _____, 2012)

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE REMOVAL OF NUISANCE CONDITIONS FROM THE PROPERTY LISTED BELOW IN THE CITY OF GARDEN CITY, KANSAS, PURSUANT TO SECTION 38-139 OF THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

WHEREAS, the Governing Body of the City of Garden City has declared it unlawful for any person to maintain nuisance conditions on private property within the City of Garden City, and

WHEREAS, the resident and/or owners of the private property at the address listed herein have been notified pursuant to Section 38-137 of the Environmental Code of Ordinances and have neither abated the nuisance conditions nor requested a hearing before the Governing Body.

NOW THEREFORE, BE IT RESOLVED by the Governing Body of the City of Garden City, Kansas:

SECTION 1. Ten (10) days after passage of this Resolution, and after notification of person in violation by one of the methods prescribed in Section 38-139, the Public Officer is hereby authorized to abate the following nuisance conditions:

104 N. 3rd-misc barrels, scrap metal, scrap lumber, misc junk, trash, litter, and debris on property

SECTION 2. The abatement costs incurred by the City shall be charged against the lot or parcel of ground on which the nuisance is located.

PASSED AND APPROVED by the Governing Body of the City of Garden City, Kansas, on this 20th day of November, 2012.

David D. Crase, MAYOR

ATTEST:

Celyn N. Hurtado, CITY CLERK





Old Business



CITY COMMISSION

DAVID D. CRASE,
Mayor

ROY CESSNA

JOHN DOLL

DAN FANKHAUSER

CHRIS LAW

MATTHEW C. ALLEN
City Manager

MELINDA A. HITZ, CPA
Finance Director

RANDALL D. GRISELL
City Counselor

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MEMORANDUM

TO: Governing Body

THRU: Matt Allen, City Manager

FROM: Mike Muirhead, Public Utilities Director

DATE: November 5, 2012

RE: Power Supply Options

ISSUE:

After learning about the 6% rate increase for 2012 with additional rate increases scheduled for 2013 and 2014 from Wheatland Electric Cooperatives CEO, Neil Norman on December 9, 2011, and a subsequent meeting with Sunflower Electric Corporation CEO, Stuart Lowery and staff on December 14, 2011, the City Commission directed staff to explore possible options for power supply and report the findings back to the City Commission for consideration. The following is a report on the wholesale power supply analysis for Garden City, including a municipal power generation option.

BACKGROUND:

The City of Garden City has had an all requirements power contract with Wheatland Electric Cooperative (WEC) since January, 2009. This contract was for a 5-year period with two automatic 5-year extensions. Garden City is currently in its fourth year of the initial 5-year period and notification to WEC to terminate the existing contract, if so desired, must take place on or before December 31, 2012.

A request for proposals (RFP) for power supply resources (capacity and energy) was sent to 39 power supply providers with in a 5-state area in February 2012. Sixteen proposals were received and evaluated with the top four proposals receiving an in-depth analysis. Wheatland Electric and Sunflower Electric were both sent the RFP; however, neither responded to the request.

The top two proposals required power to be transmitted into the Southwestern Power Pool (SPP) from outside the SPP control area to Garden City. As a result, a transmission study was necessary and completed by SPP indicating that an adequate transmission system (to have power delivered to Garden City) would not be in place until sometime between 2016 – 2017 and would require a substantial investment (\$8 -\$15 million) from Garden City for the necessary transmission system improvements.

Garden City, as a member of the Kansas Municipal Energy Agency (KMEA) in conjunction with KMEA started the analysis (some aspects are still underway) to have KMEA become Garden City's power provider. This included joining the KMEA EMP2 group (cities with self-generation) utilizing the day 2 marketplace starting in 2014 and the installation of intermediate and peaking generation in Garden City. A Delivery Point Transfer (DPT) was filed with the SPP (transfer approximately 25 MW of EMP2



CITY COMMISSION

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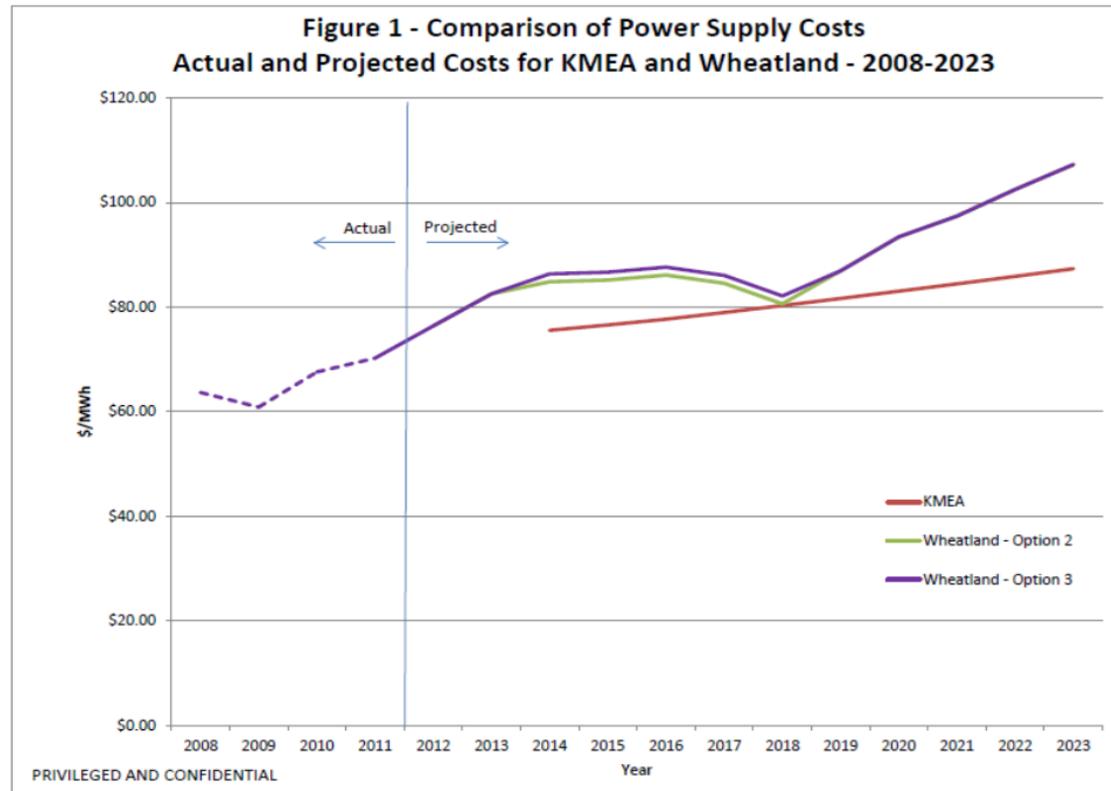
generation to Garden City) and a Garden City Peaking Generation Study (27 MW) was completed by SEGA Engineering in November.

Garden City continued (and continues today) to have discussions with Wheatland Electric / Sunflower Electric on their projected rates and how it will impact Garden City. On October 31, 2012 Wheatland Electric/ Sunflower Electric revised their 2102 rate projections and offered Garden City three options for consideration.

- Option #1 included the possibility of a 25 MW equity ownership in the MKEC Rubart gas generation project. However, in this option, the 25 MW could not be used to offset Garden City’s power needs, and it required a 20 year all requirements contract. Note – There is no way to project what the additional costs or benefits would be in equity ownership in the Rubart gas generation project.
- Option #2 was a renegotiated 15 year all requirements contract.
- Option #3 was to maintain the existing agreement for an additional 5-year term through December 31, 2018.

Attached is a graph illustrating what impact three options (KMEA and Wheatland /Sunflower’s two options) would have on Garden City. The graph is depicted as cost per MWh (Megawatt Hours) then extrapolated out based upon Garden City’s current and projected power supply needs. General Reference - MWh - Megawatt hour- is the measurement of 1 million watts of power consumed in one hour.

Also, the City retained JK Energy Consulting LLC (JKEC) from Lincoln Nebraska to provide an independent review of the KMEA resource portfolio and compare its projected costs to the two WEC options. JKEC’s report is attached in addition to the SEGA generation report performed for KMEA.





CITY COMMISSION

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City Manager

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Finance Director

RANDALL D. GRISELL
City Counselor

Alternatives:

1. Extend existing wholesale power supply (all requirements) contract with Wheatland Electric Cooperative for an additional 5-year period ending December 31, 2018
2. Terminate the existing all requirements contract with Wheatland Electric Cooperative and pursue negotiations with Wheatland / Sunflower and KMEA for the next 30 days reporting back to the City Commission on January 2, 2013 for direction on which power supplier to pursue.

Fiscal Notes:

Table __
Comparison of Power Supply Options
Ten Year Power Costs

Year	Annual Power Cost (\$) (1)			KMEA Inc / (Dec) from	
	Option 2	Option 3	KMEA-EMP2	Option 2	Option 3
2014	25,865,674	26,322,934	23,041,000	(2,824,674)	(3,281,934)
2015	26,301,029	26,764,184	23,653,000	(2,648,029)	(3,111,184)
2016	26,943,438	27,412,509	24,298,000	(2,645,438)	(3,114,509)
2017	26,609,848	27,081,877	24,851,000	(1,758,848)	(2,230,877)
2018	25,536,511	26,011,520	25,432,000	(104,511)	(579,520)
2019	27,708,791	27,708,791	26,026,784	(1,682,007)	(1,682,007)
2020	29,968,667	29,968,667	26,635,673	(3,332,995)	(3,332,995)
2021	31,443,097	31,443,097	27,259,079	(4,184,018)	(4,184,018)
2022	33,299,181	33,299,181	27,897,430	(5,401,751)	(5,401,751)
2023	35,063,395	35,063,395	28,550,902	(6,512,493)	(6,512,493)
Total	288,739,631	291,076,156	257,644,868	(31,094,763)	(33,431,288)

Notes:

(1) Annual Power Cost including transmission service.

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JOHN A. KRAJEWSKI, P.E.



4727 North 26th Street, Suite A
Lincoln, NE 68521

Cell: 402-440-0227
Fax: 402-438-4322

E-mail: jk@jkenergyconsulting.com
www.jkenergyconsulting.com

November 15, 2012

Mike Muirhead
City of Garden City
PO Box 998
Garden City, KS 67846

PRIVILEGED AND CONFIDENTIAL

RE: Power Supply Evaluation

Dear Mike:

JK Energy Consulting, LLC (JKEC) is pleased to submit this letter report to the City of Garden City (City) summarizing the comparison of power costs between Wheatland Electric Cooperative (WEC) and the Kansas Municipal Energy Agency (KMEA). This letter summarizes the methodology, economic comparison, non-economic factors, conclusions, and recommendations.

Background

The City currently serves approximately 11,600 electric customers. Its total annual energy requirements are approximately 269,285 MWh and its historical capacity requirements are approximately 67 MW. The City purchases 2.3 MW of capacity and associated energy from Western Area Power Administration (Western).

The City currently purchases its total power supply requirements from Western and WEC. The City's agreement with Western is in effect until December 31, 2024, while its current agreement with WEC expires on December 31, 2013. The City expects to continue purchasing capacity and energy from Western for the foreseeable future, depending on specific provisions Western may implement for contract extension. With regard to the expiration of the WEC agreement, there are several power supply options available to the City. JKEC was retained to review these options and provide recommendations. This letter report summarizes the results of that review.

The City solicited proposals from multiple power suppliers in a process administered by Sawvel and Associates, Inc. (Sawvel). The review identified several potential options, including a portfolio of resources developed by KMEA through its Energy Management Project #2 (EMP-2). Sawvel recommended this approach to the City since it provided lower costs than WEC and offered greater control over future resources.

The City retained JKEC to provide an independent review of the KMEA resource portfolio and compare its projected costs to the two WEC options. It is not unusual in evaluating power supply proposals that pre-existing business relationships can occur, since there are relatively few firms that provide these types of evaluations. Occasionally, a pre-existing business relationship can give the appearance of a conflict of interest. Sawvel has provided consulting services to

KMEA at various times over the last 15 years. Although there was no explicit reason to believe there was an actual conflict of interest, the potential for one to exist resulted in a decision to complete an independent evaluation. As stated previously, JKEC does not have any existing or previous business relationship with KMEA, WEC, or Sunflower.

Methodology

The approach to completing the power cost comparison involved completing several tasks. Monthly demand and energy data, along with hourly load data, was collected from the City. This data was summarized and included in a request for proposals (RFP), prepared by Sawvel, for replacing the capacity and energy requirements the City currently purchases from WEC.

The proposals from WEC and KMEA were forwarded to JKEC to be reviewed on an economic basis for the period 2014 through 2018. Additional information that was not available to Sawvel was provided to JKEC under the terms of a mutual non-disclosure agreement. This information included revised budget projections and an additional option that would provide for reduced margins in exchange for a longer contract term. Based on this additional information, rate comparisons were prepared for the period 2014 through 2028.

Non-economic factors were also identified and summarized. A letter report was prepared, including conclusions and recommendations for the City.

Capacity and Energy Requirements

Projected capacity and energy requirements were identified by Sawvel and included in the RFP that was previously issued. Peak demand is projected to increase from 72.3 MW in 2014 to 77.8 MW in 2023. Energy requirements were projected to increase from 304,840 MWh in 2014 to 326,840 MWh in 2023. The forecast appeared to be reasonable based on the existing customer base and projected changes. JKEC did not prepare an independent forecast in preparing this assessment.

Capacity purchase requirements were developed from the demand forecast and took into account Southwest Power Pool (SPP) reserve capacity requirements of 13.6% and the existing firm Western allocation. Since the Western allocation includes capacity reserves, it is not necessary to carry additional reserves for it. Capacity requirements were calculated at 80 MW in 2014, increasing to 83 MW by 2018. Because resources are typically procured in 5 MW increments and to ensure adequate capacity in case of an unusual weather event, the analysis was based on procuring a total of 85 MW throughout the period 2014 through 2018.

Energy purchase requirements take into account projected energy needs, less the annual energy allocation from Western. Energy purchase requirements increase from 298,266 MWh in 2014 to 310,099 MWh in 2018. The City's load factor is approximately 48%, which is typical for municipal utilities with a similar customer base in Kansas. Peak demand needs are heavily impacted by space conditioning needs for residential customers in the summer season, along with

other customer loads that operate year-round. The City has a mix of residential, commercial and industrial customers typical of a municipality its size.

Resource Alternatives

WEC – Option 3 (Existing Arrangement). This option would involve continuing to purchase capacity and energy from WEC through 2018. This option provides for a pass-through of wholesale purchased power costs from Sunflower with an administrative adder of 4 mills/kWh. The Sunflower rate includes SPP transmission at an estimated cost of 7 mills/kWh. A separate direct assignment facility charge is assessed for use of WEC's lower-voltage sub-transmission and transformation facilities at a rate of \$0.75/kW-month, plus 2.5 mills/kWh.

WEC provided a budgetary estimate of future costs under this arrangement in a meeting on November 1, 2012. The projections appear to reasonably reflect Sunflower's projected costs, although there is more uncertainty in future years based on load and resource cost changes.

WEC – Option 2 (15-Year Contract). This option would involve continuing to purchase capacity and energy from WEC through 2028. This arrangement is similar to Option 3, but provides for a decreased administrative adder in 2014 through 2018 of 2.5 mills/kWh. The adder would increase to 4 mills/kWh in 2019 through 2023, and decrease to 3.5 mills/kWh in 2024 through 2028.

KMEA – EMP-2. This option would involve developing a resource portfolio consisting of new peaking capacity, baseload energy purchases, market energy purchases, and integration of the existing Western allocation. This portfolio would become part of the KMEA Energy Management Project #2, which includes several cities located throughout Kansas. This resource portfolio was identified by KMEA and developed in conjunction with Sawvel during the initial power supply evaluation.

New peaking capacity would consist of three combustion turbines with an estimated rating at peak conditions totaling 25 MW. Installation costs and other operating characteristics were developed by Sega, Inc. and presented to KMEA on November 14, 2012. The project would be financed using tax-exempt financing for 30 years. An estimated annual capacity factor of 1% was used, reflecting the relatively high operating costs compared to baseload and other market energy purchases.

Baseload purchase costs were based on existing rates paid by EMP-2 participants. The rates appeared reasonable and consistent with rates paid for baseload capacity in SPP. The analysis included purchases of 20 MW throughout the study period at an 85% annual capacity factor. Total projected energy from the baseload purchase was 148,920 MWh.

Market-based energy purchased would be used to supply remaining energy that is not supplied by baseload purchases or the new peaking capacity. Market-based energy prices were based on projected natural gas costs and a typical heat rate or "spark spread" of 10,000 Btu/kWh. The

projected market prices of energy using this method were somewhat higher than current prices. Using a higher market price is a conservative approach to projecting future power costs of the KMEA EMP-2 proposal.

Market-based capacity would be purchased to supply sufficient capacity to meet SPP reserve capacity requirements, which currently requires a 13.6% capacity reserve margin. Capacity would be purchased from other KMEA members that have excess capacity or from market sources, including other utilities or independent power producers.

Power Cost Evaluation

Rate Projections and Other Factors

The following rate projections and other factors were used to project the City's purchased power costs.

1. A study period of 2014 through 2023 was used. All analyses were completed on a calendar year basis.
2. The load forecast provided in the Sawvel RFP was used to project peak demand and energy requirements.
3. Additional rate projections were prepared for 2024 through 2028. WEC did not provide rate projections beyond 2023; however, the average escalation rate from 2021-2023 was used to project future rate changes for WEC.
4. The discount rate for calculating the net present value (NPV) was 4.5%, based on current long-term debt issuance costs. Using the NPV recognizes the time value of money and provides the best comparison of varying costs over a period of time. This approach places a higher value on savings that occur in the early years.
5. Debt service costs were calculated using a 30-year, tax-exempt financing rate of 5%. Issuance costs of 2% and a debt service reserve fund sized at 7% of the initial debt issuance were used. Earnings on the debt service reserve fund were set at zero based on low interest rates for short-term investments.
6. NPV was calculated in 2014 dollars on a 5-year basis (2014 through 2018).
7. Transmission and sub-transmission rates were projected to remain stable in 2014 through 2023. It is expected these costs would be approximately the same for either supply option, unless the City constructs its own interconnection to avoid WEC's direct assignment facilities.
8. Combustion turbine capital costs and operating characteristics were prepared by Sega, Inc. and presented to KMEA on November 14, 2012.
9. Market-based purchased power costs were based on \$4.00/MMBtu natural gas and a 10,000 Btu/kWh heat rate or "spark spread" to convert the natural gas price to an electrical energy rate. Natural gas prices were escalated 4% annually from 2015 through 2028.
10. Baseload capacity was purchased based on the highest rates paid by the existing KMEA EMP-2 members. This rate was comparable to or higher than rates paid in the SPP market by other entities for similar capacity and energy.

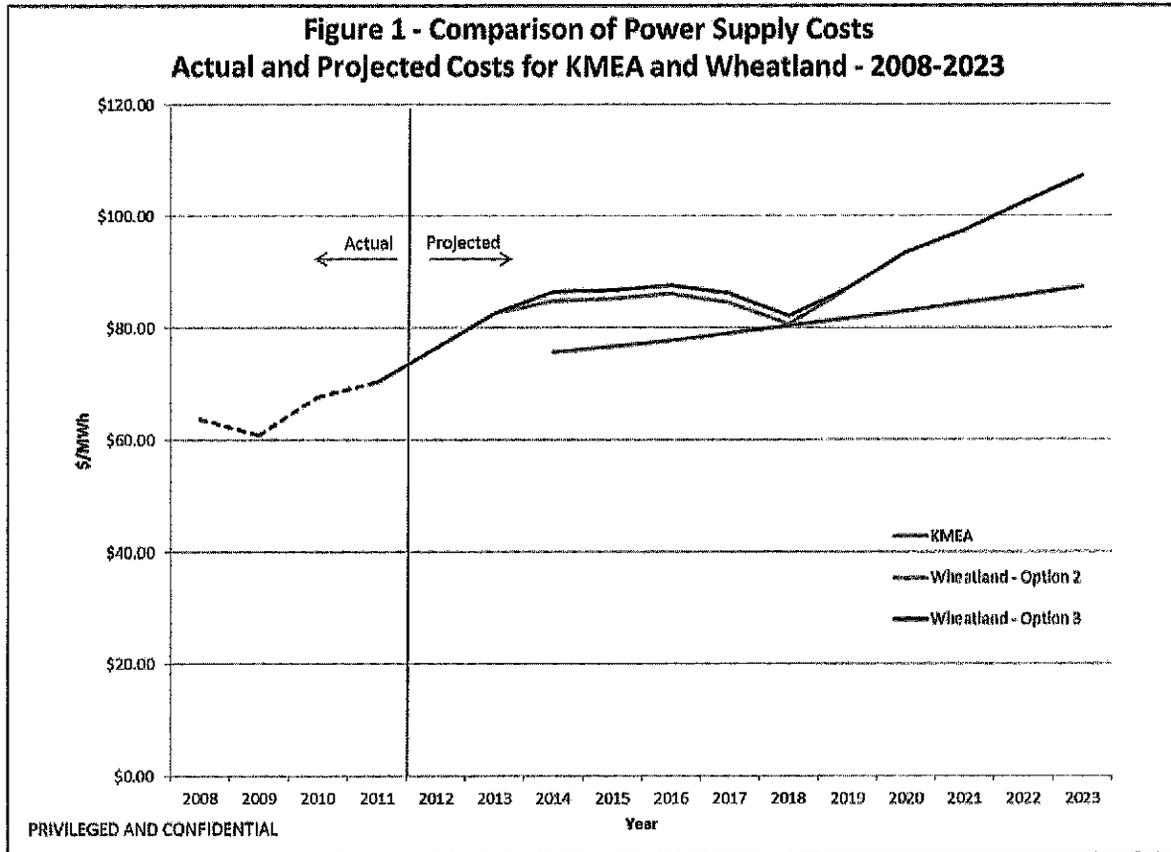
11. Projected annual power costs for KMEA EMP-2 were calculated using a simplified annual energy dispatch model, the results of which are summarized in Appendix A (privileged and confidential).

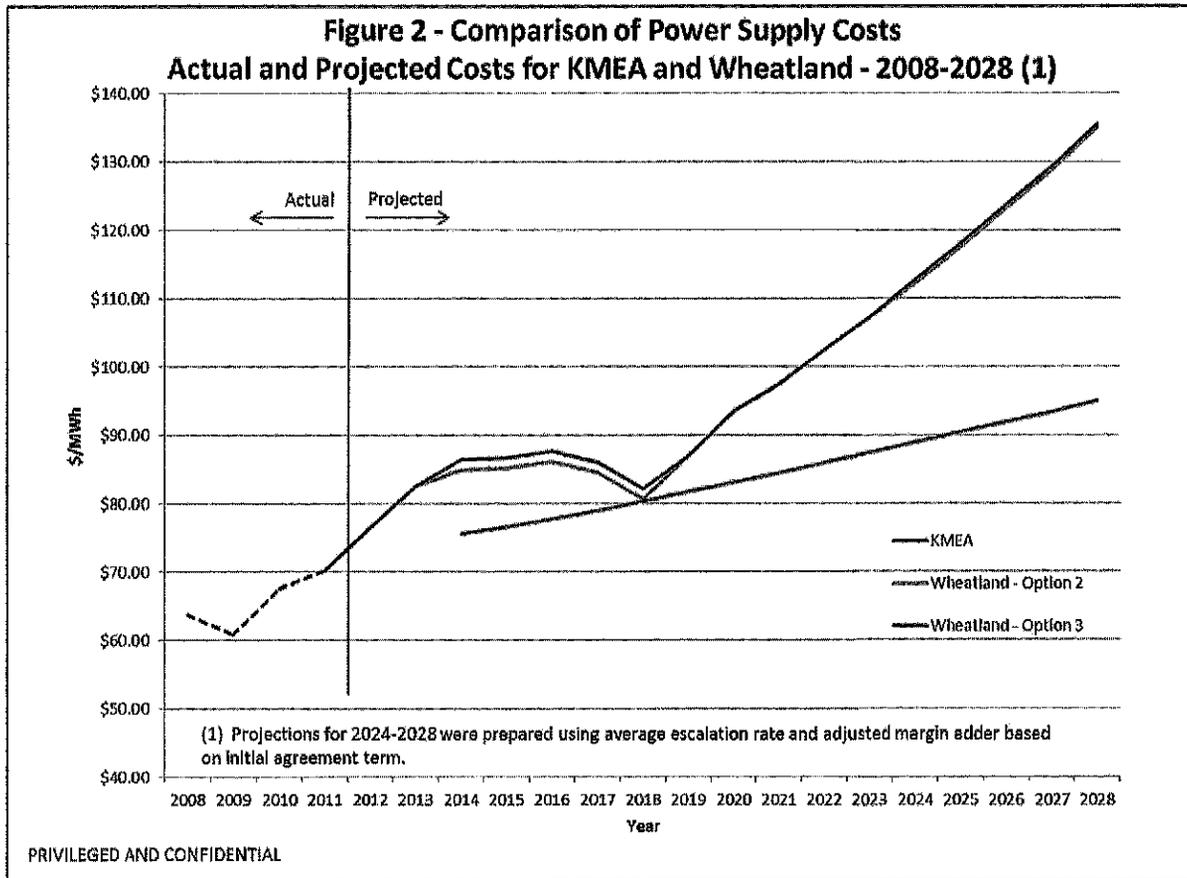
Cost Projections for Resource Options

Table 1 shows the projected costs, in mills/kWh, for the three options. This comparison is shown in graphical form, along with historical actual costs, in Figure 1 (see page 6) for the period 2014 through 2023. Figure 2 (see page 7) shows estimated costs through 2028 based on a projection of costs after 2023 using the average escalation for 2021 through 2023.

Table 1
Projected Costs
KMEA-EMP2 and Wheatland

Year	KMEA-EMP2	Wheatland - Option 2	Wheatland - Option 3
2014	75.58	84.85	86.35
2015	76.60	85.18	86.68
2016	77.70	86.16	87.66
2017	78.97	84.56	86.06
2018	80.31	80.64	82.14
2019	81.67	86.95	86.95
2020	83.06	93.45	93.45
2021	84.47	97.43	97.43
2022	85.90	102.53	102.53
2023	87.35	107.28	107.28





WEC Option 3 costs are projected to increase from 86.35 mills/kWh in 2014 to more than 107 mills/kWh by 2023. By 2028, the projected rate for WEC Option 3 is more than 135 mills/kWh.

WEC Option 2 costs are slightly less than Option 3 in 2014 through 2018 and in 2024 through 2028. Projected cost escalation is similar, but total cost is slightly less based on the reduced administrative adder. The projected cost in 2014 is 84.85 mills/kWh, increasing to more than 107 mills/kWh by 2023. By 2028, the projected rate is slightly less than 135 mills/kWh.

The projected costs for KMEA EMP-2 are 75.58 mills/kWh in 2014, increasing to 87.35 mills/kWh by 2023. Escalation rates are projected to remain relatively stable, though changes in market energy prices could cause short-term fluctuations. With increasing natural gas production from hydraulic fracturing in many parts of the country (including Kansas), long-term natural gas prices are projected to remain relatively stable. Stable natural gas prices, coupled with increased transmission development in SPP and new resource additions, should help stabilize purchased energy prices in the SPP region.

Looking at Figures 1 and 2, it appears that after 2018 there will be a divergence of power costs. WEC is projecting a significant increase in 2019 and 2020, an annual increase of more than 4%

per year in 2021 and beyond. The KMEA EMP-2 portfolio will escalate more slowly. Capital costs are projected to remain stable for the peaking generation project and energy prices will be based largely on natural gas pricing. Projected capital investment needs for items such as emissions control equipment will be negligible since the KMEA EMP-2 does not consist of older baseload coal-fired generation projects that may require costly retrofits under increasingly stringent environmental regulations.

Summary of Economic Comparison

Table 2 summarizes the comparison of annual power costs between Option 3 and the KMEA EMP-2 proposal for 2014 through 2018. Annual savings range from \$3.3 million in 2014 to approximately \$600,000 in 2018. Total power cost savings from the KMEA EMP-2 resource portfolio were estimated at \$12.3 million, with the savings having a NPV in 2014 dollars of \$11.8 million. The projected savings from existing costs were approximately 9.2% on a total cost basis and 9.3% on a discounted NPV basis. Annual savings varied from 12.5% in 2014 to 2.2% in 2018. Although the NPV was not calculated beyond 2018, the savings were projected to increase in 2019 and beyond as the rates for WEC and KMEA EMP-2 diverge as shown in Figures 1 and 2.

Table 2
Comparison of Power Supply Options
Wheatland - Option 3 vs. KMEA-EMP2

Year	Annual Power Cost (\$) (1)		Increase / (Decrease)	
	Wheatland (2)	KMEA-EMP2	(\$)	(%)
2014	26,322,934	23,041,000	(3,281,934)	-12.47%
2015	26,764,184	23,653,000	(3,111,184)	-11.62%
2016	27,412,509	24,298,000	(3,114,509)	-11.36%
2017	27,081,877	24,851,000	(2,230,877)	-8.24%
2018	26,011,520	25,432,000	(579,520)	-2.23%
Total	133,593,024	121,275,000	(12,318,024)	-9.22%
NPV (3)				
2014-18	126,772,249	114,995,561	(11,776,687)	-9.29%

Notes:

- (1) Annual Power Cost including transmission service.
- (2) Option 3, from data provided 11/1/2012, adjusted to include 4.0 mills/kWh adder for 2014-18 under existing rate structure.
- (3) NPV in 2014 dollars based on 4.5% discount rate.

Table 3 summarizes the comparison of annual power costs between Option 2 and the KMEA EMP-2 proposal for 2014 through 2018 based on a 5-year NPV. Annual savings range from \$2.8 million in 2014 to approximately \$100,000 in 2018. Total power cost savings from the KMEA EMP-2 resource portfolio were estimated at \$10.0 million, with the savings having a NPV in 2014 dollars of \$9.6 million. The projected savings from existing costs were approximately 7.6% on a total cost basis and 7.7% on a discounted NPV basis. Annual savings varied from 10.9% in 2014 to 0.4% in 2018.

Table 3
Comparison of Power Supply Options
Wheatland - Option 2 vs. KMEA-EMP2

Year	Annual Power Cost (\$) (1)		Increase / (Decrease)	
	Wheatland (2)	KMEA-EMP2	(\$)	(%)
2014	25,865,674	23,041,000	(2,824,674)	-10.92%
2015	26,301,029	23,653,000	(2,648,029)	-10.07%
2016	26,943,438	24,298,000	(2,645,438)	-9.82%
2017	26,609,848	24,851,000	(1,758,848)	-6.61%
2018	25,536,511	25,432,000	(104,511)	-0.41%
Total	131,256,500	121,275,000	(9,981,500)	-7.60%
NPV (3)				
2014-18	124,555,553	114,995,561	(9,559,992)	-7.68%

Notes:

- (1) Annual Power Cost including transmission service.
- (2) Option 2, based on budget data provided 11/1/2012.
- (3) NPV in 2014 dollars based on 4.5% discount rate.

Table 4 (see page 10) shows the projected annual power costs for Options 2 and 3 from WEC and for the KMEA EMP-2 proposal for the period 2014 through 2023. The 10-year cost of KMEA EMP-2 is at least \$30 million less than the cost of power from WEC, depending on the selected option. There may be opportunities to reduce the cost for the KMEA EMP-2 proposal even further by constructing new interconnection facilities to avoid the use of WEC's facilities. Evaluating costs and benefits of bypassing the WEC direct assignment facilities was beyond the scope of this analysis.

Table 4
Comparison of Power Supply Options
Ten Year Power Costs

Year	Annual Power Cost (\$) (1)			KMEA Inc / (Dec) from	
	Option 2	Option 3	KMEA-EMP2	Option 2	Option 3
2014	25,865,674	26,322,934	23,041,000	(2,824,674)	(3,281,934)
2015	26,301,029	26,764,184	23,653,000	(2,648,029)	(3,111,184)
2016	26,943,438	27,412,509	24,298,000	(2,645,438)	(3,114,509)
2017	26,609,848	27,081,877	24,851,000	(1,758,848)	(2,230,877)
2018	25,536,511	26,011,520	25,432,000	(104,511)	(579,520)
2019	27,708,791	27,708,791	26,026,784	(1,682,007)	(1,682,007)
2020	29,968,667	29,968,667	26,635,673	(3,332,995)	(3,332,995)
2021	31,443,097	31,443,097	27,259,079	(4,184,018)	(4,184,018)
2022	33,299,181	33,299,181	27,897,430	(5,401,751)	(5,401,751)
2023	35,063,395	35,063,395	28,550,902	(6,512,493)	(6,512,493)
Total	288,739,631	291,076,156	257,644,868	(31,094,763)	(33,431,288)

Notes:

(1) Annual Power Cost including transmission service.

Non-Economic Considerations

There are a number of non-economic factors that should be considered. These factors include the reliability of cost projections, reliability of generating resources and control over resource decisions.

The KMEA EMP-2 project involves a mix of purchased power and generating unit ownership. While there are risks associated with generating unit ownership, the City would have greater control over long-term costs and increased stability when compared to purchases from resources that are owned and operated by third parties.

There are always concerns about the reliability of cost projections. The KMEA EMP-2 portfolio is more diverse and includes a combination of fixed price purchases, new construction and market-based purchases. The pricing for these resources is fairly conservative, meaning the costs are somewhat higher than current conditions. This reduces the likelihood of significant increases that would cause the projected cost to be exceeded. The portfolio is dependent on both gas-fired generation and baseload purchases that would likely be coal-fired. This portfolio reduces the risk caused by cost increases that impact only one type of fuel.

One significant risk to the KMEA EMP-2 proposal involves transmission access. The process of requesting firm transmission from SPP can take significant time and effort, along with potential expenses in the form of study expenses and payment for use of facilities that are impacted by the

transmission request. KMEA has been through this process with other members and is familiar with the process. The City should be prepared for what may be a lengthy process that may become contentious. This process may involve use of outside legal counsel and outside consultants to ensure the transmission service request is reviewed promptly and in a manner consistent with FERC guidelines and the SPP tariff.

Conclusions

Based on the information provided and the analysis completed, the following was concluded:

1. The cost projections prepared by KMEA for the various resources included in its resource portfolio appeared reasonable and consistent with current market conditions.
2. Of the options reviewed, developing a portfolio of resources through the KMEA Energy Management Project #2 appeared to offer the lowest cost over the study period.
3. Pursuing power supply resources through KMEA EMP-2 was approximately \$2.8 million less expensive in 2014 than WEC Option 2 and \$3.2 million less expensive than WEC Option 3.
4. Over the 10-year period, 2014 through 2023, KMEA EMP-2 was more than \$30 million less expensive than either option offered by WEC.
5. It may be possible to reduce the cost of delivery service if the existing WEC direct assignment facilities can be bypassed.

Recommendations

Based on the analyses completed and conclusions reached, the following is recommended:

1. The City should provide notice to WEC of its intent to terminate the existing power supply agreement, effective at the end of 2013.
2. The City should aggressively pursue implementation of the KMEA EMP-2 resources identified in this letter, which include:
 - a. Constructing peaking capacity locally
 - b. Purchasing baseload capacity
 - c. Purchasing market-based peaking capacity to cover reserve requirements
 - d. Securing necessary transmission service to integrate these resources with the City's load
3. The City should act promptly to pursue the KMEA EMP-2 plan because of the relatively short time period before the end of the existing agreement and the length of time it can take to secure transmission service through SPP.
4. The City should assess the feasibility of bypassing the WEC direct assignment facilities by constructing its own interconnection to the Sunflower transmission system.

Mike Muirhead
November 15, 2012
Page 12

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JKEC appreciates the opportunity to provide this study for the City. I look forward to answering your questions on this letter and assisting you in implementing its recommendations.

Sincerely yours,

A handwritten signature in black ink, appearing to read "J.A. Krajewski".

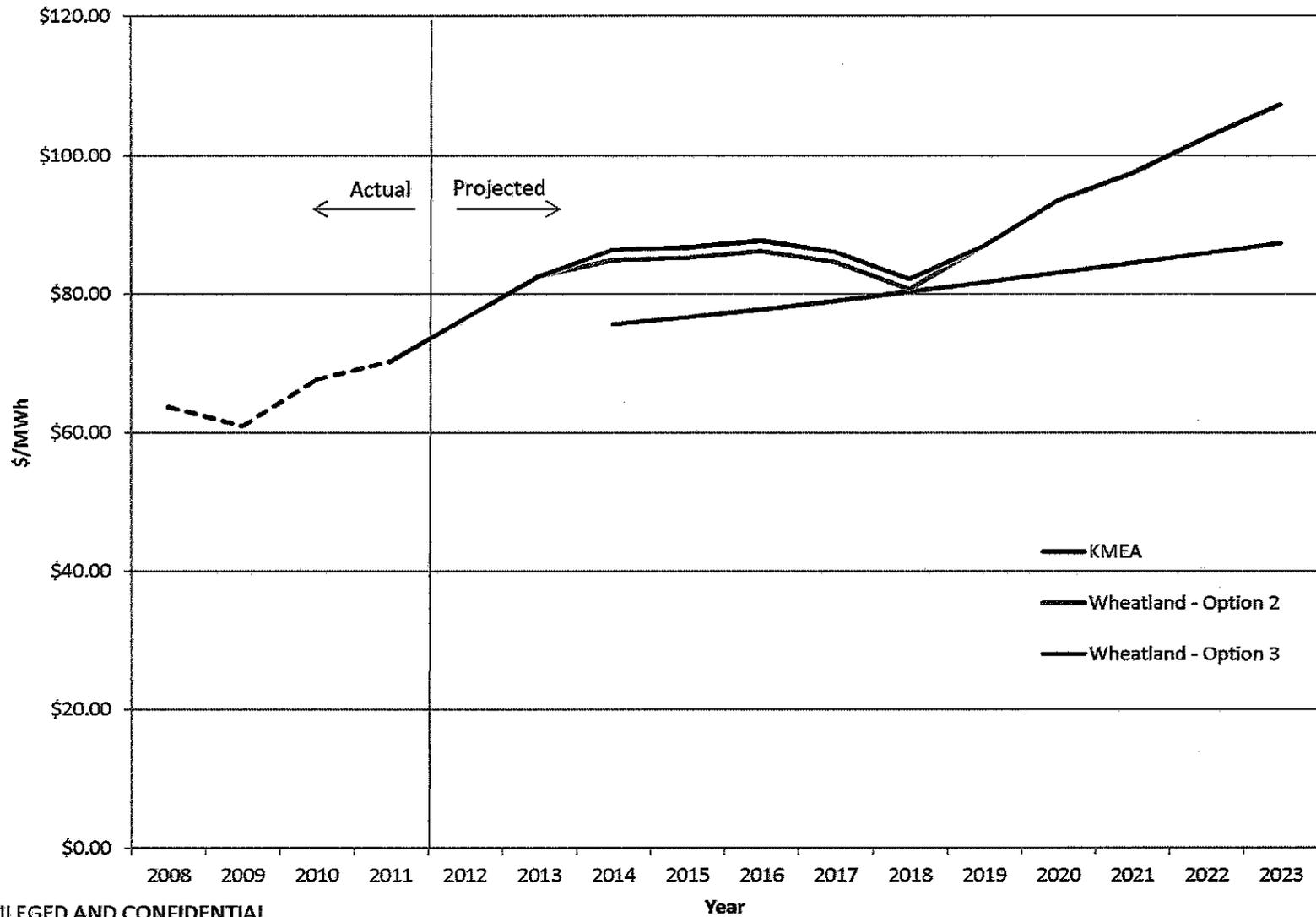
John A. Krajewski, P.E.
JK Energy Consulting, LLC

JAK/kam

Attachment

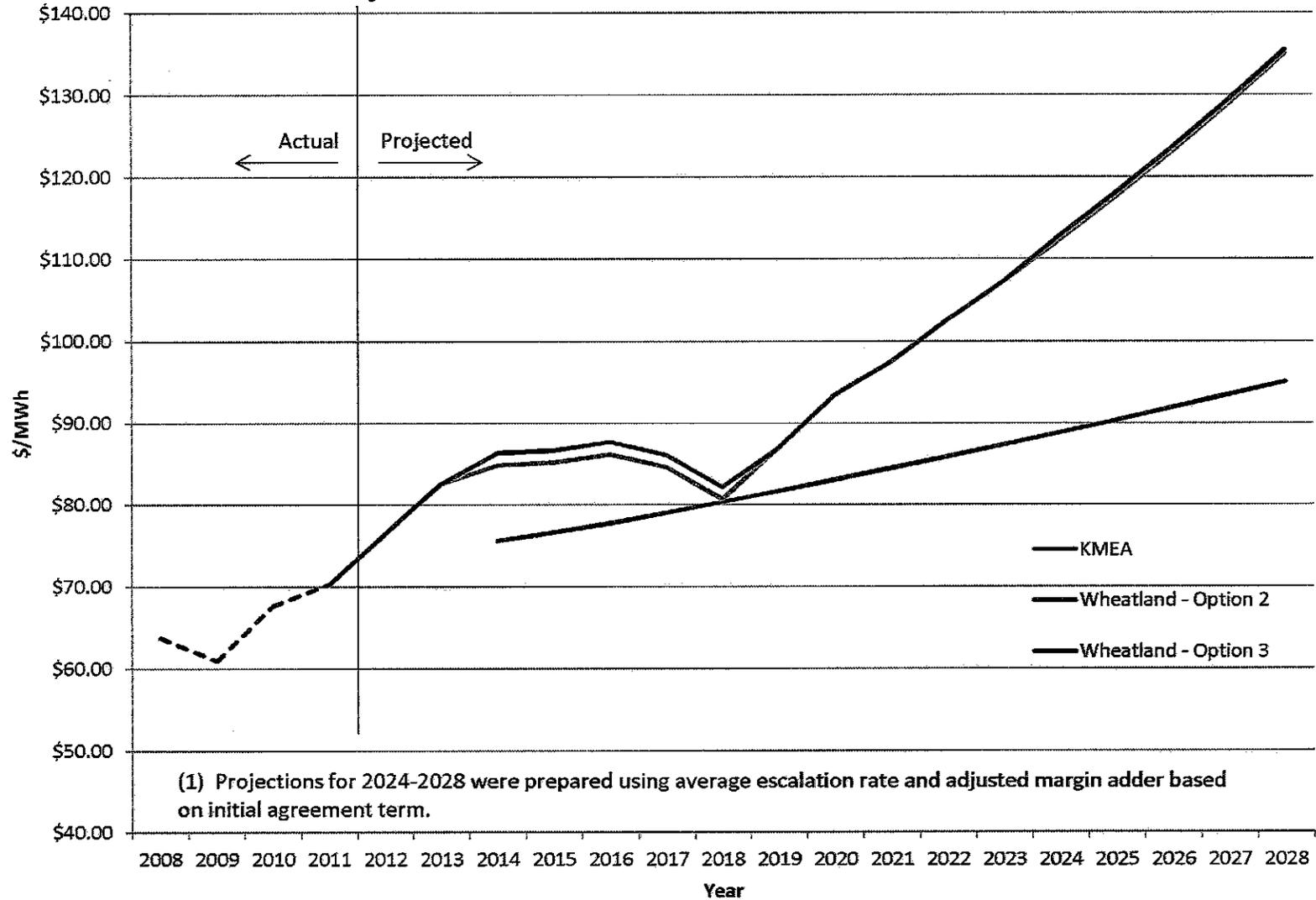
C: Gregg Ottinger

**Figure 1 - Comparison of Power Supply Costs
Actual and Projected Costs for KMEA and Wheatland - 2008-2023**



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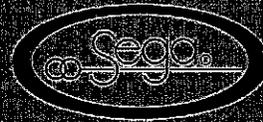
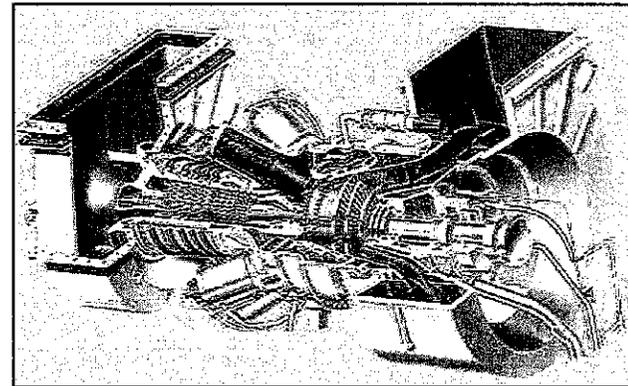
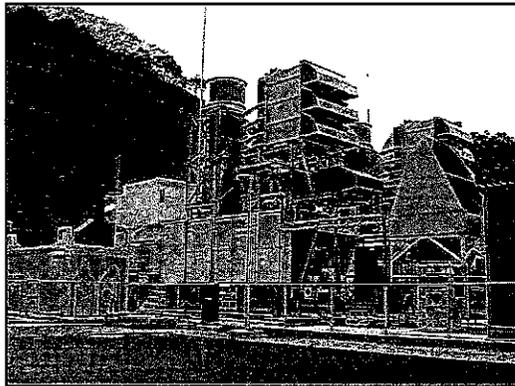
Figure 2 - Comparison of Power Supply Costs
Actual and Projected Costs for KMEA and Wheatland - 2008-2028 (1)



PRIVILEGED AND CONFIDENTIAL



KMEA POWER SUPPLY COMMITTEE
Garden City Peaking Generation Study
Preliminary Report - November 7, 2012



Agenda

Garden City Peaking Generation Study

Chris Rogers, P.E. – Project Manager and Vice President Segal, Inc.

- Project Description
- Gas Turbine Assessment
- Site Assessment
- Preliminary Engineering
- Permitting Strategy
- Cost & Schedule
- Discussion



Project Description

WHO: KMEA

WHAT: 25 MW of Peaking Capacity

WHERE: Sunflower Control Area - Garden City

WHEN: Proven Operation by Nov. 30, 2013

HOW: Procure 3 Siemens Pre-manufactured
Truck-mounted GT Generator Sets;
Contract for Single BOP EPC Install.

COST: Less than \$1,150/kW or \$31.1 Million



Combustion Turbine Assessment

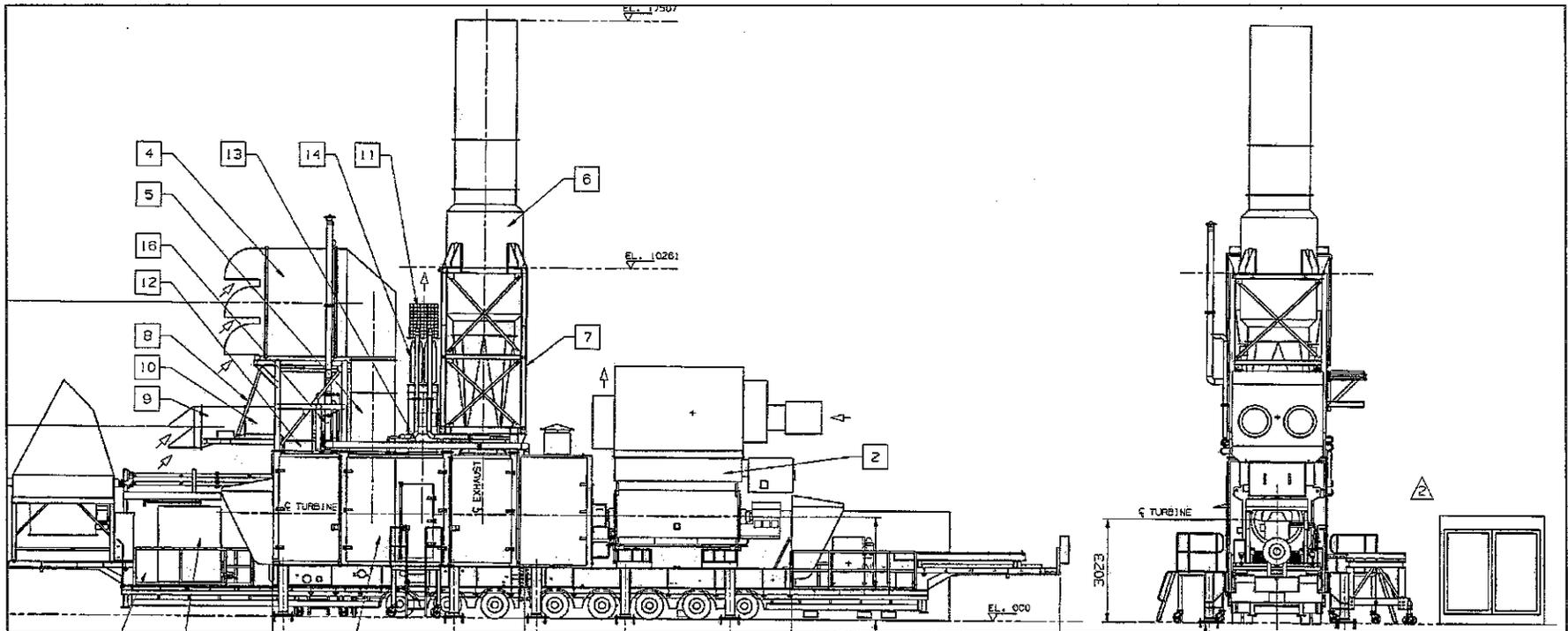
Siemens SGT-400 Mobile Generator Sets

- ISO Rated 12.9 MW at 10,900 Btu/kWh, HHV
- Pre-assembled and Truck-mounted:
 - Generator on 5-axle Trailer
 - Gas Turbine on 2-axle Trailer
 - Containerized Controls and Electrical Gear
 - Interconnecting Piping and Wiring Included
- Standard Price \$9.1 Million plus shipping
- Standard One-year Warranty



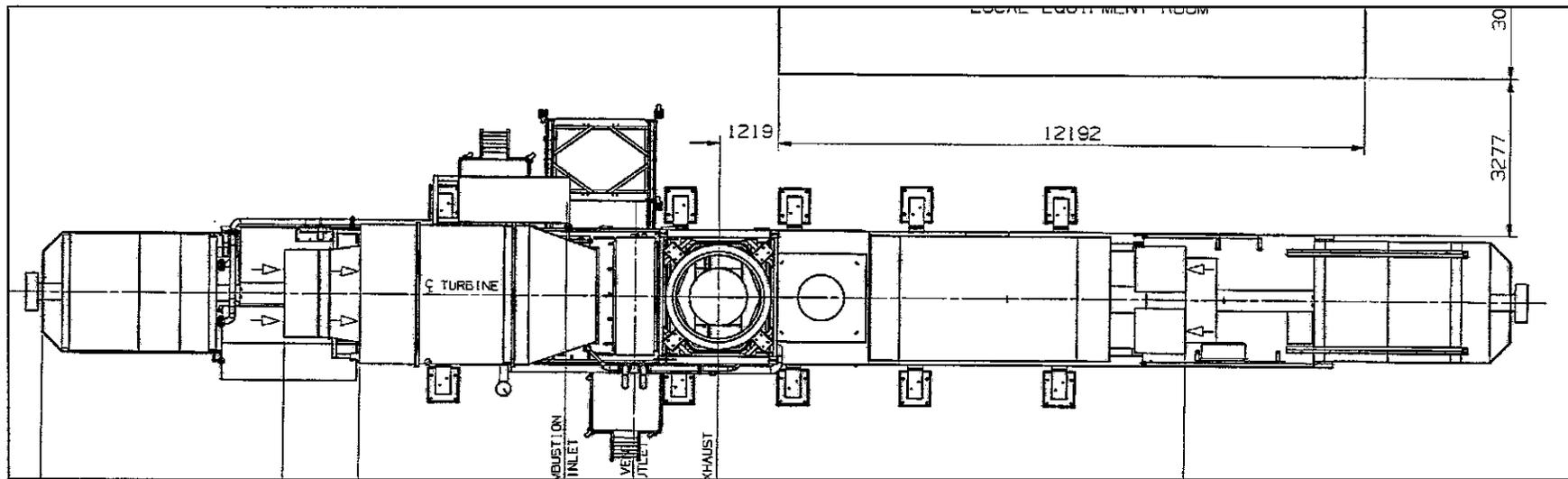
Combustion Turbine Assessment

Side View of Siemens SGT-400 Mobile Generator Set

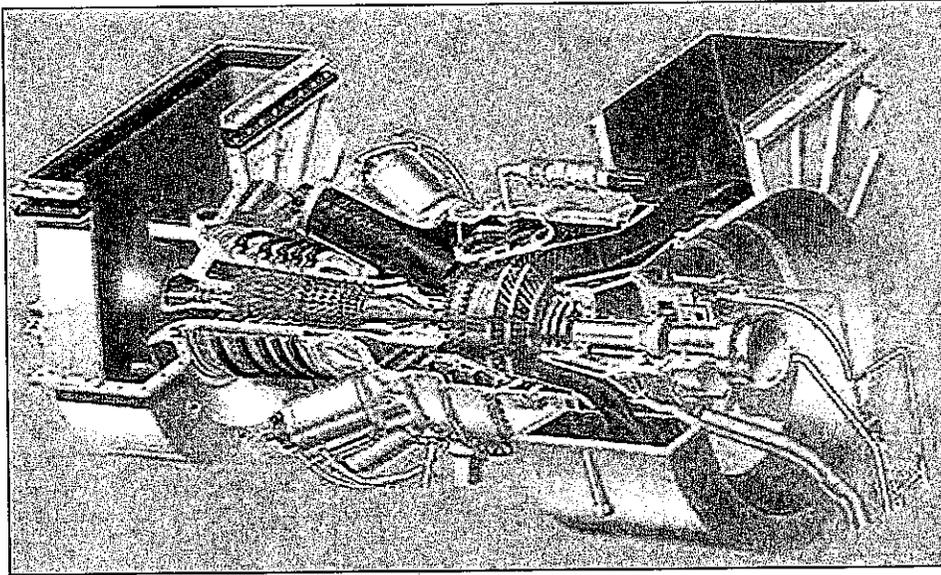


Combustion Turbine Assessment

Plan View of Siemens SGT-400 Mobile Generator Set

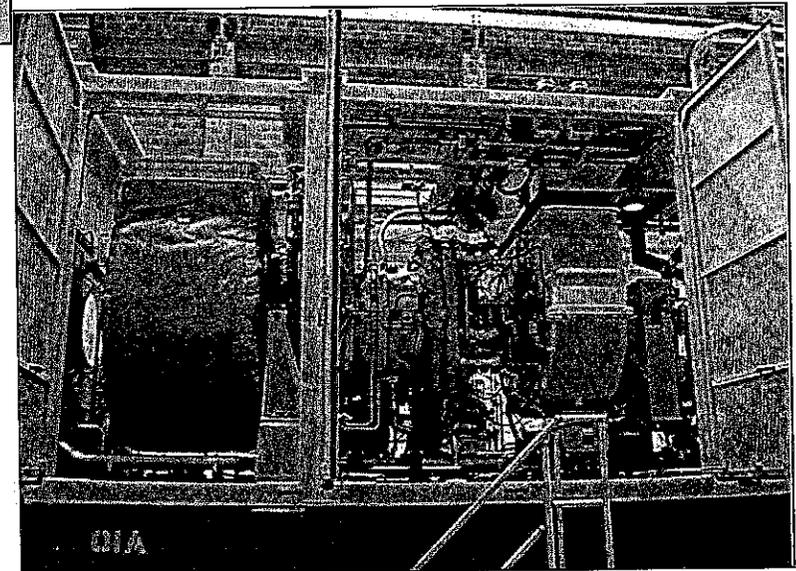


Combustion Turbine Assessment

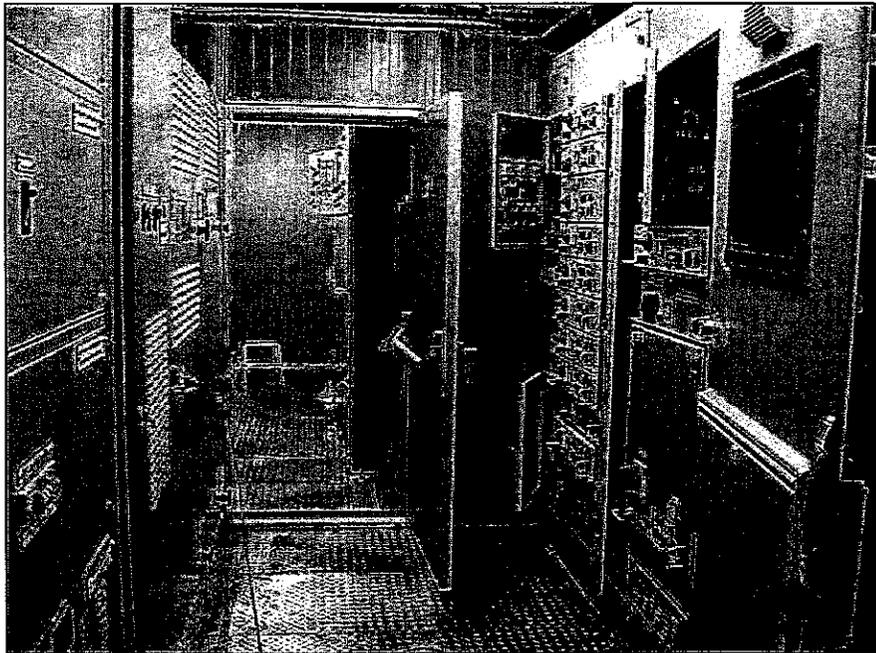


- Based on Ruston Design
- Siemens' Updated 2003
- DLE for Nat Gas and Oil
 - 15 ppmv NO_x
 - 10 ppmv CO

- Two-shaft Turbine
- 14-stage Compressor
- 4-stage Turbine
- 6 Combustor Cans
- Gear-driven, 1800 rpm Generator



Combustion Turbine Assessment



- Local Equipment Room
 - Factory Assembled
 - All Controls
 - All Electrical Gear
 - Generator Breaker
 - Auxiliary Transformer

Combustion Turbine Assessment

Mature Gas Turbine Design

- Evolved from Ruston 1997 Cyclone Model
- 135 Installed Worldwide
- 60 in Critical Off-shore Oil & Gas Service
- > 800,000 Fleet Operating Hours
- Manufactured at Ruston Works in Lincoln, UK
- Siemens Purchased Designs and Plant in 2003
- Upgraded SGT-400 Model in 2010



Combustion Turbine Assessment

Site Rating Conditions for Peaking

- Garden City, KS Elevation 2,820 Feet AMSL
(Used 3,000 Feet AMSL – Conservative)
- 100 °F Dry Bulb Ambient Temperature
- 21.6 % Relative Humidity

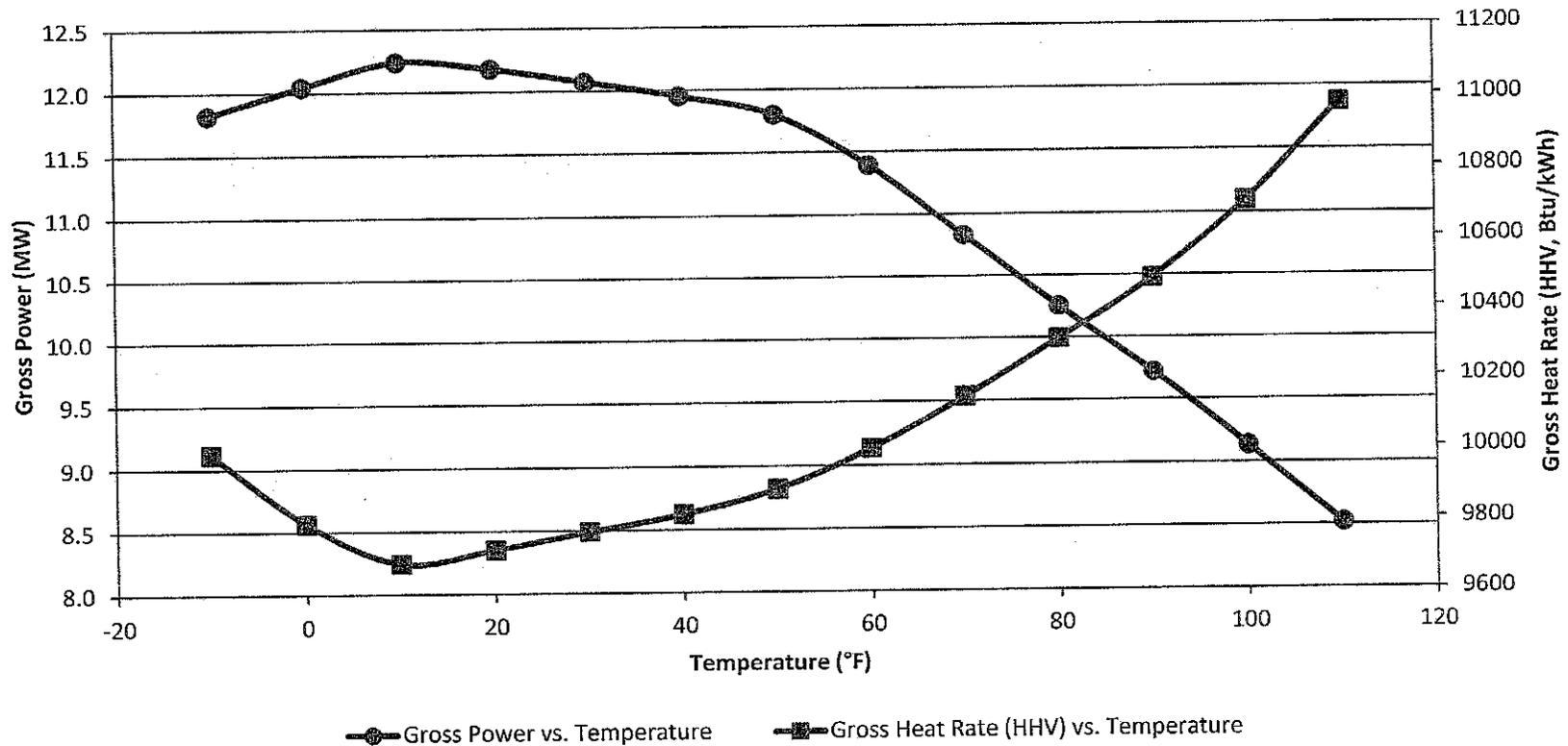
SGT-400 Rating at Peak Conditions

- 9.2 MW (gross) at 11,900 Btu/kWh, HHV
- 3 Units Required for 25 MW Peak Capacity



Combustion Turbine Assessment

Expected SGT-400 Performance*

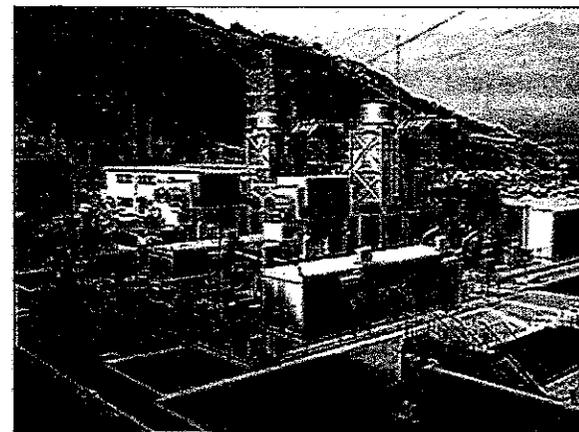
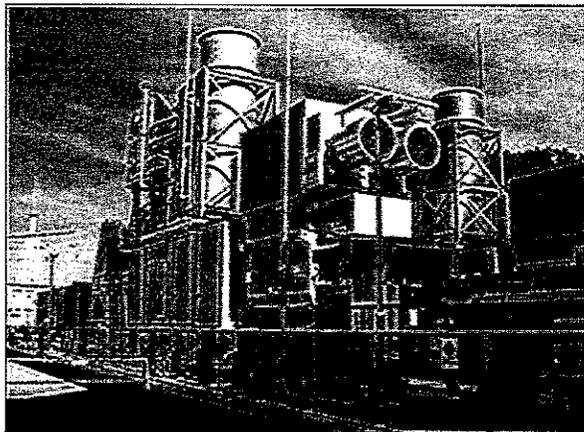
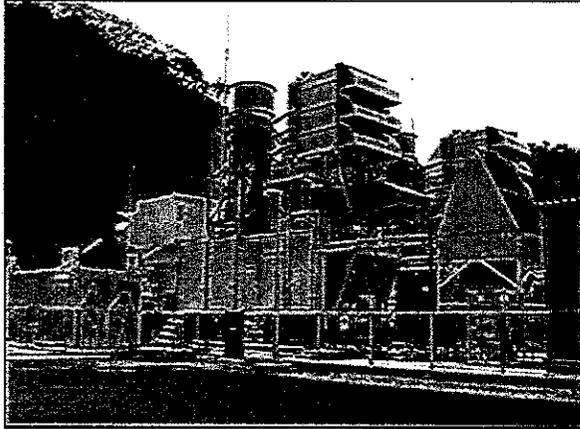


*Siemens' Predicted Performance at 21.6 % RH and 3000 Feet AMSL.



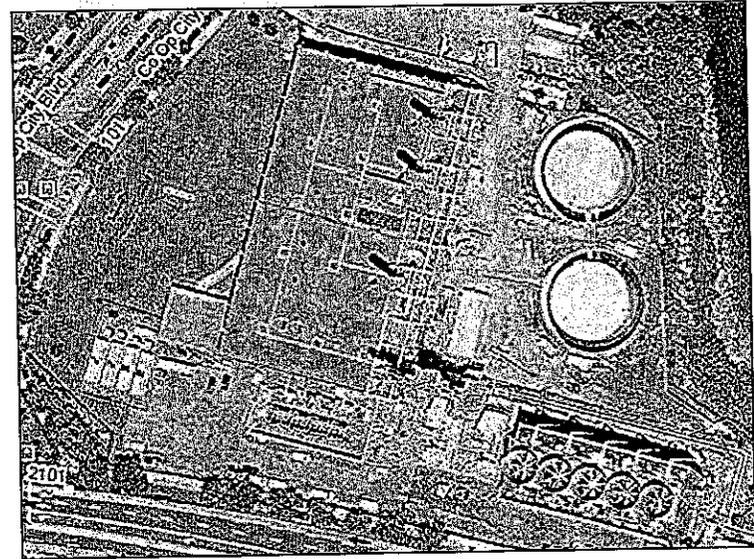
Combustion Turbine Assessment

2011 Installation at Chugoko, Japan



Combustion Turbine Assessment

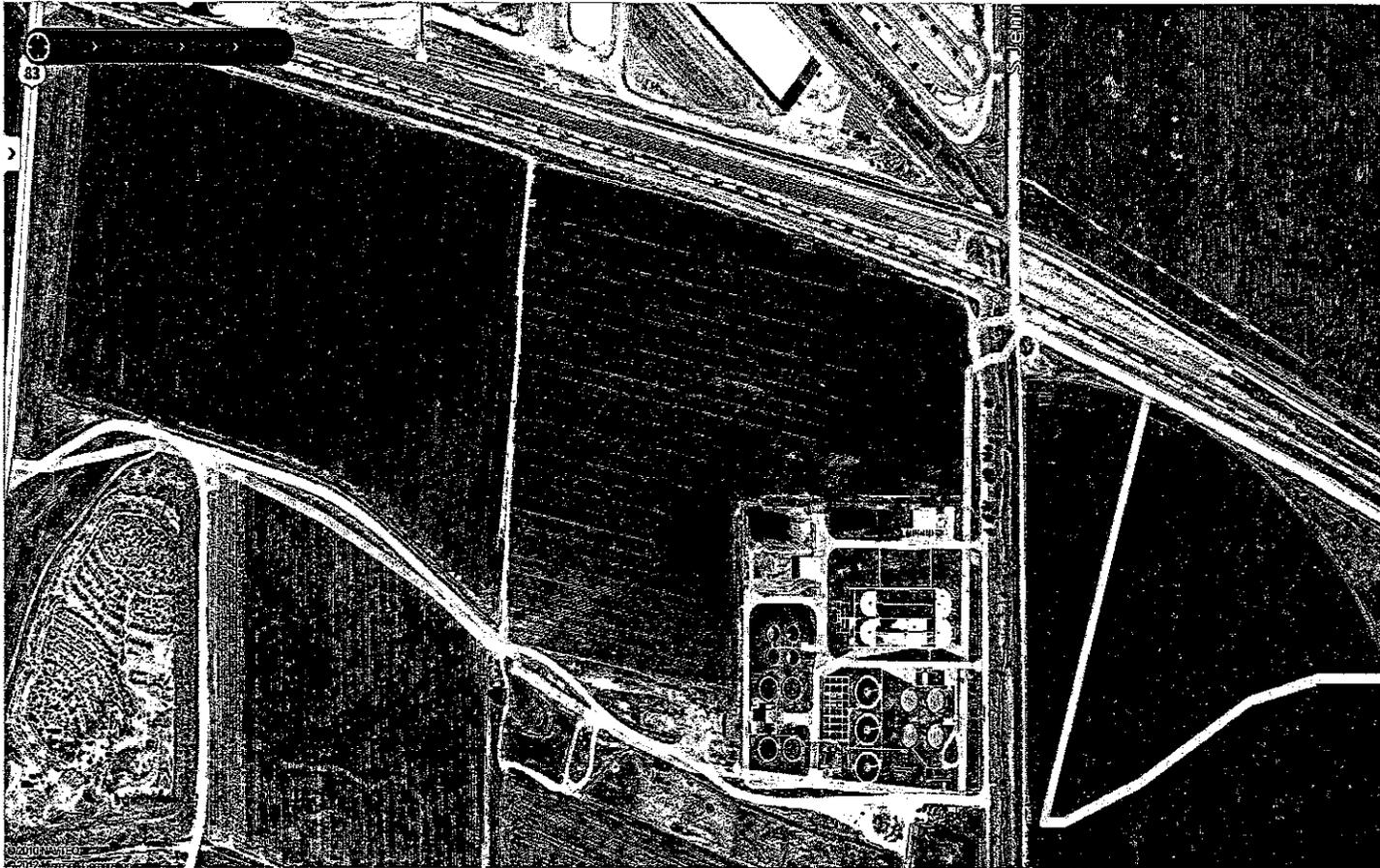
2008 Co-op City Baychester in Bronx, NY



- 40 MW CHP Plant: 2 SGT-400 GT x 1 STG
2 HRSGs with Duct Burners + Aux Boiler
- Kept lights and heat on for 60,000 during Sandy

Site Assessment

WTP Site



Site Assessment

Sunflower Control Area – Garden City, KS

- Wastewater Treatment Plant (WTP) Site
- 11 Acres City-owned and Expandable
- Bordered by Railroad, Ethanol Plant and WTP
- Near Black Hills 450 psig Natural Gas Pipeline
- City's Water and Sewer Lines on East Border
- Industrial and Agricultural Area
- City's 34.5 kV overhead Transmission < 1/2 Mile



Site Assessment

WTP Site



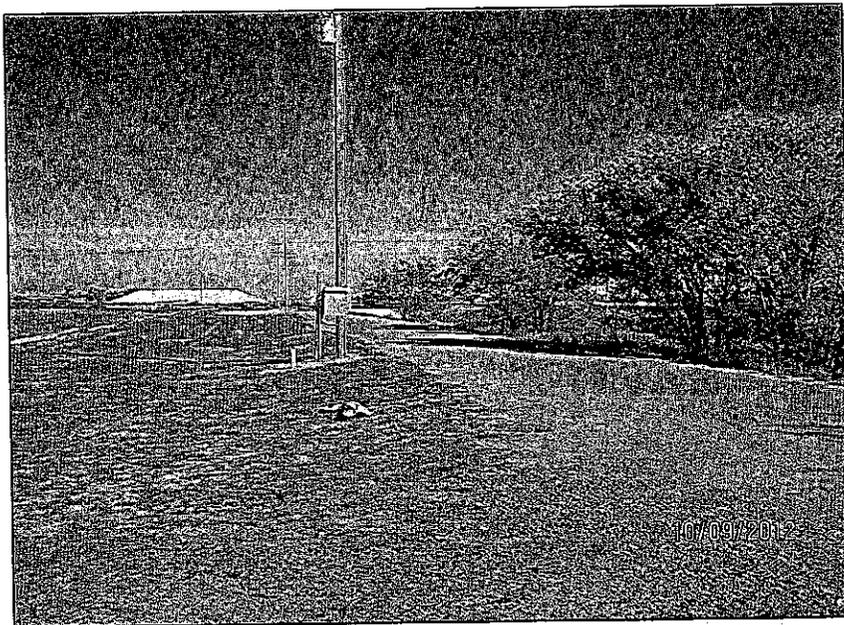
View from SE Corner



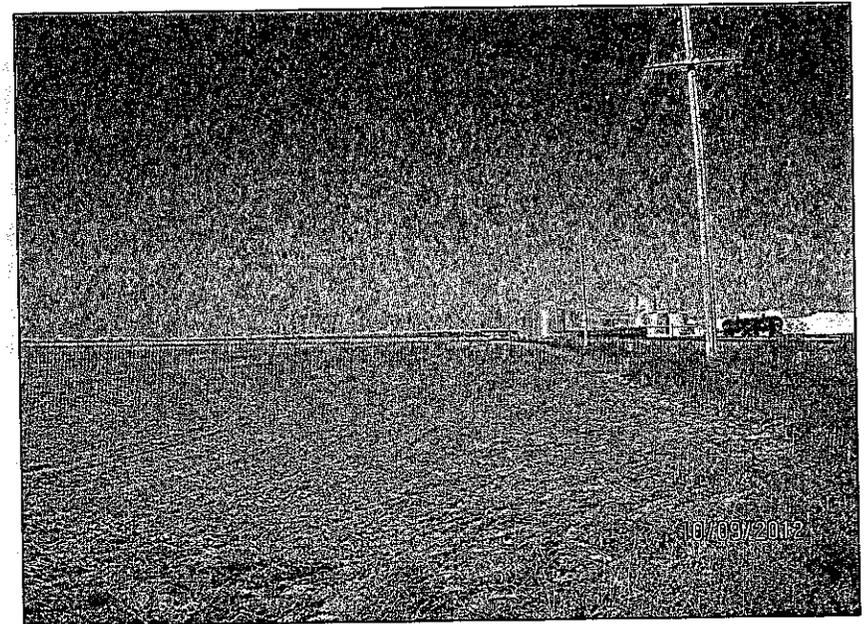
View from NE Corner

Site Assessment

WTP Site



View to North on Jennie Barker Road



View to West Along Rail Road

Site Assessment

WTP Site Attributes

- City-owned / Controlled – Immediately Available
- 11 Acres Sufficient Area for 3 Units + Expansion
- Proximity of Gas, Water, & Sewer Pipelines
- City's 34.5 kV overhead Transmission < ½ Mile
- Flat, < 5-foot contour differential NW to SE
- Transport Access – Railroad and Highway
- Industrial / Agricultural Area – No Residential



Site Assessment

Potential WTP Site Concerns

- Rezoning / Conditional Use Permit Required
- Geotechnical Report (1998 WTP Expansion)
 - Loose Sandy Soils, Low Bearing Capacity
 - Spread footers & Oversized Mats Required
 - High Wind Design Criteria
- Potential Drainage (no fall)
- Load Bearing Capacity of Access Roads
- 34.5 kV Transmission North of Railroad



Site Assessment

Other Potential Garden City Sites

- Monfort Packing Plant Site
- Regional Airport Site
- Humphrey Road Site
- Existing Power Plant Site



Site Assessment

Monfort Packing Plant Site



Site Assessment

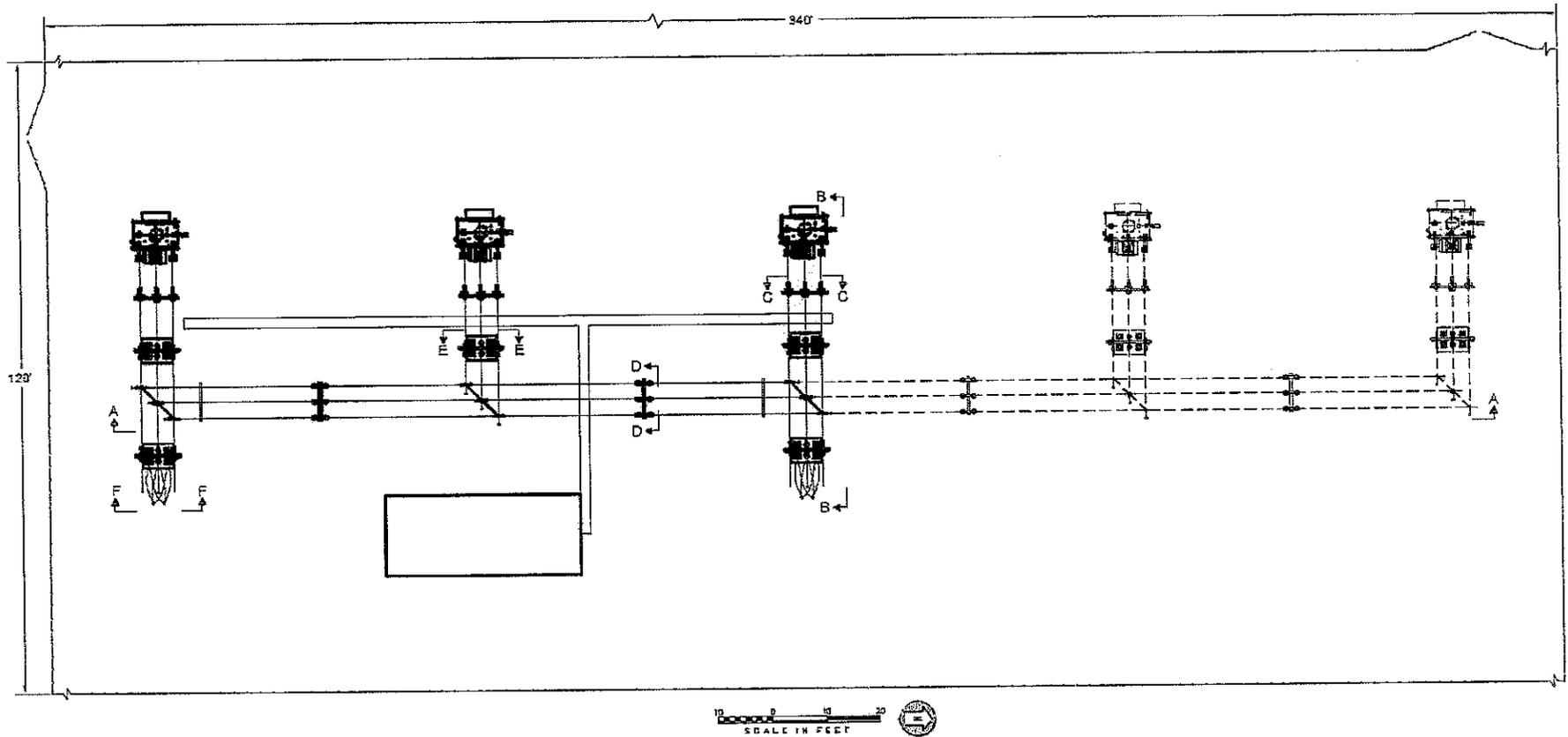
Monfort Packing Plant Site Attributes

- 1st Alternative / Backup
- Huge Land Area – SE of Garden City
- Former Packing Plant Abandoned - Fire
- Own Water Supply and WTP
- Electric and Gas Accessible at Distance
- Not Owned or Controlled by City
- Not Within City Limits – Annexation/Zoning
- Line of Sight From Residential Areas



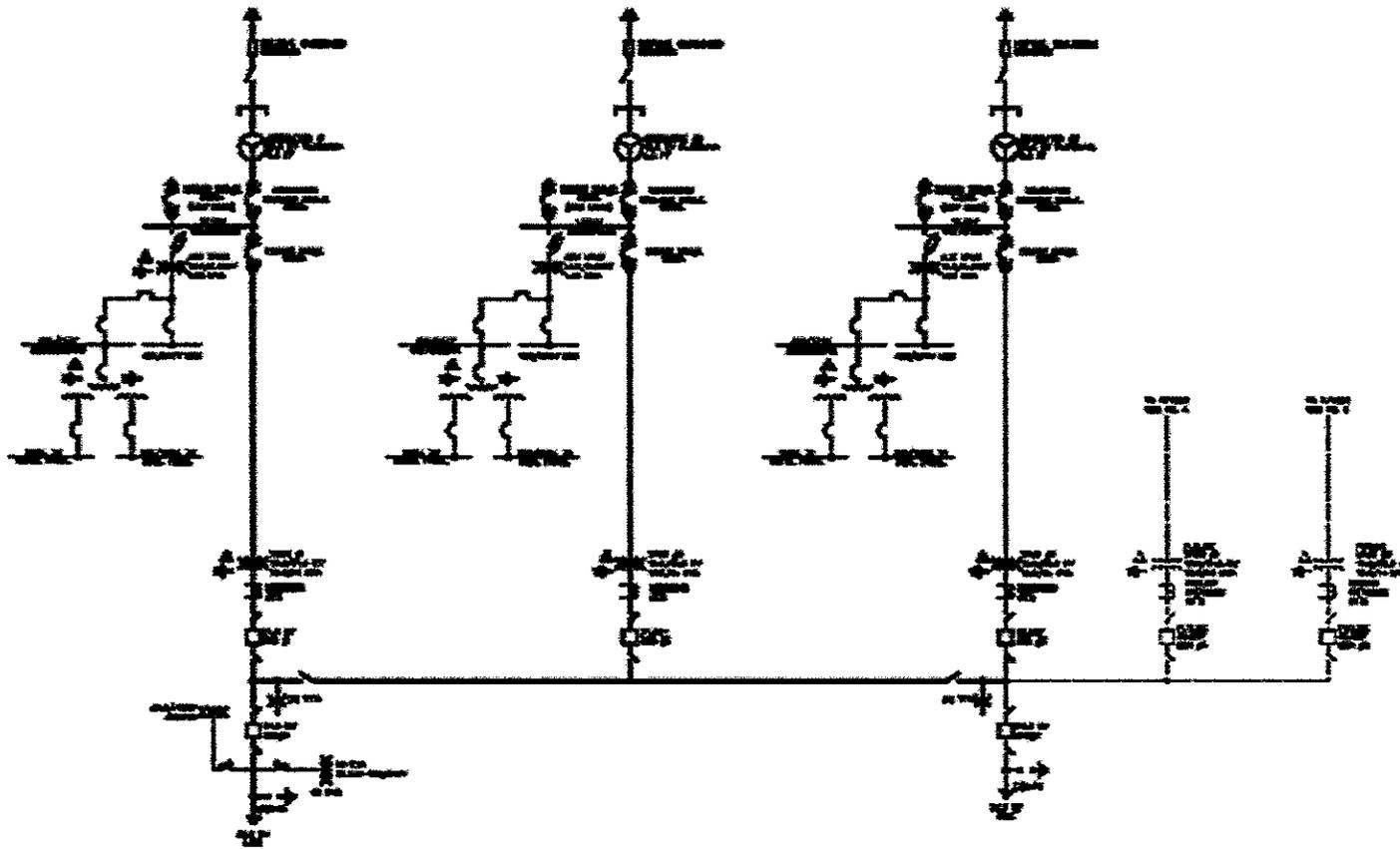
Preliminary Engineering

Substation Plan



Preliminary Engineering

Electrical One-line Diagram



Preliminary Engineering

Preliminary Equipment Procurement List

Power Block

- 3 x Siemens SGT-400 Gen Sets
- 2 x 60 hp Air Compressor Sets
- 1 Fuel Gas Conditioning Skid
- 3 Fuel Gas Block Valves

Common

- 1 Control/Admin Trailer
- Portable Demineralized Wash Water Haul Tank
- Portable Drain Tank or Drains Piped to Oil/Water to WTP

Substation

- 3 x 14 MVA GSU Transformers
- 5 x 34.5 kV Breakers
- 1 x Substation Hardware Package (steel, cable, buss, trench, etc.)
- 6 Voltage Transformers
- 9 Metering Current Transformers
- 1 Pre-assembled Control Enclosure (Relays, AC/DC Panels, Batteries, Charger, Controls and SCADA, etc.)



Permitting Strategy

Project Permits

- Construction NPDES Site Runoff - KDHE
- Construction Approval “Air Permit” - KDHE
- Endangered or Threatened Species - KDWPT
- National Registry of Historic Places - KSHS
- Jurisdictional Water Impact Determination – US ACOE
- SPCC Plan – US EPA
- Notice of Proposed Construction – US FAA
- Zoning and Building Permits – City and/or County
- Application for Wire or Pipeline Crossing – BNSF RR



Permitting Strategy

Air Permitting

- ***New Source Review*** – “Minor” Below Major Thresholds
 - Control NO_x, CO, UHC and CO₂ Emissions
 - CO₂ Emissions Govern < 100,000 tons/year
 - Annual Operations Limitation Conservatively:
 - ✓ Approx. 13,407 Annual Turbine Hours
 - ✓ All 3 Units Together Run Limit 4,469 hr/yr
 - ✓ Approx. 1,392 MMscf Annual Gas Burn Limit
 - KDHE Construction Approval Not Full Permit Process
 - 6 – Month “Minor” Approval Process



Permitting Strategy

Air Permitting

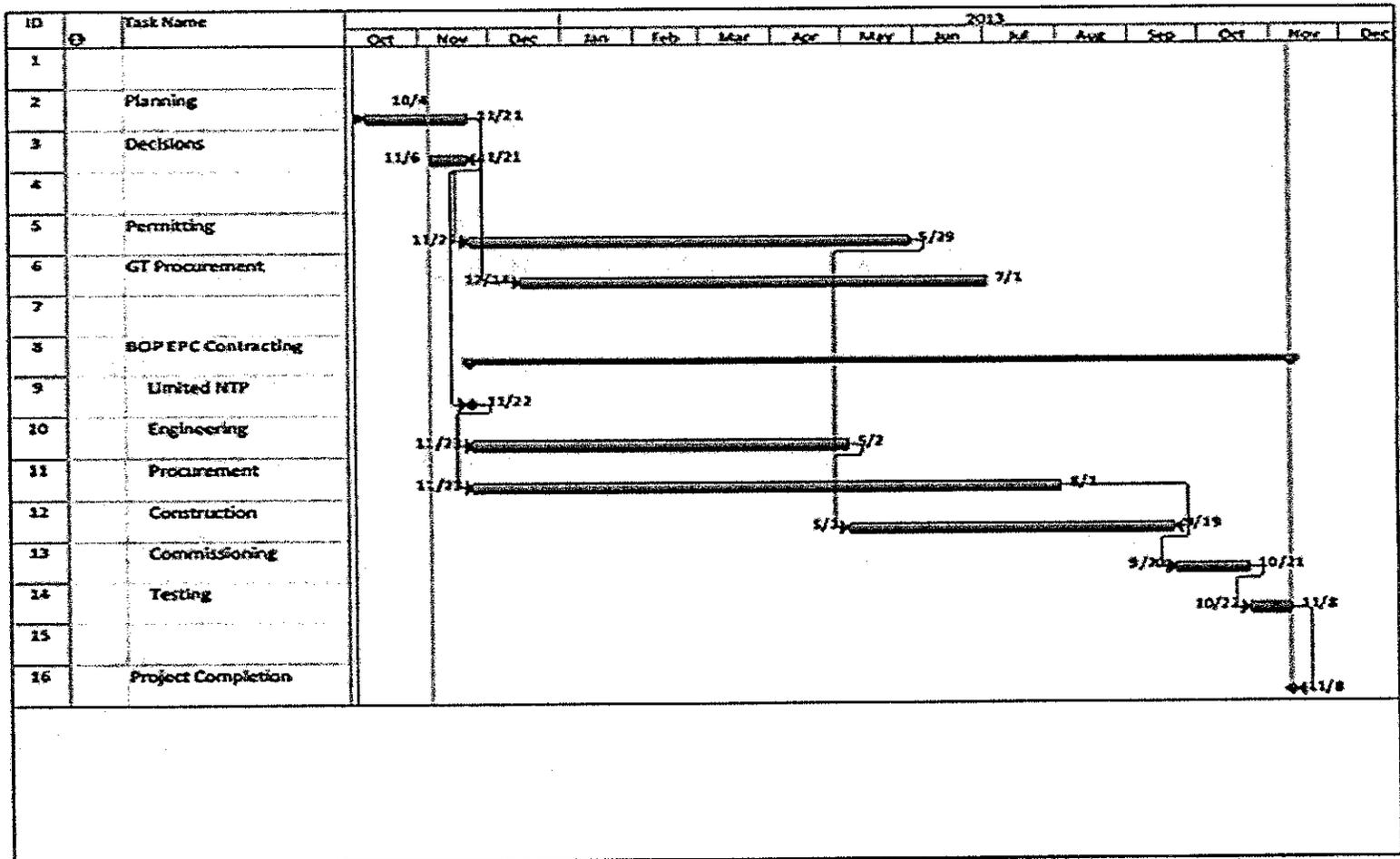
- ***New Source Performance Standards***

- NO_x Emissions Limit 25 ppmvd or 1.2 lb/MWh
- SO₂ Limit Not Applicable for Natural Gas
- Initial Emissions Test Required (6 hours, each GT)
- On-going Compliance Options:
 - ✓ Annual Stack Tests (Every 2 years if emissions proven < 75% of Limits) or
 - ✓ Continuous Parametric Monitoring (Limited Tests)



Cost and Schedule

Opinion of Probable Schedule



Cost and Schedule

Critical Schedule Activities

- KMEA Power Supply Decision
- Garden City Power Supply Decision - 11/20/2012
- Commence Permitting - ASAP After Decision
- Siemens Reservation Agreement - 12/18/2012
- Limited EPC Notice to Proceed by 11/21/2012
- Order Transformers ASAP for 7/01/2013 Delivery
- KDHE Final Air Construction Approval - NLT - 5/31/2013
- All Other Permits, Approvals and Zoning by 5/01/2013
- Contract Fuel Gas Transport and Supply by 6/01/2013

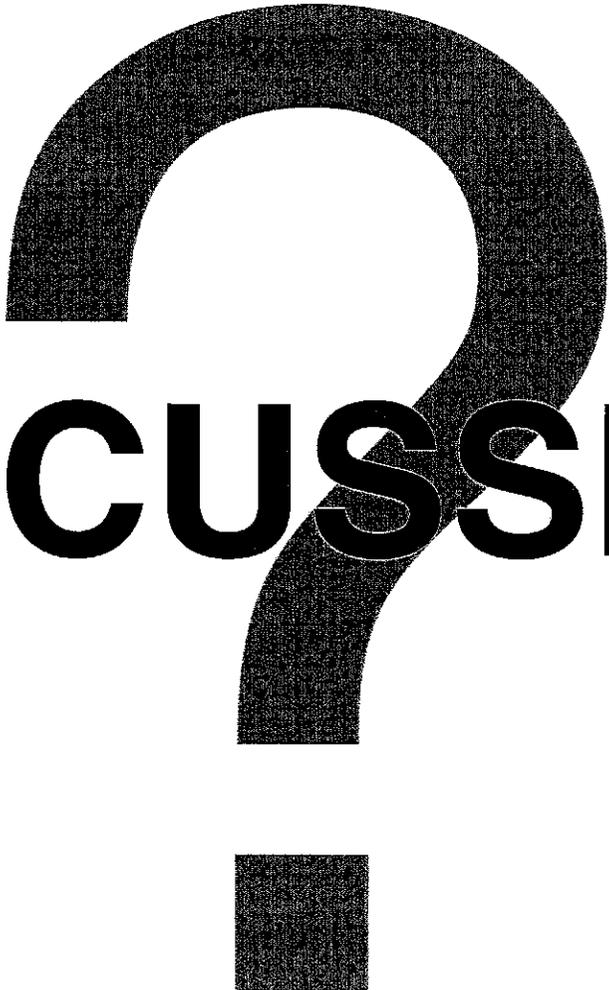


Cost and Schedule

Opinion of Probable Cost

SIEMENS		
3 SGT-400 Mobile Gas Turbine Generator Sets		\$21,840,000
Commissioning Tools & Spares		\$51,300
Maintenance Tools & 2yr Operations Spares		\$80,550
Operations & Controls Training for 8 On-site		\$81,000
Delivery Duty Paid (UK to Garden City)		\$1,406,400
Technical Field Service - Install & Startup		\$335,000
TOTAL SIEMENS		\$23,794,250
BOP EPC		
Engineering and Support Services		\$1,485,796
Procurement		\$3,212,575
Construction		\$3,142,288
Markups & Contingencies		\$1,031,034
TOTAL BOP EPC		\$8,871,693
BONDS AND INSURANCE		
Performance and Payment Bonds		\$177,434
Builders' Risk Insurance		\$54,903
SUBTOTAL		\$232,337
TOTAL COST		\$32,898,280
Rated Plant Capacity		27,000 kW
		\$1,218 /kW



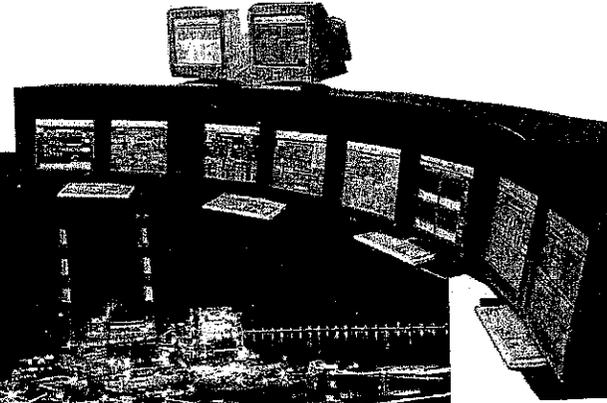
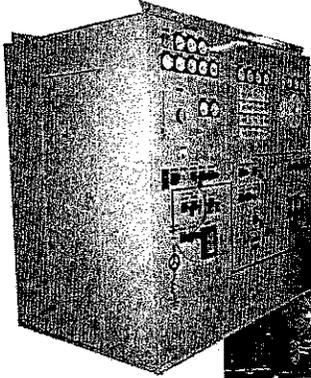


DISCUSSION

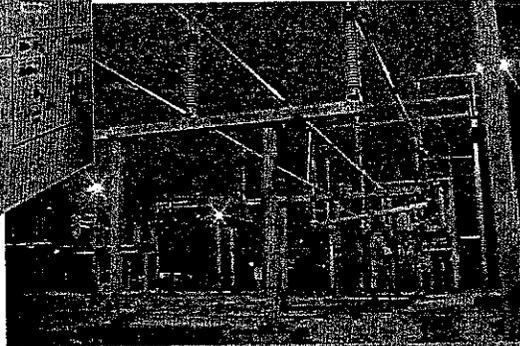


Sega, Inc.

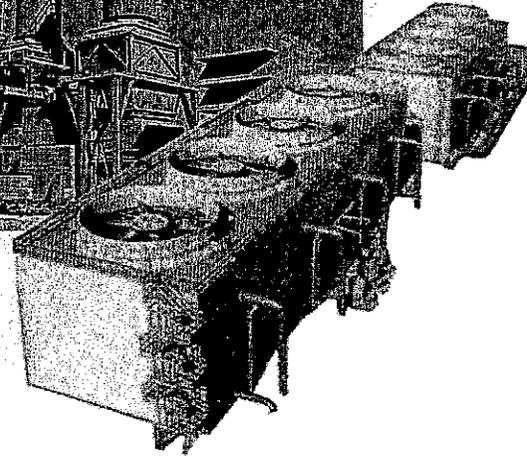
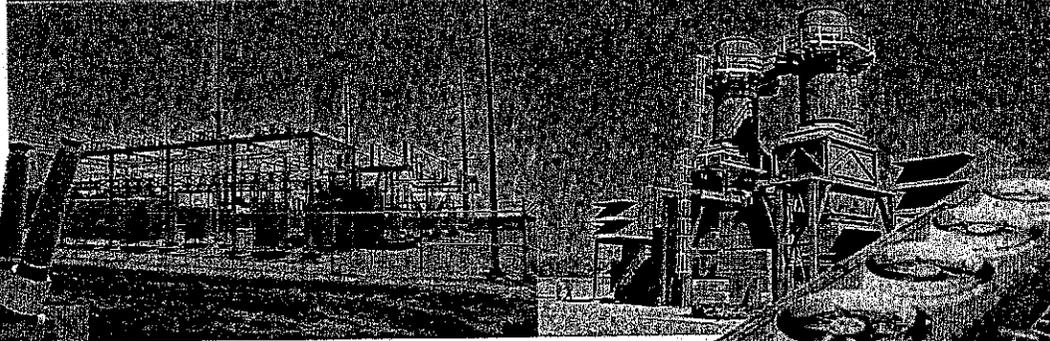
**Control
Systems**



**Power
Delivery**



**Power
Generation**



**Air Quality &
Environmental**



New Business



To: City Commission
 From: Rachelle Powell
 Date: November 12, 2012
 RE: Task Order Number 9 – SRE building, Runway Guard Lights and Hold Position Sign

Issue

Governing Body consideration and approval of Task Order Number 9 between the City of Garden City and HNTB to provide professional services for 2013 Airport Improvement Projects. The 2013 Airport projects include the Snow Removal Equipment (SRE) Building, relocation of runway guard lights and installation of a runway hold position sign.

Background

The FAA has issued “Initiation of Work for Proposed Project” letter for the 2013 Airport Improvement Projects. Task Order Number 9 provides architectural, design and bidding services for the above projects at Garden City Regional Airport.

The City of Garden City entered into a Master Agreement for Professional Services with HNTB on December 28, 2007 and authorized HNTB services for the projects. The FAA requires an independent analysis of the proposed fee. Steve Cottrell, City Engineer conducted the analysis and finds the proposed fee is reasonable for the project.

Alternatives

The City Commission could decline the initiation of the projects and Task Order Number 9. Declining the project would result in the loss of the grant offer and FY2013 (95%) federal funding for this project.

Recommendation

Governing Body authorization of Task Order Number 9 – SRE building, Runway Guard Lights and Hold Position Sign between HNTB Corporation and the City of Garden City.

Fiscal Note

Task Order Number 9 – Design Services \$81,985.

The proposed FY2013 funding for AIP 3-20-0024-34 is as follows:

Federal 95%	-	\$752,970
City	5%	- \$ 37,625
Total		\$790595

Cost Breakdown by Project

- SRE Building \$687,500
- Runway guard lights and hold sign \$65,000
- Reimbursement for ADA Ramp \$38,095 (FAA only)

TASK ORDER NUMBER 9

*SRE Building, Runway Guard Lights and Hold Position Signs
Architectural, Design, and Bidding Services
Garden City Regional Airport
Garden City, Kansas*

This Task Order is made as of _____, 2012, under the terms and conditions established in the MASTER AGREEMENT FOR PROFESSIONAL SERVICES, dated December 28, 2007 (the Agreement), between the City of Garden City, Kansas (Owner) and HNTB Corporation (HNTB). This Task Order is made for the following purpose, consistent with the Project defined in the Agreement:

Perform architectural, design, and bidding services for the construction of a Snow Removal Equipment and Materials Storage (SRE) Building. The location of the SRE Building is planned for the area immediately east of the existing Airport Maintenance Building. To assist in the development of contract documents for the SRE Building, the following three local firms shall serve as subconsultants to HNTB: Gibson, Mancini, Carmichael, & Nelson, P.A. (GMCN Architects) shall provide architectural services; Cornerstone Professional Services shall provide topographic surveying services; and Terracon Consultants Inc. shall provide geotechnical engineering services.

Perform airfield electrical design and bidding services for 1) the relocation of one set of existing Runway Guard Lights (RGLs) and associated runway hold position sign on Taxiway C East and 2) the installation of an additional Runway 17-35 hold position sign on Runway 12-30. This work is required by the most recent Federal Aviation Administration (FAA) inspection.

Section A. - Scope of Services

A.1. HNTB shall perform the following Services:

1. Project Management:

- a. Perform project management; contract administration; Owner and FAA coordination; and subconsultant management of GMCN Architects, Terracon, and Cornerstone.

2. Preliminary Design:

- a. Conduct project kickoff meeting conference call.
- b. Review record drawings.
- c. Develop snow removal equipment and materials space needs.
- d. Prepare preliminary SRE Building floor plan.
- e. Prepare RGL and runway hold position sign layouts.
- f. Perform Topographic Survey. The following tasks shall be completed within the survey area limits presented in Attachment A and performed by Cornerstone:
 - i. Coordinate access to the project site with Rachelle Powell, Airport Director.

- ii. Contact Kansas One-Call a minimum of 72 hours prior to survey activities.
 - iii. Obtain horizontal and vertical control using Kansas state plane coordinates. Establish two control points that can be used by the Contractor during construction to control horizontal and vertical alignments.
 - iv. Locate existing building corners, location of doors, etc.
 - v. Determine finished floor elevation for all buildings or hangars.
 - vi. Establish centerline of roadways and drives.
 - vii. Locate existing pavement edges and depict existing pavement's surface type (concrete, asphalt, gravel, etc.).
 - viii. Obtain elevation of existing concrete joint intersections.
 - ix. Obtain elevations of existing ground using a 25 foot by 25 foot survey grid pattern.
 - x. Establish horizontal and vertical center position of structures such as manholes, concrete pads, fences, etc.
 - xi. Locate any existing drainage features, drainage ditches, invert elevations of drainage structures, etc.
 - xii. Locate the horizontal and vertical position of all visible utilities and the horizontal position of all underground utilities.
- g. Prepare site layout/pavement limits plan.
- h. Perform Geotechnical Engineering Analysis. The following tasks shall be performed by Terracon:
- i. Coordinate drill rig access to the project site with Rachelle Powell, Airport Director.
 - ii. Obtain one (1) pavement core of the existing concrete pavement located immediately east of the existing Airport Maintenance Building for thickness verification. A soil boring will be extended beneath the pavement core shall be terminated at a depth of five (5) feet (or less if auger refusal). Obtain two (2) soil borings for verification of existing pavement structures adjacent to proposed SRE Building location. These soil borings shall be terminated at a depth of twenty (20) feet (or less if auger refusal). Refer to Attachment B for boring locations.
 - iii. Obtain two (2) soil borings to obtain data to provide foundation design and construction recommendations for the proposed SRE Building. Soil boring shall be terminated at a depth of twenty (20) feet (or less if auger refusal).
 - iv. From pavement coring and soil borings, obtain sufficient soil material to perform the following tests:
 - Two (2) unconfined compressive strength tests. Establish water and content and density determinations.
 - Three (3) tests to determine the minus 200 content.
 - Three (3) Atterberg Limits tests to aid in soil classification and to obtain an indication of the soil's shrink/swell characteristics.
 - v. Prepare a report presenting the results of the field exploration and laboratory testing and design values/recommendations.

- i. Design pavement section to support snow removal vehicle traffic transitioning from proposed SRE Building to existing pavement. Pavement design life shall be 20 years.
 - j. Prepare 25% design level Engineer's Report in accordance with the FAA Central Region Airports Division AIP Sponsor Guide. 25% Engineer's Report shall include a preliminary SRE Building floor plan, preliminary RGL and runway hold position sign layouts, preliminary Engineer's Opinion of Probable Construction Costs and Project Budget, and the Geotechnical Engineering Report.
 - k. Conduct 25% design level review meeting via conference call, prepare meeting minutes and address Owner and FAA Comments.
3. **90% Design:**
- a. Prepare and file FAA 7460-1 forms electronically to the FAA's OE/AAA website for permanent SRE Building elevations and temporary construction equipment heights and for SRE Building and RGL/hold signs.
 - b. Prepare a Construction Safety and Phasing Plan (CSPP)
 - c. Prepare 90% design level Engineer's Report containing 90% Engineer's Opinion of Probable Cost Estimate and 90% Project Budget.
 - d. Prepare 90% Contract Documents for the SRE Building project in accordance with Section A.3.
 - e. Perform Quality Assurance/Quality Control (QA/QC) review.
 - f. Conduct 90% design level review meeting via conference call.
 - g. Provide responses to Owner and FAA 90% design level review comments.
4. **Bidding:**
- a. Prepare Final Engineer's Opinion of Probable Cost Estimate and Project Budget.
 - b. Prepare Issued for Bid Documents and distribute to Owner, Plan Houses, FAA, and potential bidders in accordance with Section A.3.
 - c. Answer questions from potential bidders during the bidding process.
 - d. Issue addenda (if any).
 - e. Conduct pre-bid meeting via conference call at the Garden City Regional Airport with one GMCN Architects representative in attendance.
 - f. Develop bid tabulation and make a recommendation of award to Owner.
 - g. Prepare Grant Application.
 - h. Prepare Construction Contracts.

A.2. The following Services are not included in this Task Order, but shall be provided as Additional Services if authorized or confirmed in writing by the Owner.

- Additional site improvements not associated with and beyond the topographic survey limits.
- Pavement underdrain design and associated plans and specifications.
- Site utility design (i.e. sanitary sewer, natural gas, overhead power, and water) and associated plans and specifications.
- Preparation and submittal of the KDHE permit application.
- Airport Stormwater Pollution Prevention Plan Revisions
- Design of vehicle exhaust systems.

- Design of radiant heating floor systems.
- HNTB Representative attendance of Bid Opening.
- Issued for Construction Plans and Specifications.
- Construction Observation Services for SRE Building.

A.3. In conjunction with the performance of the foregoing Services, HNTB shall provide the following submittals/deliverables (Documents) to Owner:

1. Project Management:

- a. No deliverables.

2. Preliminary Design:

- a. 25% Submittal shall include 25% Engineer's Report. HNTB shall submit two (2) copies to the Owner and two (2) copies to the FAA for review.

3. 90% Design:

- a. FAA 7460-1 Forms for FAA airspace review.
- b. 90% Submittal shall include revised Engineer's Report, 90% Plan Set, and 90% Specifications Manual. HNTB shall submit two (2) copies of each document to the Owner and two (2) copies of each document to the FAA for review. Drawings to be included in the Plan Set are listed in Attachment C. Specifications to be prepared for the Specifications Manual are listed in Attachment D.
- c. Construction Safety and Phasing Plan (CSPP)

4. Bidding:

- a. Issued for Bid Submittal shall include Plan Set and Specifications Manual. HNTB shall submit two (2) copies to Owner, one (1) copy to a maximum of four (4) Plan Houses, one (1) copy to FAA, and copies to potential bidders as requested.
- b. Addenda (if any) submitted electronically.
- c. Grant Application submitted electronically for Owner review. Upon Owner approval, two (2) copies shall be submitted to Owner for execution and submission to the FAA.
- d. Construction Contracts. HNTB shall submit seven (6) copies to the Contractor for processing and submission to the Owner. Upon execution, the Owner shall distribute the Construction Contracts as follows: three (3) copies to Owner, one (1) copy to Contractor, one (1) copy to FAA, and one (1) copy to HNTB.

Section B. - Schedule

HNTB shall perform the Services and deliver the related Documents (if any) according to the following schedule:

- Task Order shall be approved by the City Commission and a Notice-to-Proceed (NTP) shall be issued by the Owner.
- 25% Submittal shall be submitted to Owner and FAA for review within fourteen (14) calendar days of the NTP date.
- Owner and FAA 25% review is expected to be completed within 14 calendar days. This duration is not under the control of HNTB.

- 90% Submittal shall be submitted to Owner and FAA for final acceptance within thirty (30) calendar days of receipt of 25% review comments.
- Owner and FAA 90% review is expected to be completed within twenty one (21) calendar days. This duration is not under the control of HNTB.
- Bidding documents will be available to potential bidders within ten (10) calendar days from receipt of approval to bid from the Owner and the FAA.
- The bid tabulation, recommendation for award, and FAA grant application will be submitted to the Owner within five (5) calendar days of the bid opening.
- Construction Contracts will be submitted to the successful bidder within five (5) calendar days of the Owner's approval of the successful bidder.

Section C. - Compensation

C.1. For performing the Services identified within **Section A - Scope of Services**, the Owner shall pay HNTB a lump sum amount of **\$81,985.00**. HNTB may alter the compensation distribution between individual phases, tasks or work assignments to be consistent with the Services actually rendered, within the total lump sum amount.

C.2. The lump sum includes compensation for the Services, subconsultant costs, if any, and appropriate factors for labor, overhead, profit, and Reimbursable Expenses.

C.3. Although HNTB recognizes and accepts the ordinary risks and/or benefits of a lump sum fee structure, the parties agree to negotiate adjustment of the lump sum amount if there has been, or is to be, a material change in the: (a) scope, complexity or character of the Services or the Project; (b) conditions under which the Services are required to be performed; or (c) duration of the Services, if a change in the Schedule warrants such adjustment in accordance with the terms of this Agreement.

C.4. Any services rendered by HNTB beyond those described in **Section A - Scope of Services** shall be compensated on same basis set forth in paragraph C.1.

C.5. HNTB's estimate of the amount that will become payable for Additional Services is only an estimate. If it becomes apparent that this estimated compensation amount will be exceeded, Owner shall agree in writing to additional compensation exceeding said estimated amount.

C.6. Progress Payments: Owner shall make monthly periodic progress payments for Services. The amounts due for Additional Services will also be invoiced monthly. Invoices shall be due and payable upon receipt.

C.7. Reimbursable Expense Definition: Reimbursable expenses include, but are not limited to, transportation, subsistence, reproduction of reports, drawings, specifications, and other Project documents, courier services, materials, supplies, equipment rental and other costs specific to the Project.

C.8. Timing of Services: The total compensation is based on the Services being performed according to the approved schedule and completed within six (6) months of the Owner written NTP. Should the time to complete the Services extend beyond this period, HNTB and Owner agree to negotiate an equitable change to the compensation maximum or to provide Additional Services on the basis set forth herein.

Section D. - Owner's Responsibilities

Owner shall perform and/or provide the following in a timely manner so as not to delay the Services of HNTB. Unless otherwise provided in this Task Order, Owner shall bear all costs incident to compliance with the following:

- Provide an original executed Task Order and written NTP.
- Provide list of currently owned, as well as potentially owned, vehicles associated with snow removal operations to HNTB. This list shall include carrier vehicle dimensions and gross weights as well as dimension of equipment attachments.
- Assist HNTB in arranging access on to the SRE Building site as required for HNTB and its subconsultants to perform the Services.
- Design all utility connections for the SRE Building including natural gas, sanitary sewer, water, and overhead power and prepare associated plans and specifications.
- Make documents such as record drawings, Owner standard details for site utilities, and other pertinent airport reports available to HNTB.
- Review all HNTB submittals and make decisions that affect the project in a timely manner to avoid schedule delays.
- Provide information regarding local requirements regarding construction contracts (e.g., insurance limits) that shall be incorporated into the Special Provisions to HNTB.
- Submit the KDHE construction permit application (if applicable) and associated fees.
- Revise Airport Stormwater Pollution Prevention Plan.

Section E. - Other Provisions

The parties agree to the following provisions with respect to this specific Task Order:

No other provisions are incorporated.

IN WITNESS WHEREOF, Owner and HNTB have executed this Task Order.

City of Garden City, Kansas
(Owner)

HNTB Corporation
(HNTB)

Signature _____

Signature _____

Name _____

Name Michael R. Hess, P.E.

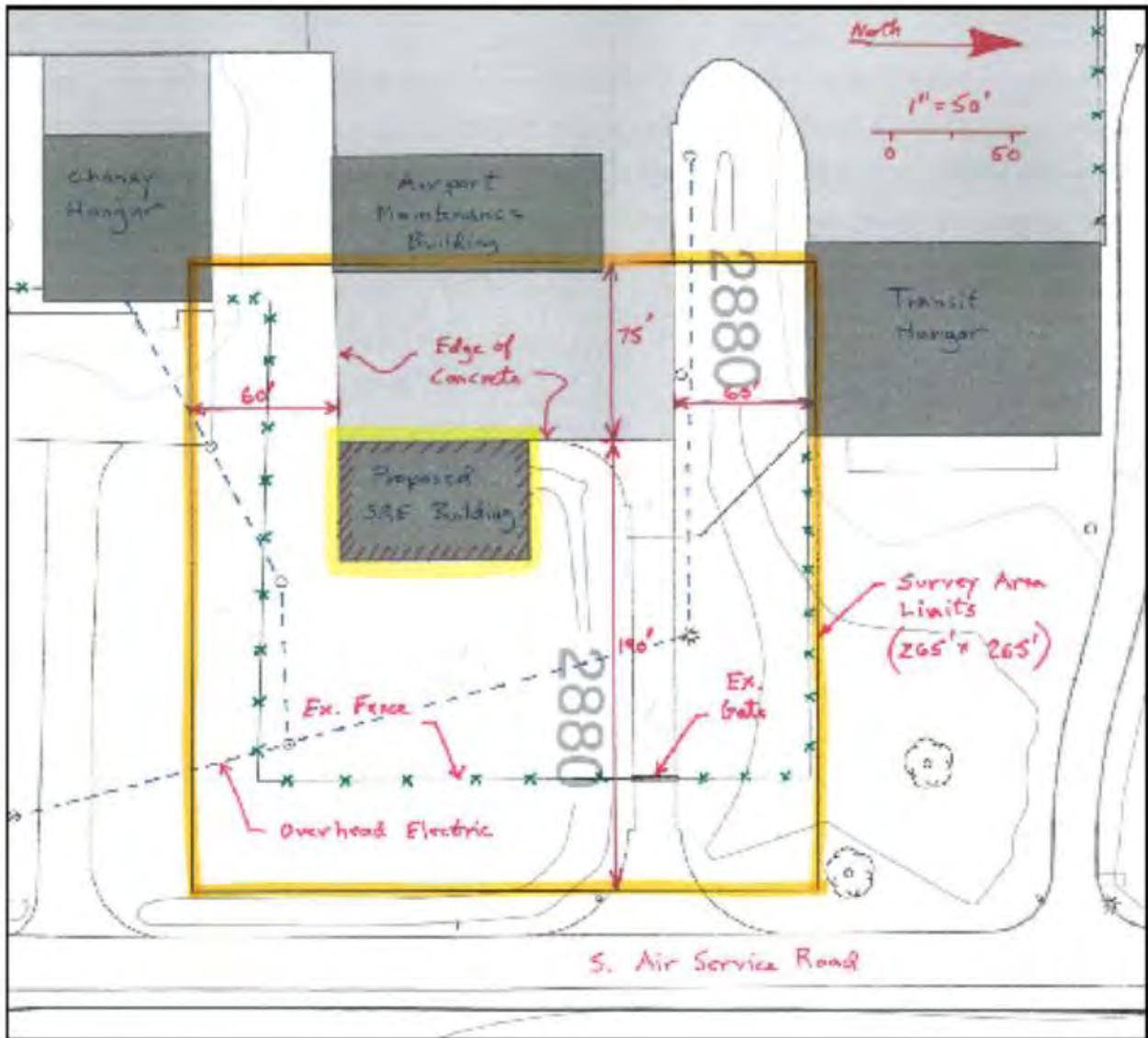
Title _____

Title Vice President

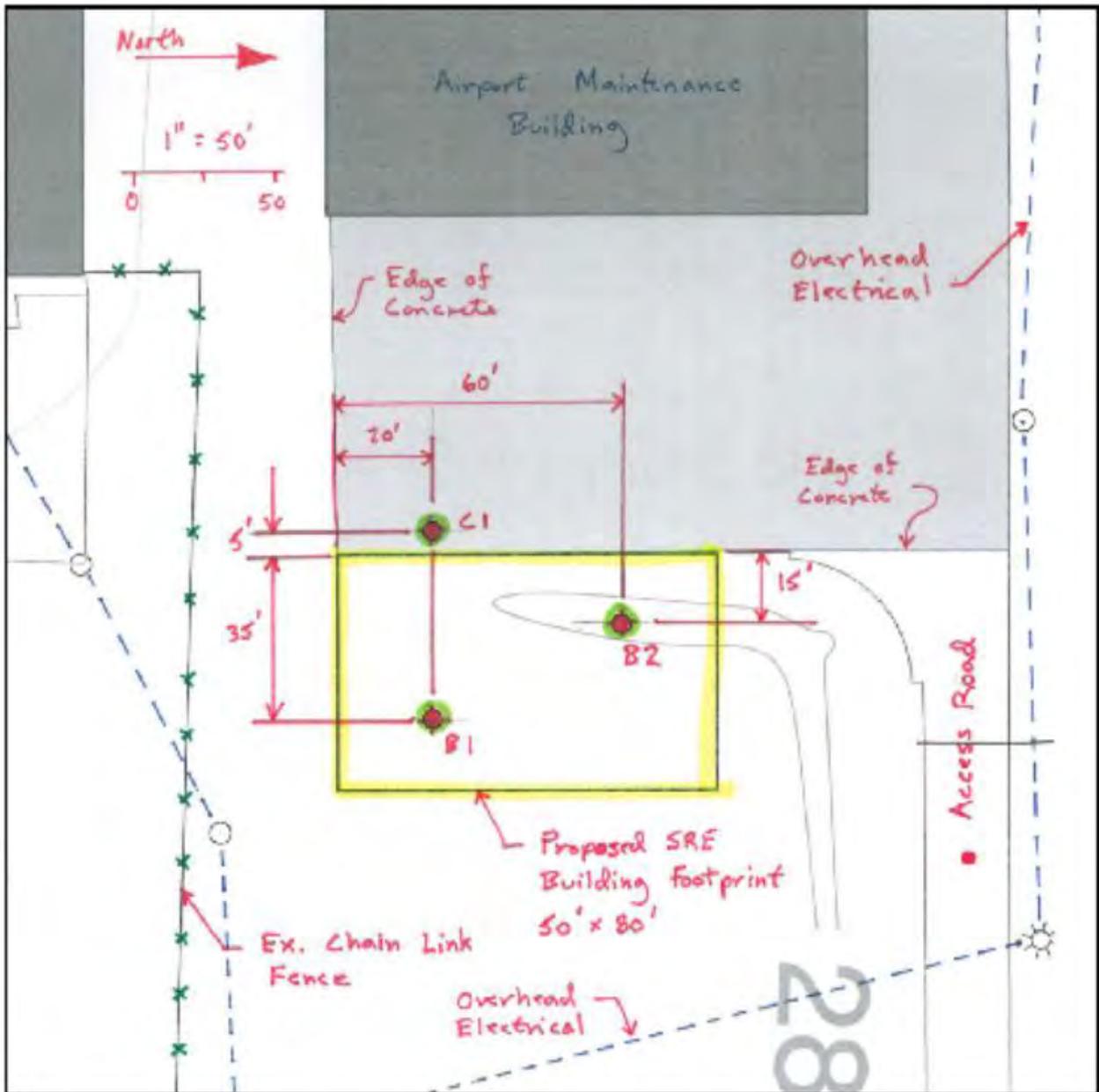
Date _____

Date _____

Attachment A – Topographic Survey Area



Attachment B – Boring Locations



Attachment C – List of Plans

Plan Sheet Number and Title	
--	Cover, Index of Sheets
G01	Summary of Quantities and General Abbreviations
G02	General Airport Site Plan and Survey Control Plan
G03	Safety and Phasing Plan
G04	Safety and Phasing Details
C01	Demolition, Grading and Drainage Plan and Details
C02	Pavement Joint Elevation Plan and Details
C03	Utility Plan (Prepared by Owner, refer to Section D)
C04	Utility Details 1 (Prepared by Owner, refer to Section D)
C05	Utility Details 2 (Prepared by Owner, refer to Section D)
C06	Runway Guard Light and Hold Sign Plan
C07	Runway Guard Light Details
C08	Runway Hold Sign Details
CF101	Code Footprint Floor Plan and Cover Sheet
A101	Floor Plan, Reflected Ceiling Plan, Partial Enlarged Floor Plan, TA Schedule
A102	Building Elevations
A103	Building Sections
A104	Building Details
A105	Finish Schedule and Details
A106	Door and Window Schedule and Details
A107	Casework Schedule and Details
S101	Metal Building Schematic Roof Framing Plan and Foundation and Slab Plan
S102	General Structural Notes and Schedules
S103	Foundation Sections and Details
S104	Foundation Sections and Details
ME1	MEP Plans, Details & Schedules
M1	Mechanical Plans, Details & Schedules
E1	Electrical Plans, Details & Schedules
P1	Plumbing Plans, Details & Schedules

Attachment D – List of Specifications

Specification Title
Front, Inside, Back Covers
Bid Requirements Checklist
Engineer's/Architect's Seal(s) Pages
Table of Contents
Notice to Bidders
Instruction to Bidders
General Provisions
Supplementary Provisions
Technical Specifications Table of Contents
FAA Specifications
P-101 Surface Preparation
P-102 Maintenance of Traffic
P-105 Mobilization
P-151 Clearing and Grubbing
P-152 Excavation and Embankment
P-156 Temporary Air and Water Pollution, Soil Erosion, and Siltation Control
P-209 Crushed Aggregate Base Course
P-505 Portland Cement Concrete Pavement – KDOT (AE) Mix
P-605 Joint Sealing Filler
P-610 Structural Portland Cement Concrete
T-901 Seeding
T-908 Mulching
L-100 Electrical Work – General
L-108 Underground Power Cable for Airports
L-110 Airport Underground Electrical Duct Banks and Conduits
L-115 Electrical Manholes and Junction Structures
L-125 Airport Lighting
City of Garden City Specifications (Prepared by Owner, refer to Section D)
SS-1: Sanitary Sewer Construction
W-1: Watermains
W-3: Directional Drilling
Architectural Specifications
03 30 00 Concrete Work
04 20 00 Unit Masonry

Specification Title
05 50 00 Metal Fabrications
06 10 53 Miscellaneous Rough Carpentry
06 40 23 Interior Architectural Woodwork
06 64 00 Plastic Paneling
07 21 00 Thermal Insulation
07 92 00 Joint Sealants
08 11 13 Hollow Metal Doors and Frames
08 14 16 Flush Wood Doors
08 36 13 Sectional Doors
08 71 00 Builders Hardware
08 80 00 Glazing
09 22 16 Non-Structural Metal Framing
09 29 00 Gypsum Board
09 51 23 Acoustical Ceilings
09 65 00 Resilient Flooring
09 68 16 Carpeting
09 91 00 Painting
10 14 00 Signage
10 28 00 Toilet, Bath & Laundry Accessories
10 51 13 Metal Lockers
10 90 00 Miscellaneous Specialties
11 31 00 Residential Appliances
13 34 19 Metal Building Systems
31 31 16 Termite Control
32 31 13 Chain Link Fencing and Gates
33 41 00 Surface Drainage – Precast Trench Drain and Catch Basins
Plumbing Specifications
22 00 00 Plumbing
Mechanical Specifications
23 01 00 Basic Mechanical Requirements
23 05 00 HVAC Materials and Methods
23 25 00 Insulation (Mechanical)
23 60 00 Heating Equipment
23 65 00 Split D-X Air Conditioning Systems
23 69 00 Pumps

Specification Title
23 80 00 HVAC Equipment – Air Side
23 85 00 Ductwork and Accessories
23 99 00 Testing, Adjusting, and Balancing (HVAC)
Electrical Specifications
26 01 00 Basic Electrical Requirements
26 16 00 Power Distribution Equipment
26 17 00 Motor and Circuit Disconnects
26 41 20 Standby Generator Systems – Diesel Engine Driven
26 50 00 Lighting
Appendix
AC 150/5370-2F, AC 150/5345-53C, App. 3, and Geotechnical Report
Contract Proposal
Bid Proposal Form, Buy American Certification, DBE Utilization Statement, DBE Letter of Intent, Performance and Payment Bonds, Contract Agreement

MEMORANDUM

TO: Rachelle Powell, Director of Aviation

FROM: Steve Cottrell, City Engineer

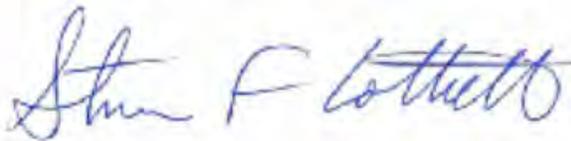
DATE: 12 November 2012

RE: Engineering services (Authorization No. 9) Independent engineering cost analysis: AIP No. 3-20-0034 – SRE Building

I have evaluated the scope of engineering services and fees for the referenced project. I have prepared an independent cost estimate and find that the fees for design phase services would be \$117,942.00.

In my opinion, the proposed fee of \$81,985.00 for design phase services is reasonable for this project.

If additional information is needed, please let me know.



Engineering Department

Steven F. Cottrell, P.E.
City Engineer

Alex L. Mestdagh, P.E.
Assistant City Engineer

CITY ADMINISTRATIVE
CENTER
301 N. 8TH
P.O. BOX 998
GARDEN CITY, KS
87846-0998
620.276.1130
FAX 620.276.1137
www.garden-city.org

Garden City Regional Airport
 Design Engineering Fee Analysis
 Independent cost estimate
 AIP # 3-20-0024-34
 Snpw Removal Equipment - DESIGN PHASE
 11/12/2012

DIRECT SALARY COSTS:

POSITION	ESTIMATED HOURS				TOTAL	RATE/HR	COST
	ADMIN	DESIGN	BIDDING	CLOSEOUT			
Project Manager	16	12	4	12	44	\$75.00	\$3,300.00
Senior Civil Engineer	32	54	16	12	114	\$55.00	\$6,270.00
Senior Electrical Engineer	0	12	8	0	20	\$55.00	\$1,100.00
Staff Civil Engineer	0	150	24	24	198	\$45.00	\$8,910.00
Technician	8	80	8	10	106	\$35.00	\$3,710.00
Clerical	12	8	8	10	38	\$32.00	\$1,216.00
	68	316	68	68	520		
Total Direct Salary							\$24,506.00

OVERHEAD:

Overhead multiplier Total Direct Salary x 165.00% Overhead \$40,434.90

SUBTOTAL:

Total Direct Salary + Overhead **\$64,940.90**

PROFIT/FIXED FEE:

Total Direct Salary + Overhead x 15.00% Profit/Fixed Fee \$9,741.14

Subtotal **\$74,682.04**

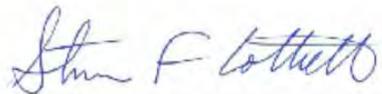
DIRECT NONSALARY EXPENSES:

Travel - airfare (R/T)	0.00	0.00	0.00	0.00	0 Trips @	\$750.00 / Trip =	\$0.00
Meals	0.00	0.00	0.00	0.00	0 Days @	\$30.00 / Day =	\$0.00
Computer CADD	0.00	160.00	0.00	0.00	160 Hours @	\$7.00 / Hour =	\$1,120.00
Computer Eng.	0.00	160.00	0.00	0.00	160 Hours @	\$4.00 / Hour =	\$640.00
Materials and Supplies							= \$3,000.00
Total Out-of-Pocket Expenses							\$4,760.00

SUB-CONSULTANT COSTS

Architect, MEP design = \$ 32,000.00
 Preliminary Surveying = \$ 1,500.00
 Geotechnical = \$ 5,000.00
Total Sub-Consultant Costs **\$ 38,500.00**

TOTAL FEE **\$117,942.04**



Steven F. Cottrell, PE
 City Engineer
 11/12/2012

MEMORANDUM

TO: Governing Body

THRU: Matt Allen, City Manager

FROM: Mike Muirhead, Public Utilities Director

DATE: November 3, 2012

RE: NLC Service Line Warranty Program

ISSUE:

The Utility Service Partners, Inc. (USP), the Service Lines Warranties of America (SLWA) and the National League of Cities (NLC) would like to provide an optional water and sewer service line protection program to homeowners. The City of Garden City, as a member of the NLC learned about this program earlier this year. The estimated monthly cost of this service to the residents who choose to use the program will be between \$4.00 to \$6.00 for water and \$5.00 to \$8.00 for sewer.

BACKGROUND:

SLWA currently services the following Communities:

Dodge City, KS	Hutchinson, KS
Hillsboro, KS	El Dorado, KS
Prairie Village, KS	Roeland Park, KS
Ottawa, KS	Edwardsville, KS
Derby, KS	Gardner, KS (pending council approval)
Phoenix, AZ	Atlanta, GA
Milwaukee, WI	San Diego, CA
Odessa, TX	Kansas City, MO (pending council approval)
Abilene, TX	Santa Fe, NM
Rowlett, TX	Plano, TX
Bryan, TX	DeSoto, TX
Englewood, CA	Midland, TX
Lawton, OK	Stillwater, OK
Waxahachie, TX	Anderson, IN

Please See Additional Information (Attached)

ALTERNATIVES:

1. SLWA will be liable to pay the City, within 30 days of the end of the final calendar quarter, 10% of the revenue from USP warranty subscriptions collected from residents during such calendar year, together with a statement certifying collections of such USP revenue, so long as the marketing agreement remains in effect. The City will have the

right, at its expense, to conduct an annual audit, as long as the marketing agreement remains in effect.

2. The SLWA will offer its external water line warranties at a 10% discount from its standard rates to the Garden City residents. Garden City has agreed to cooperate with SLWA in marketing SLWA's services to City's residents and homeowners, and will forego the 10% revenue for subscriptions, passing the savings on to the Garden City residents.

3. Decline both options and do nothing.

RECOMMENDATION:

Staff does not have a recommendation on any of the alternatives.

FISCAL NOTE:

No financial impact will occur to the Garden City Utilities Department.

NATIONAL
LEAGUE
of CITIES

NLC SERVICE LINE WARRANTY PROGRAM



NATIONAL
LEAGUE
of CITIES



USP is an NLC Enterprise Programs Partner

November 2011

City Stakeholder FAQs

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City Stakeholder FAQs

Service Line Warranties of America (“SLWA”) & National League of Cities (“NLC”) Background

Who is Service Line Warranties of America?

SLWA is a private company that provides optional water and/or sewer service line warranties to homeowners. SLWA is proud to have been selected by the NLC as an Enterprise Programs Partner. After almost a decade in business, SLWA has an A+ rating with the Better Business Bureau. The NLC, representing over 218 million Americans, is the nation’s oldest and largest organization devoted to strengthening and promoting cities as centers of opportunity, leadership and governance.

The program is offered at no cost to the City and no public funds are used to promote or operate the program. Importantly, SLWA is solely responsible for the administration and service of the warranty programs.

Who is the NLC?

The NLC is an organization dedicated to helping city leaders build better communities. Working in partnership with the 49 state municipal leagues, the NLC serves as a resource to and an advocate for the more than 19,000 cities, villages and towns it represents.

Why did the NLC select a single company to introduce these warranties?

The NLC recognized the need for these warranties and realized that there were economies of scale that could be achieved through the aggregation of potential homeowners that would result in a lower cost to the homeowner. They also realized that warranties are only as good as the company offering them and after a careful review of providers, it was determined that SLWA had the history and proven track record of providing the superior customer service required for this program.

Is SLWA a member of the Better Business Bureau?

Yes. SLWA has been a member of the Better Business Bureau since 2003 and they are very proud of their exemplary record. SLWA is also approved by the appropriate state regulatory body to operate in the states where it provides coverage.

What happens if Service Line Warranties of America goes out of business? What happens to money paid in premiums?

All of SLWA contracts are month to month and SLWA must legally maintain adequate reserves to satisfy all claims filed. Furthermore, SLWA has filed an application and received state approval in all states in which it operates. Each state has different requirements to ensure consumer protection and SLWA is compliant in maintaining the legally required financial reserves in the form of bonds, funded cash reserves or other financial security depending on the jurisdiction’s requirements. Should some unforeseeable event cause undue financial hardship on the company, the rules established by the various state agencies ensures that SLWA customers are provided with adequate protection that their claims would be paid.

Where can I go to find out more about this program?

Please visit SLWA’s web site at www.utilitylineprotection.com or call them directly at 1-800-000-0000.

City Stakeholder FAQs

City Participation

Is this really a letter from the City?

Yes, the City worked with Service Line Warranties of America (SLWA) to make you aware of a program that could potentially save you a lot of money.

Why is my City sending this letter to me?

The National League of Cities recognized homeowner water/sewer line warranty services as something many homeowners have expressed interest in. It came to their attention that several state leagues had already endorsed and were already working with SLWA. For this reason, they carefully reviewed SLWA and determined Service Line Warranties of America to be the best option of those companies providing these types of warranties.

Your City Council simply wanted to share the results of the NLC research with its homeowners. So, letters were mailed out by SLWA for the sole purpose of providing program information. Homeowners who wish to learn more about this program or want to enroll are encouraged to contact SWLA directly at the number provided in your letter. Homeowners who are not interested in these services may disregard the letter entirely.

If you choose to enroll in this program, please do so with the understanding that your City in no way warrants or is liable for the work or performance of Service Line Warranties of America. We are only making you aware of the availability of this product since water and sewer line repairs can be very expensive.

Why is the City endorsing this program?

In these difficult economic times, the City felt it was important to educate residents that they are responsible for the service lines on their property and to also inform you that there was a program offered through a reputable company that could potentially save you a lot of money.

Why is the City working with Service Line Warranties of America for this program?

This program was brought to the City through an Enterprise Program of the National League of Cities administered by Service Line Warranties of America. SLWA was selected by the NLC because of their high customer service and quality ratings. SLWA has been in business for nearly 10 years and has an A+ rating from the Better Business Bureau. In addition, SLWA was also unanimously selected by the North Central Texas Council of Governments (NCTCOG) as a shared service provider after a careful review and full vetting by a panel of independent cities.

Did the City pay for this mailing?

No. SLWA pays for all aspects of the program including marketing, customer service and repairs.

Does anyone in my City have an ownership position in SLWA or benefit personally from this program?

No. SLWA is independently owned and operated and no City official, employee or relative receives any personal compensation whatsoever. In other words, no one in your City is participating for personal gain.

What is in this Program for the City?

This program provides several benefits for the City. First, it educates residents of their service line responsibility. Secondly, SLWA only uses qualified local contractors so repair dollars stay within the community, which helps us all. Lastly, the City can be assured that all repairs are performed to code and that all appropriate permitting is pulled. This saves the City money because it encourages residents to report water and sewer leaks in a timely manner. Timely water line repairs conserve water and reduce water loss for the City. Timely sewer line repairs minimize wastewater pollution.

City Stakeholder FAQs

Is the City receiving any compensation from SLWA?

SLWA does offer the City itself compensation for allowing the use of the City seal on the letter. Why? The support of the City alerts residents of the legitimacy of the program resulting in more enrollments, which in turn allows SLWA to offer a lower price to the City's residents because of the increased participation.

Is there a minimum participation necessary for a City to stay in the program?

No, there is no minimum participation required.

Marketing Letters

A resident is upset because they did not receive the letter. Why didn't they?

SLWA purchases a list of city homeowners based on the city boundary map from an independent list vendor, Infogroup. Infogroup is an active member of the Direct Marketing Association and adheres to all industry guidelines and government laws regarding responsible use and distribution of personal information. Therefore, the resident may have at one time requested they be placed on a "Do Not Solicit" list which both Infogroup and SLWA would have to honor. Conversely, the US post office enforces that each address be registered as deliverable – the resident may have fallen off the list during the USPS "cleansing" which occurs before the letter can be put in the mail.

A resident is upset that the letter arrived in the name of their deceased spouse. Why did this happen?

SLWA purchases a list of city homeowners based on the city boundary map from an independent list vendor, Infogroup. Chances are that the source files used by this vendor have not been updated yet to reflect this change. If the resident elects to enroll, all future correspondence from SLWA to the resident will be corrected. SLWA cannot legally submit the requested name change to The Direct Mail Association (DMA), which is a national, non-profit organization, due to privacy laws.

A resident does not want to receive any solicitations. How can this be accomplished?

Contacting SLWA at 1-800-000-0000 will ensure that SLWA will not contact this resident again (keep in mind however that if the request comes in before the 2nd letter is sent, the customer will in fact receive the second letter because there is not an opportunity to pull it from the post office). If the customer does not want to receive any solicitations from anyone ever again, they will need to go directly to the Direct Mail Association (DMA), which is a national, non-profit organization which keeps a national repository of "DNS" requests. Neither SLWA nor Infogroup is legally allowed to submit the residents name to the DMA due to privacy laws.

What should a resident do if they want more information and did not get the letter?

The resident can call SLWA directly at 1-800-000-0000 to request information or get a copy of the letter sent to them. They can also visit SLWA's web site at www.utilitylineprotection.com to view the details and enroll.

Warranty Products

Utility Line Responsibility

Isn't my city or utility company responsible for my lines? If not, doesn't my Homeowner's Insurance cover this type of Repair?

Typically no. Most homeowners are surprised to learn that they are responsible for the repair and replacement of their broken or leaking utility lines, and most homeowners policies will pay to repair the damage created by failed utility lines but not for the repair itself. We encourage you to call your insurance company to determine your actual coverage. If you live in a condominium or duplex dwelling, we encourage you to contact your homeowners association to determine if you need this coverage prior to enrollment.

City Stakeholder FAQs

What part of my water or sewer line am I responsible for maintaining?

Homeowner responsibility varies greatly across the U.S. In some areas, the utility is responsible for the sewer lateral that runs from the main line to the right-of-way, property line or sewer clean-out near the curb. In other areas, the utility is not responsible for any portion of the lateral line that runs beyond the main line. For water service lines, the utility generally only covers the portion of the line from the main to the curb stop valve or water meter at the edge of the property. Regardless of these local differences, SLWA will provide coverage for the portion of the service line for which you are responsible.

Coverage

What causes cracks, holes or leaks in utility lines?

Time.

Wear and tear over time. It can be that simple. Over time, fittings can fail, pipes can corrode and your house can shift and settle. A small crack or pinhole develops and leads to a leak. Next thing you know, your utility line has failed.

Weather.

Freezing, thawing; rain, snow; each change of seasons brings with it a different challenge to your utility lines, and the potential for cracks and leaks.

Landscaping.

We all admire the beauty of a landscape graced with trees and shrubbery, but tree roots are not friends of your utility lines. Wrapping themselves around your lines, they will eventually cause cracks, leaks and clogs.

What items are included as part of the warranty?

The external water and/or sewer line warranty covers the underground service line from the foundation of your home to the point where the line becomes the utility's responsibility. If any part of the line is broken and/or leaking, SLWA will repair or replace the line in order to restore the service (including clearing tree roots from the water or sewer line).

What items are excluded as part of the warranty?

The water line warranty does not cover the costs of repairs to the meter or meter vault nor does it cover branch lines to sprinklers, pools, hot tubs, etc. The sewer line warranty does not cover septic systems. The warranties are designed to ensure that the homeowner has utility service to the primary residence for purposes of drinking, cooking and cleaning. Repairs for damages caused by the homeowner, a third party, natural disaster, act of God or by other insurable causes are also not covered. Complete Terms and Conditions for your residence can be viewed by visiting www.utilitylineprotection.com. You will be asked to enter your zip code to ensure the correct version is displayed.

Does the warranty include the inside of the house?

No. The external water and sewer line warranties do not provide coverage for inside the house.

Who replaces landscaping if damaged?

SLWA will provide basic restoration to the site. This includes filling in the holes, mounding the trench (to allow for settling) and raking and seeding the affected area. Restoration does not include replacing trees or shrubs or repairing private paved/concrete surfaces.

City Stakeholder FAQs

Is soil movement due to ground shifting covered?

Yes, ground shifting is one of the major causes for water and sewer line breaks. If the line is broken and leaking, the repair is covered under the warranty.

Is tree root damage covered?

Yes, invasive tree roots are another major cause for water and sewer line failures. If the line is broken, leaking or clogged, the repair is covered under the warranty.

Will the company inspect the lines for residents?

While SLWA reserves the right to inspect lines for pre-existing conditions, they generally do not inspect lines for residents to look for leaks or other problems. SLWA responds to customers who report a claim for a line leak, clog or other failure from normal wear and tear.

When does my warranty start?

Coverage begins 30 days after enrollment unless otherwise noted through a promotional letter.

The Coverage Cap looks adequate but does SLWA have an annual or lifetime restriction on how much they will pay to repair?

No. Unlike some other warranties available, SLWA provides you with the full coverage per incident. They will pay up to your coverage amount each and every time you need them. SLWA does not deduct prior repair expenses from your coverage cap or limit the amount they will pay annually.

What are the event caps for the warranty? What are the annual caps per household?

Coverage caps listed in the Terms & Conditions are per occurrence as follows:

Water — \$4,000 plus an additional \$500 for public sidewalk cutting, if necessary

Sewer — \$4,000 plus an additional \$4,000 for public street cutting, if necessary

There are no annual or lifetime caps for coverage. Coverage is provided on a per incident basis and all work is warranted for one year. It has been SLWA's experience that these coverage caps will more than adequately provide coverage 99.9% of the time. In the rare instance that the repair is greater than the coverage provided, SLWA will work closely with the contractor to provide the homeowner the additional work at SLWA's discounted cost.

If more than \$4,000 is required for repairs or public street cutting, does the resident cover the cost?

In the rare case that the repair exceeds \$4,000 the resident will be responsible for the difference. SLWA works very closely with its local contractors to avoid this situation and in the unlikely event this should occur, the customer enjoys pricing that would not otherwise be available from the contractor.

I cannot find my Terms and Conditions. How can I get another copy?

You may either call SLWA at 1-800-000-0000 to request another copy or visit www.utilitylineprotection.com and follow the navigation prompts under "Manage Account" to log in. Once logged-in, select "View Terms & Conditions" from the home screen. The warranty product(s) that are active on your account will be displayed. Once you make your selection, your Terms & Conditions will display as a .pdf. You can print or save them at this time in addition to viewing them online.

City Stakeholder FAQs

Eligible Dwelling Types

Is the program just for residents, or can businesses participate?

This program is only available for residential dwellings.

I live in a condominium. Am I responsible for my water or sewer line?

Please contact your homeowners association to determine if you are personally responsible for your water or sewer service line. If you are responsible and you have a single service line serving your dwelling, you are eligible to enroll. If you are served by a shared line, please contact SLWA at 1-800-000-0000 to determine eligibility.

Can my condominium association enroll in this program?

Yes. Because coverage issues can vary widely between associations, please call 1-800-000-0000 to speak with an employee who specializes in this custom coverage program.

Repairs

What do I do if I need a repair?

Simply call SLWA's 24-hour hotline number at 1-800-000-0000 to speak with one of their claim representatives. There are no forms or paperwork for you to complete. Once you report a claim, their contractor must call you within an hour to schedule an onsite visit, which typically occurs within 24 hours, but on a rare occasion could take as much as 48 hours - including holidays and weekends.

The vast majority of repairs are completed within 1–2 days of receiving the claim. Claims taking longer than a day are those which usually require utility line marking to prevent accidental damage to other lines on the property. At the completion of your repair, you will be sent a satisfaction survey. Results of these surveys are used to continually improve SLWA service levels and processes. SLWA has consistently enjoyed a 96% customer satisfaction rating (excellent and good categories).

What codes will SLWA adhere to? The current code? The original code at the time of installation?

If the line is broken and leaking, SLWA will repair or replace the leaking portion of the line according to the current code.

Who will do the repair work?

SLWA only employs qualified contractors from the local area who have the desire and ability to meet the high standards established by SLWA.

Contractors

How selective is SLWA when choosing contractors to conduct repairs?

SLWA is very particular when it comes to selecting contractors into their network. SLWA's objective is to provide the highest levels of customer service, and all SLWA contractors understand the importance of their role. SLWA works with local contractors that have both the desire and ability to meet their high customer service standards.

How many plumbers is SLWA going to work with in my City?

The number of plumbers depends on the number of households in the City. Generally, SLWA starts with a minimum of two contractors for the smallest cities, and adds one additional contractor for each 10,000 households of population.

What if the plumber does poor work?

SLWA screens local contractors to ensure that they have the desire and ability to meet the high standards

City Stakeholder FAQs

established. All work is guaranteed for one year. Any work that fails to meet the warranty or quality standards will be re-performed by the contractor or another contractor at no cost to the homeowner.

Billing

How will I be billed?

The choice is yours. SLWA can invoice you monthly, charge your card or deduct the monthly amount automatically from your checking account. You can make payments monthly or annually.

Is this a long-term commitment?

No. The contract is monthly and you may cancel your warranty at any time. If you have prepaid your contract and decide to cancel before the end of the term, you will be refunded the unused portion of your premium.

Am I able to pay my bill online?

Yes. Simply login to SLWA's web site (www.utilitylineprotection.com) and follow the navigation prompts under "Manage Account" to log in. Once logged-in, if you have already received an invoice, you can go online to pay your bill. Select "Make a Payment" from the home screen. You can choose to pay by credit card or bank draft, and you can choose to make a onetime payment or set your account up for recurring charges or drafts. You will receive an electronic receipt in your email after your transaction is complete. *If you have not yet received your first invoice but would like to prepay on your warranty service, please call Customer Service at 1-800-000-0000 to assist you.*

Can I set up recurring payments online?

Yes. Please visit www.utilitylineprotection.com and follow the navigation prompts under "Manage Account" to log in. Once logged-in, select "Update Payment Method" from the home screen. You will select the warranty products that you want to set up on a recurring payment method on the next screen. Follow the prompts to choose your new payment method (you can choose between Recurring Credit Card, Recurring Bank Account Withdrawal, and if you are already set up on a recurring payment method, you can also switch back to Invoice) and to provide the details on that payment method. You will receive an electronic receipt in your email after your transaction is complete.

Additional Questions?

This document contains answers to the most commonly asked questions you may encounter regarding the National League of Cities Service Line Warranty Program introduction. However, rest assured that Utility Service Partners is available to assist you at any time. For assistance, simply call (toll free) 1-800-000-0000 or email us at Partnerships@utilitysp.net and we would be happy to help.

Council endorses company's utility line warranty

BY SETH ROWE - SUN NEWSPAPERS

Because utility line replacements can create high, unexpected costs for homeowners, the St. Louis Park City Council has taken the unusual step of endorsing a private company's warranty program.

The City Council voted Aug. 6 to endorse a National League of Cities Service Line Warranty Program operated by Utility Service Partners Private Label, a Pennsylvania company that hopes to offer its services to all cities in the lower 48 states.

For a monthly fee, the company promises to provide utility line repairs using licensed local plumbers at no extra deductible or service fee cost. Utility Service Partners maintains a repair hotline that is open at all times.

The program "helps city residents save thousands of dollars on the high cost of repairing broken or leaking water or sewer lines," a Utility Service Partners brochure states.

The brochure adds, "USP administers the program and is responsible for marketing, billing, customer service, and performing all repairs to local code."

The company states the average cost of repairing a broken water line or sewer line ranges between \$1,200 and more than \$3,500. A St. Louis Park staff analysis states service line repair or replacement costs in St. Louis Park may range from several hundred dollars to as much as \$7,000.

The water line warranty covers repair costs from the city's main line to the

water meter of up to \$4,000 plus \$500 for public sidewalk cutting, if required. The sewer line warranty covers the sewer line from the city's main line to the pipe's entry to the home. Up to \$4,000 is covered for sewer line repairs with another \$4,000 available for cutting into the public street, if necessary. The coverage is available on a per-incident basis with no lifetime cap.

The coverage does not cover the cost of bringing utility lines up to code that are not in need of repair, according to the company's brochure.

Because the St. Louis Park City Council agreed to enter into a marketing agreement with Utility Service Partners, solicitation letters sent to homeowners will contain the city's logo.

Before the council agreed to endorse the company, City Attorney Tom Scott negotiated several points with Utility Service Partners in the marketing agreement. The company will be required to carry at least \$1 million in liability insurance. The city will be insured through the liability insurance as well. The revised agreement clarifies that St. Louis Park residents will receive a 10 percent rate discount through the agreement with the city. The city could have received royalty payments from the company but opted to provide the rate discount to residents instead.

St. Louis Park may also terminate the annual marketing agreement with a 60-day notice.

"Typically, service line repairs range in the several thousands of dollars and can create significant financial hardships

for an unprepared homeowner," St. Louis Park Public Works Director Mike Rardin states in an analysis of the program. "This warranty program is designed to transfer the risk of these costly repairs."

Rates will likely cost each homeowner \$6-9 per month per line, according to Rardin's report.

Buffalo and Columbia Heights have previously agreed to participate in the program while Chanhassen and South St. Paul have cited concerns regarding the program's lack of a track record in Minnesota and potential complaints from residents about using a city logo on the company's letterhead. Eagan is also investigating participation.

Rardin noted the National League of Cities provided favorable documentation about Utility Service Partners' management of the program elsewhere.

"City contacts have confirmed this is a good program and USP appears to be a reputable viable vendor," Rardin states in a staff report. "Based on the earlier staff evaluation and the due diligence results obtained by the City Attorney, staff feels this is a reliable credible program that could be of benefit to some residents in St. Louis Park."

Rardin said he anticipates between 2,000 and 3,000 St. Louis Park homeowners would sign up for the warranty program.

Councilmember Susan Sanger said the marketing materials should specify the city would not provide the service and any complaints should be addressed to Utility Service Partners.

Other council members said they have heard from many residents with concerns about utility line replacement bills.

"I know many people in Ward 3 have had issues with lines breaking, needing replacement, being dug up, and finding out that they have a huge bill, which for many people has been very frightening for people in these economic times," Councilmember Sue Santa said. "I'm kind of glad to see there's something available that staff has done due diligence on and checked out and vetted."

While Councilmember Anne Mavity said she had some reservations about partnering with a private company on a venture new to doing business in Minnesota, she said, "It seems to have panned out. I've had residents in Ward 2 hit with very large bills and that can be somewhat devastating for the people involved, so I would support this."

Currently in St. Louis Park, utility line replacement costs may be paid outright by property owners or paid through a special assessment process over a 10-year period. Interest currently set at 5.85 percent is charged. Rardin's report said major service line replacement takes place in a typical line every 50-75 years.

"Over the long term this program appears to be cost neutral to a homeowner," he notes.

St. Louis Park and Utility Service Partners will publicize the new warranty program through direct mail marketing. To learn more about the company, visit utilitysp.net.

May 30, 2012

The Honorable David Crase
Mayor
City of Garden City
301 North 8th
Garden City, KS 67846

**RE: Marketing Agreement with Utility Service Partners Private Label, Inc. d/b/a
Service Line Warranties of America (“SLWA”)**

Dear Mayor Crase:

We have discussed entering into a marketing agreement between the City of Garden City (the “City”) and SLWA.

SLWA provides affordable utility service line warranties to consumers. It is SLWA’s understanding that, in consideration of the License Fee (as defined below) to be paid by SLWA to City, City has agreed to cooperate with SLWA in marketing SLWA’s services to City’s residents and homeowners (the “Residents”) as described below:

1. City hereby grants to SLWA a non-exclusive license to use City’s name and logos on letterhead and marketing materials to be sent to the Residents from time to time, and to be used in advertising, all at SLWA’s sole cost and expense and subject to City’s prior review and approval, which will not be unreasonably conditioned, delayed, or withheld.
2. As consideration for such license, SLWA will be liable to pay to City, within 30 days of the end of the final calendar quarter, 10% of the revenue from USP warranty subscriptions collected from the Residents during such calendar year (the “License Fee”), together with a statement certifying collections of such USP revenue, so long as this marketing agreement remains in effect. City will have the right, at its expense, to conduct an annual audit, upon reasonable notice and during normal business hours, of SLWA’s books and records pertaining to sales and rentals to the Residents while this marketing agreement is in effect and for one year after any termination of this marketing agreement.
3. The term of this marketing agreement will be for one year from the date of the execution of the acknowledgement below and this agreement will then renew on an annual basis unless one of the parties gives the other advance written notice of at least 90 days that it does not intend to renew this marketing agreement. City may terminate this marketing agreement 30 days after giving notice to SLWA that SLWA is in material breach of this agreement if such breach is not cured during such 30-day period. SLWA will be permitted to complete any marketing initiative initiated or planned prior to the effective date of any termination of this marketing agreement and shall pay the License Fee to the City for the calendar year in which this marketing agreement is terminated after which time, except for SLWA’S obligation to permit City to conduct an audit as described above, neither party will have any further obligations to the other and the license described in this letter will terminate.

4. SLWA shall indemnify, hold harmless, and defend City, its elected officials, appointed officials, and employees from and against any loss, claim, liability, damage, or expense that any of them may suffer, sustain or become subject to in connection with any third party claim (each a "Claim") resulting from the negligence or willfulness of SLWA in connection with, arising out of or by reason of this marketing agreement, provided that the applicable indemnitee notifies SLWA of any such Claim within a time that does not prejudice the ability of SLWA to defend against such Claim. Any indemnitee hereunder may participate in its, his, or her own defense, but will be responsible for all costs incurred, including reasonable attorneys' fees, in connection with such participation in such defense.

If City agrees that the foregoing fully and accurately describes the agreement between City and SLWA, please arrange to have a duly authorized representative of City execute and date the acknowledgement below in each of the duplicate original versions of this letter and return one to me in the enclosed self-addressed stamped envelope.

If you have any questions or wish to further discuss this marketing agreement, please do not hesitate to contact **Brian Davis** via email at BDavis@utilitysp.net or by phone at (214) 476-3430.

Very truly yours,

Utility Service Partners Private Label, Inc.

By: _____

Print Name: Philip E. Riley, Jr.

Title: President & CEO

By: _____

Print Name: Brad H. Carmichael

Title: Vice President

Acknowledged and Agreed:

City hereby acknowledges and agrees that the foregoing letter fairly and accurately describes the agreement between City and SLWA as of the date of this acknowledgement.

City of Garden City, KS:

By: _____ Date: _____

Print Name: _____

Title: _____

May 30, 2012

The Honorable David Crase
Mayor
City of Garden City
301 North 8th
Garden City, KS 67846

**RE: Marketing Agreement with Utility Service Partners Private Label, Inc. d/b/a
Service Line Warranties of America ("SLWA")**

Dear Mayor Crase:

We have discussed entering into a marketing agreement between the City of Garden City (the "City") and SLWA.

SLWA provides affordable utility service line warranties to consumers. It is SLWA's understanding that, in consideration of SLWA offering its external sewer and external water line warranties (the "Warranties") at a 10% discount from its standard rates to the Residents (as defined below) the City has agreed to cooperate with SLWA in marketing SLWA's services to City's residents and homeowners (the "Residents") as described below:

1. City hereby grants to SLWA a non-exclusive license to use City's name and logos on letterhead and marketing materials to be sent to the Residents from time to time, and to be used in advertising, all at SLWA's sole cost and expense and subject to City's prior review and approval, which will not be unreasonably conditioned, delayed, or withheld.
2. As consideration for such license, SLWA shall offer the Warranties to the Residents at a rate that is 10% less than its standard rate for Warranties offered elsewhere.
3. The term of this marketing agreement will be for one year from the date of the execution of the acknowledgement below and this agreement will then renew on an annual basis unless one of the parties gives the other advance written notice of at least 90 days that it does not intend to renew this marketing agreement. City may terminate this marketing agreement 30 days after giving notice to SLWA that SLWA is in material breach of this agreement if such breach is not cured during such 30-day period. SLWA will be permitted to complete any marketing initiative initiated or planned prior to the effective date of any termination of this marketing agreement after which time, neither party will have any further obligations to the other and the license described in this letter will terminate.
4. SLWA shall indemnify, hold harmless, and defend City, its elected officials, appointed officials, and employees from and against any loss, claim, liability, damage, or expense that any of them may suffer, sustain or become subject to in connection with any third party claim (each a "Claim") resulting from the negligence or willfulness of SLWA in connection with, arising out of or by reason of this marketing agreement, provided that the applicable indemnitee notifies SLWA of any such Claim within a time that does not prejudice the ability of SLWA to defend against such Claim. Any indemnitee hereunder may participate in its, his, or her own defense,

but will be responsible for all costs incurred, including reasonable attorneys' fees, in connection with such participation in such defense.

If City agrees that the foregoing fully and accurately describes the agreement between City and SLWA, please arrange to have a duly authorized representative of City execute and date the acknowledgement below in each of the duplicate original versions of this letter and return one to me in the enclosed self-addressed stamped envelope.

If you have any questions or wish to further discuss this marketing agreement, please do not hesitate to contact **Brian Davis** via email at BDavis@utilitysp.net or by phone at (214) 476-3430.

Very truly yours,

Utility Service Partners Private Label, Inc.

By: _____

Print Name: Philip E. Riley, Jr.

Title: President & CEO

By: _____

Print Name: Brad H. Carmichael

Title: Vice President

Acknowledged and Agreed:

City hereby acknowledges and agrees that the foregoing letter fairly and accurately describes the agreement between City and SLWA as of the date of this acknowledgement.

City of Garden City, KS:

By: _____

Date: _____

Print Name: _____

Title: _____

Consent Agenda

MEMORANDUM

TO: GOVERNING BODY

FROM: Steve Cottrell

DATE: 16 November 2012

RE: SCHULMAN CROSSING – BYPASS RECONSTRUCTION BIDS

ISSUE

Bids were received today for the US-83 Reconstruction and Widening work for the Schulman Crossing project. The bid tabulation is attached.

BACKGROUND

Pursuant to the Development Agreement with Schulman Crossing Partners, LLC and the Development and Financing Agreement with Schulman Crossing Partners, LLC, and Menard, Inc., bids were received for the bypass construction for the Schulman Crossing commercial development.

Two bids were received, with the low bid being from Smoky Hill LLC, Salina, which is under the engineer's estimate. Smoky Hill is our contractor on the other roadwork for Schulman Crossing.

ALTERNATIVES

- 1) The Governing Body may accept the low bid and award a contract.
- 2) The Governing Body may reject the bids and be in default on the development agreements.

RECOMMENDATION

Staff recommends awarding the contract to Smoky Hill LLC, Salina, in the amount of \$2,238,761.97, and authorizing the Mayor and City Clerk to execute the contracts when the documents have been returned by the contractor.

FISCAL

The project is funded with \$2,000,000 in Corridor Management Construction funding from KDOT and by the temporary notes issued earlier this year and will be permanently financed with TIF bonds.



Engineering Department

Steven F. Cottrell, P.E.,
City Engineer

Alex L. Mestdagh, P.E.
Assistant City Engineer

CITY ADMINISTRATIVE
CENTER
301 N. 8TH
P.O. BOX 998
GARDEN CITY, KS
67846-0998
620.276.1130
FAX 620.276.1137
www.garden-city.org

CITY OF GARDEN CITY, KANSAS
ENGINEERING DEPARTMENT

TABULATION OF BIDS
November 16, 2012
10:00 A.M.

US-83 RECONSTRUCTION & WIDENING
PROJECT # 28 KA-3116-02

BIDDER	TOTAL BID	COMMENT
ENGINEER'S ESTIMATE	\$ 3,105,400.55	
Smoky Hill, LLC Salina	\$ 2,328,761.97	LOW
J-A-G Construction Co. Dodge City	\$ 3,147,475.74	

US-83 RECONSTRUCTION & WIDENING

PROJECT # 28 KA-3116-02

				Engineer's Estimate		Smoky Hill, LLC Salina		J-A-G Construcion Co. Dodge City	
No.	Bid Item	Unit	Quan	UNIT COST	TOTAL COST		TOTAL COST	UNIT COST	TOTAL COST
1	Contractor Construction Staking	Lump Sum	1	\$90,000.00	\$ 90,000.00	\$ 10,500.00	\$ 10,500.00	\$ 17,500.00	\$ 17,500.00
2	Field Office and Laboratory (Type A)	Each	1	\$6,875.00	\$ 6,875.00	\$ 5,300.00	\$ 5,300.00	\$ 20,000.00	\$ 20,000.00
3	Foundation Stabilization (Set)	Cu. Yd	1	\$40.00	\$ 40.00	\$40.00	\$ 40.00	\$40.00	\$ 40.00
4	Granular Backfill (Wingwalls) (Set)	Cu. Yd	1	\$50.00	\$ 50.00	\$50.00	\$ 50.00	\$50.00	\$ 50.00
5	Mobilization	Lump Sum	1	\$155,000.00	\$ 155,000.00	\$ 58,000.00	\$ 58,000.00	\$ 238,000.00	\$ 238,000.00
6	Removal of Existing Structures	Lump Sum	1	\$15,000.00	\$ 15,000.00	\$ 6,050.00	\$ 6,050.00	\$ 9,000.00	\$ 9,000.00
7	Restoration and Maintenance of Haul Roads (Set)	Lump Sum	1	\$5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
8	Clearing and Grubbing	Lump Sum	1	\$5,000.00	\$ 5,000.00	\$ 6,500.00	\$ 6,500.00	\$ 3,000.00	\$ 3,000.00
9	Common Excavation	Cu. Yd	9,953	\$3.00	\$ 29,859.00	\$ 9.20	\$ 91,567.60	\$ 6.50	\$ 64,694.50
10	Rock Excavation	Cu. Yd	4,125	\$12.35	\$ 50,943.75	\$ 10.45	\$ 43,106.25	\$ 18.25	\$ 75,281.25
11	Compaction of Earthwork (Type AA)(MR-0-5)	Cu. Yd	2,515	\$3.44	\$ 8,651.60	\$ 2.40	\$ 6,036.00	\$ 3.50	\$ 8,802.50
12	Compaction of Earthwork (Type A)(MR-90)	Cu. Yd	6,791	\$0.10	\$ 679.10	\$ 1.40	\$ 9,507.40	\$ 1.75	\$ 11,884.25
13	Water (Grading)(Set)	M-gal.	1	\$35.00	\$ 35.00	\$ 35.00	\$ 35.00	\$ 35.00	\$ 35.00
14	Concrete (Grade 4.0)	Cu. Yd	68.1	\$416.00	\$ 28,329.60	\$ 420.00	\$ 28,602.00	\$ 465.00	\$ 31,666.50
15	Concrete (Grade 4.0) (AE)	Cu. Yd	25.3	\$730.00	\$ 18,469.00	\$ 420.00	\$ 10,626.00	\$ 465.00	\$ 11,764.50
16	Reinforcing Steel (Gr. 60)	Lbs.	3320	\$1.01	\$ 3,353.20	\$ 1.50	\$ 4,980.00	\$ 1.65	\$ 5,478.00
17	Reinforcing Steel (Gr. 60) (Epoxy Coated)	Lbs.	7680	\$1.16	\$ 8,908.80	\$ 1.50	\$ 11,520.00	\$ 1.65	\$ 12,672.00
18	5 ft^2 Cross Road Pipe (RCPHE)	Lin Ft.	98	\$63.00	\$ 6,174.00	\$ 80.00	\$ 7,840.00	\$ 110.00	\$ 10,780.00
19	5 ft^2 End Section (RCHE)	Each	2	\$935.00	\$ 1,870.00	\$ 680.00	\$ 1,360.00	\$ 1,350.00	\$ 2,700.00
20	Curb and Gutter (Combined) (AE)	Lin Ft.	531.2	\$15.00	\$ 7,968.00	\$ 16.00	\$ 8,499.20	\$ 25.00	\$ 13,280.00
21	Concrete Pavement (8" Uniform) (AE) (NRDJ)	Sq Yds	1081	\$135.00	\$ 145,935.00	\$ 43.75	\$ 47,293.75	\$ 53.60	\$ 57,941.60
22	Concrete Pavement (11.5" Uniform) (AE) (NRDJ)	Sq Yds	15177	\$77.50	\$ 1,176,217.50	\$ 52.35	\$ 794,515.95	\$ 73.00	\$ 1,107,921.00
23	Concrete Pavement (8" Uniform) (AE) (Plain) (Shoulder)	Sq Yds	7890	\$38.50	\$ 303,765.00	\$ 36.25	\$ 286,012.50	\$ 49.00	\$ 386,610.00
24	Cement Treated Base (4")	Sq Yds	16933	\$8.50	\$ 143,930.50	\$ 13.40	\$ 226,902.20	\$ 20.75	\$ 351,359.75
25	Fly Ash Treated Subgrade (6")	Sq Yds	16599	\$2.50	\$ 41,497.50	\$ 6.35	\$ 105,403.65	\$ 6.75	\$ 112,043.25
26	Granular Base (7.5")	Sq Yds	7890	\$14.00	\$ 110,460.00	\$ 6.85	\$ 54,046.50	\$ 5.00	\$ 39,450.00
27	Combined Material (AB-2) (6")	Sq Yds	1,287	\$6.50	\$ 8,365.50	\$ 5.80	\$ 7,464.60	\$ 5.00	\$ 6,435.00
28	Traffic Signal - Schulman & Lareu	Lump Sum	1	\$250,000.00	\$ 250,000.00	\$ 122,475.00	\$ 122,475.00	\$ 135,567.00	\$ 135,567.00
29	Traffic Signal - US-50 & Schulman	Lump Sum	1	\$250,000.00	\$ 250,000.00	\$ 171,750.00	\$ 171,750.00	\$ 190,000.00	\$ 190,000.00
30	Traffic Signal - US-50 & K-156	Lump Sum	1	\$40,000.00	\$ 40,000.00	\$ 43,200.00	\$ 43,200.00	\$ 48,000.00	\$ 48,000.00
31	Sign (Flat Sheet) (High Performance)	Sq Ft	199.42	\$15.00	\$ 2,991.30	\$ 24.45	\$ 4,875.82	\$ 27.00	\$ 5,384.34
32	Sign Post (4" x 6" Wood) (Flat Sheet Sign)	ft	553	\$10.00	\$ 5,530.00	\$ 19.15	\$ 10,589.95	\$ 21.00	\$ 11,613.00
33	Sign Post Footing (18" Wood Post Concrete)	ft	90	\$100.00	\$ 9,000.00	\$ 265.70	\$ 23,913.00	\$ 300.00	\$ 27,000.00
34	Pavement Marking (Epoxy) (White) (6")	ft	8023	\$0.35	\$ 2,808.05	\$ 1.05	\$ 8,424.15	\$ 1.20	\$ 9,627.60
35	Pavement Marking (Epoxy) (Yellow) (4")	ft	4473	\$0.25	\$ 1,118.25	\$ 0.65	\$ 2,907.45	\$ 0.70	\$ 3,131.10
36	Pavement Marking (Epoxy) (Yellow) (6")	ft	678	\$0.35	\$ 237.30	\$ 1.05	\$ 711.90	\$ 1.20	\$ 813.60
37	Pavement Marking (Epoxy) (Yellow) (12")	ft	354	\$0.90	\$ 318.60	\$ 2.15	\$ 761.10	\$ 2.50	\$ 885.00
38	Pavement Marking Symbol (PTP) (W) Rt	Each	13	\$150.00	\$ 1,950.00	\$ 210.00	\$ 2,730.00	\$ 225.00	\$ 2,925.00
39	Pavement Marking Symbol (PTP) (W) Lt	Each	12	\$150.00	\$ 1,800.00	\$ 210.00	\$ 2,520.00	\$ 225.00	\$ 2,700.00
40	Pavement Marking Symbol (PTP) (W) Thru-Lt	Each	5	\$150.00	\$ 750.00	\$ 265.00	\$ 1,325.00	\$ 300.00	\$ 1,500.00
41	Pavement Marking Symbol (PTP) (W) ONLY	Each	16	\$280.00	\$ 4,480.00	\$ 320.00	\$ 5,120.00	\$ 350.00	\$ 5,600.00
42	Pavement Marking (Preformed Thermoplastic) (White) (24")	ft	240	\$8.50	\$ 2,040.00	\$ 21.25	\$ 5,100.00	\$ 23.50	\$ 5,640.00
43	TWPC	Lump Sum	1	\$50,000.00	\$ 50,000.00	\$ 9,100.00	\$ 9,100.00	\$ 8,700.00	\$ 8,700.00
44	Seeding	Lump Sum	1	\$20,000.00	\$ 20,000.00	\$ 10,600.00	\$ 10,600.00	\$ 12,000.00	\$ 12,000.00
45	Traffic Control	Lump Sum	1	\$90,000.00	\$ 90,000.00	\$ 65,900.00	\$ 65,900.00	\$ 73,000.00	\$ 73,000.00
TOTAL				\$	3,105,400.55	\$	2,328,761.97	\$	3,147,475.74

EASEMENT

In consideration of the sum of One Dollar and other valuable consideration, the receipt of which is hereby acknowledged, the undersigned,

WORF LAND, LLC

their successors and assigns, hereby grant to the City of Garden City, Kansas (City), its successors, assigns, lessees, agents, franchisees, and all others granted the right to use or occupy a City right-of-way or easement, the non-exclusive right, privilege, and authority to construct, erect, maintain, repair, reconstruct, operate, or remove a line or lines for all City operated, franchised, or otherwise authorized, utilities, including but not limited to electric, water, sanitary sewer, gas, and telecommunications lines and ancillary equipment, on and under the surface of the following described real estate:

SEE EXHIBITS A, B, AND C

together with the rights and privileges therein necessary for the full enjoyment thereof, including the right of ingress and egress, from the nearest public right-of-way. It is further expressly provided that all lines and other infrastructure may only be located below the surface, except the following specific items may be located above-ground – pedestals, manholes, water valve boxes – but in no event will any utility lines be run on or above the surface of the ground. The easement in Exhibit C is for City Electric use only. The City or other authorized utility shall be responsible for surface restoration to the satisfaction of the Grantor. This Easement shall run with the land.

It is expressly understood that the undersigned, in granting the use herein specified, have done so without divesting themselves of the use and enjoyment of the described premises, subject only to the rights of the City, its successors, assigns, lessees, agents, and franchisees to use the same for the purposes herein specified. Grantor's reserved surface rights include without limitation the right to cover any part of the easement area except where City's permitted above-ground installations exist, with paving, concrete, other hard-surface, gravel or sand material to install and maintain a parking area, access drive, road or sidewalk, and install signage; and City's restoration obligation includes restoring any such improved area.

IN WITNESS WHEREOF, the Grantors have caused this Easement Agreement to be signed this 7th day of November, 2012.

WORF LAND LLC

Mark Worf
MARK WORF, CO-MANAGER

STATE OF KANSAS)
) ss.
COUNTY OF FINNEY)

BE IT REMEMBERED, that on the 7th day of November, 2012, before me, a Notary Public in and for the County and State aforesaid, came **MARK WORF, CO-MANAGER, WORF LAND LLC** who is personally known to me to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have subscribed my name and affixed my seal as of the day and year last above written.

My Commission Expires:
06-29-13

Celyn N. Hurtado
Notary Public

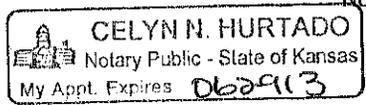
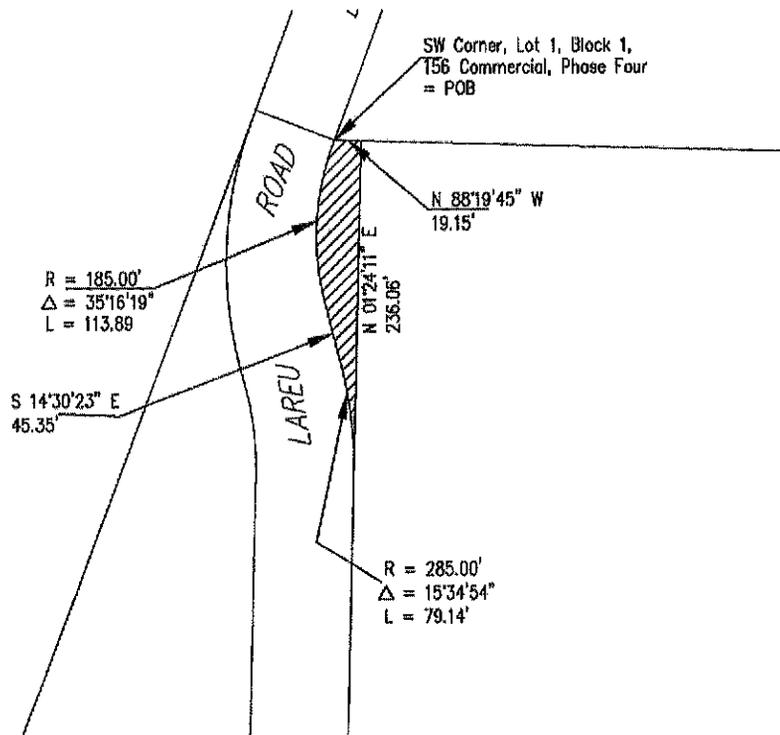
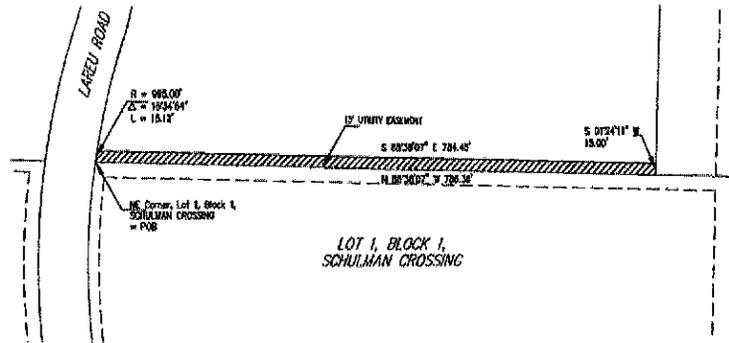


EXHIBIT A



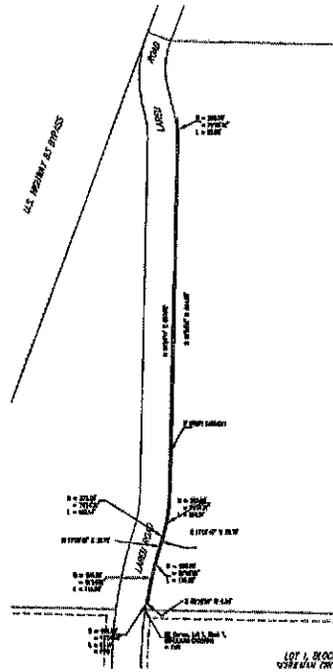
A Utility Easement in the SE Quarter of Section 9, T24S, R32W, Finney County, more particularly described as follows: Beginning at the Southwest corner of Lot 1, Block 1, 156 Commercial, Phase Four, thence Southerly along the East line of Lareu Road as platted by Schulman Crossing, along a curve to the East, with a radius of 185.00 feet and a length of 113.89 feet; thence S 14°30'23" E 43.35 feet; thence along a curve to the West, with a radius of 285.00 feet and a length of 79.14 feet; thence N 01°24'11" E, 236.06 feet, to the south line of 156 Commercial, Phase Four; thence N 88°19'45" W, 19.15 feet to the point of Beginning. Said tract containing 4,173.3 sq. ft., more or less.

EXHIBIT B



A 15 foot Utility Easement in the SE Quarter of Section 9, T24S, R32W, Finney County, more particularly described as follows: Beginning at the Northwest corner of Lot 1, Block 1, Schulman Crossing, thence Northerly along the East line of Lareu Road as platted by Schulman Crossing, along a curve to the East, with a radius of 995.00 feet and a length of 15.12 feet; thence S 88°38'07" E 784.45 feet, a long a line parallel with the north line of Block 1, Schulman Crossing; thence S 01°24'11" W, 15.00 feet, along the West line of Reserve A, Schulman Crossing, to the north line of Block 1, Schulman Crossing; thence N 88°38'07" W, 786.36 feet to the point of Beginning. Said tract containing 11,781.3 sq. ft., more or less.

EXHIBIT C



A 5 foot Utility Easement, for City Electric use only, in the SE Quarter of Section 9, T24S, R32W, Finney County, more particularly described as follows: Commencing at the Northwest corner of Lot 1, Block 1, Schulman Crossing, thence Northerly along the East line of Lareu Road as platted by Schulman Crossing, along a curve to the East, with a radius of 995.00 feet and a length of 15.12 feet to the Point of Beginning; thence continuing along the East line of Lareu Road along a curve to the East, with a radius of 995.00 feet and a length of 140.66 feet; thence N 17°09'40" E 25.19 feet; thence along a curve to the West, with a radius of 375.00 feet and a length of 103.14 feet; thence along the East line of Lareu Road and its extension, N 01°24'11" E, 897.62 feet, thence along a curve to the East, with a radius of 290.00 feet and a length of 53.92 feet; thence along a line parallel with the East line of Lareu Road, S 01°24'11" W, 844.00 feet; thence along a curve to the West, with a radius of 380.00 feet and a length of 104.51 feet; thence S 17°09'40" W 25.19 feet thence along a curve to the East, with a radius of 990.00 feet and a length of 139.28 feet; thence N 88°38'07" W, 5.04 feet to the point of Beginning. Said tract containing 5,743.9 sq. ft., more or less.

INDIGENT DEFENSE AGREEMENT

THIS AGREEMENT, made and entered into this ____ day of November, 2012, by and between the CITY OF GARDEN CITY, KANSAS (CITY), and LARA BLAKE BORS (COUNSEL).

WHEREAS, CITY desires to retain an attorney licensed in the State of Kansas to represent indigent defendants who qualify for court-appointed attorneys in the Municipal Court of the City (Municipal Court), and

WHEREAS, CITY is desirous of protecting the Constitutional and statutory rights of indigent defendants who appear before the Municipal Court, and

WHEREAS, COUNSEL is desirous of contracting with CITY to provide legal representation for indigent defendants.

NOW, THEREFORE, in consideration of the terms and conditions set forth below, the parties agree as follows:

1. RETENTION. CITY hereby retains COUNSEL to provide legal representation in the Municipal Court for individuals qualifying as indigent defendants in cases where there is the possibility of incarceration. The nature of the cases involved will primarily be the offenses of Driving While Under the Influence of Alcohol and/or Drugs, Driving While License Cancelled, Suspended, or Revoked, Domestic Battery, and Possession of Marijuana or Drug Paraphernalia, as well as other infractions or ordinances as defined by the Code of Ordinances of CITY, the Standard Traffic Ordinances for Kansas Cities, and the Uniform Public Offense Code for Kansas Cities.

2. SCOPE OF REPRESENTATION. COUNSEL shall be retained by CITY to represent indigent defendants in all proceedings before the Municipal Court, and shall include services required for trial, entry of plea, post-sentencing proceedings, and/or diversion. In addition, COUNSEL shall be retained to provide representation for indigent defendants should a matter be appealed to the District Court of Finney County or the appellate courts of the State of Kansas.

3. TERM. The term of this Agreement shall begin on the date it is approved by both parties and end December 31, 2013. The parties shall meet to confer at least sixty (60) days prior to the end of the term to determine if the terms and conditions of this Agreement need to be modified. Notwithstanding any term specified in this paragraph, either party may terminate this Agreement by giving not less than sixty (60) days written notice to the other party. Upon termination of this Agreement, and expiration of the notice period, neither party shall have any further responsibility under this Agreement, other than the obligation of CITY to pay COUNSEL for services already rendered up to date of termination.

4. PAYMENT. CITY shall pay to COUNSEL for the legal representation to be provided by COUNSEL, the amount of Three Hundred Dollars (\$300.00) per case to which COUNSEL may be appointed by the Municipal Court, except post-sentence matters. In all post-sentence matters to which COUNSEL may be appointed, CITY shall pay to COUNSEL, the amount of Two Hundred Dollars (\$200.00) per case. In addition, CITY shall pay the following expenses incurred by COUNSEL: witness fees, translator fees (subject to below), expert witness fees, long distance telephone calls, and depositions. The per case fee to be paid to COUNSEL is a flat fee, regardless of hours spent by COUNSEL or the nature of resolution of a case. Should a matter be appealed to the District Court of Finney County or an appellate court of the State of Kansas, CITY shall pay to COUNSEL the sum of Seventy-five Dollars (\$75.00) per hour up to a maximum fee of One Thousand Five Hundred Dollars (\$1,500.00) per case which is appealed. In addition, CITY shall reimburse COUNSEL for actual expenses involved in an appeal within the scope of expenses delineated above, with the exception that CITY shall also be responsible for travel, lodging, and brief expenses should such expenses be incurred in conjunction with an appeal before an appellate court of the State of Kansas. Translator fees shall be paid at a rate not to exceed Twenty-five Dollars (\$25.00) per hour, with a total for each case not to exceed Seventy-five Dollars (\$75.00). Any extraordinary expenses sought to be incurred by COUNSEL should be approved by the Municipal Court prior to expenditure.

In all cases, other than post-sentence matters, where COUNSEL is appointed and an indigent defendant leaves the jurisdiction of the Municipal Court or otherwise absents himself/herself from the Municipal Court or fails to appear at Court-ordered hearings for a period of three (3) months, or the indigent defendant hires private counsel, COUNSEL may file a Motion to Withdraw as counsel with the Municipal Court. Upon the granting of the Motion to Withdraw, COUNSEL shall be paid for the appointment as follows: (a) in the amount of One Hundred Fifty Dollars (\$150.00) if the withdrawal is prior to entry of plea; or (b) Three Hundred Dollars (\$300.00) if the withdrawal is after entry of plea. In all post-sentence matters, COUNSEL shall be paid for the appointment as follows: (a) in the amount of One Hundred Dollars (\$100.00) if the withdrawal is prior to entry of admission/denial; or (b) in the amount of Two Hundred Dollars (\$200.00) if the withdrawal is after entry of admission/denial.

In all cases where COUNSEL is appointed and it is determined that an ethical conflict exists in continued representation of an indigent defendant by COUNSEL, COUNSEL shall be paid the amount of Fifty Dollars (\$50.00) upon withdrawal from representation.

5. METHOD OF PAYMENT. When a case is finalized by COUNSEL, either through execution of a diversion agreement, entry of a plea of guilty or trial with subsequent sentence, acquittal, or dismissal, COUNSEL shall submit a voucher to CITY for payment. Further, COUNSEL shall submit a voucher for payment on a monthly basis, for all cases completed during a month. CITY shall timely pay all vouchers submitted. CITY may require proof of expenditure for all expenses requested to be reimbursed.

6. SELECTION OF COUNSEL. The Municipal Court shall maintain a list of the names of counsel contracting with CITY to provide indigent defendant representation. The Municipal Court shall select counsel for a case on a rotating basis. Should COUNSEL have a conflict in a particular case, the Municipal Court shall pass over COUNSEL for that particular case and then assign COUNSEL to the next case. COUNSEL reserves the right to refuse appointments based upon availability of resources and the ability to meet professional responsibility obligations to other clients. CITY shall have the right to retain as many attorneys as may be necessary to meet the needs of indigent defendants appearing before the Municipal Court.

7. INDEPENDENT CONTRACTOR. COUNSEL shall be considered an independent contractor, and not an employee of CITY. COUNSEL acknowledges and agrees that she is an independent contractor, and not an employee of CITY.

8. DISCHARGE OF DUTIES. COUNSEL agrees to strictly abide by the Model and Kansas Rules of Professional Conduct. In addition, COUNSEL agrees to zealously represent the rights and interests of all indigent defendants to whom COUNSEL might be appointed to represent, and afford all indigent defendants the representation to which they are entitled by reason of the Constitutions of the United States and the State of Kansas, and federal and state statutory laws.

9. AVAILABILITY OF FUNDS. In the event sufficient funds are not appropriated by the Governing Body of CITY for payment required under the terms and conditions of this Agreement, CITY may terminate this Agreement pursuant to the notice requirements of paragraph 3 above. In addition, CITY represents, covenants, warrants that it is a political body constituting a political subdivision existing under the laws of the State of Kansas, and thereby, CITY has been approved by the Constitution and laws of the State of Kansas to enter into this Agreement and effect all of CITY's obligations under this Agreement. CITY further acknowledges that it has been duly authorized to execute and deliver this Agreement to COUNSEL and that all necessary actions by the Governing Body of CITY have been taken. This Agreement is subject to change or termination by the legislature of the State of Kansas.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

CITY OF GARDEN CITY, KANSAS

By _____

DAVID D. CRASE, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

COUNSEL



LARA BLAKE BORS

APPROVED AS TO FORM:

RANDALL D. GRISELL

City Counselor



Welcomes The City of Garden City

Effective coverage date January 1, 2013

Kansas Municipal Insurance Trust
300 SW 8th Avenue
Topeka, KS 66603





300 SW 8th Avenue
Topeka, KS 66603
Telephone: (785) 354-9565
Fax: (785) 354-4186

November 8, 2012

**Kansas Municipal
Insurance Trust**

**2012/2013
Board of Trustees**

Larry Paine
President
Hillsboro

Herb Llewellyn
Vice President
El Dorado

Debra Mootz
Treasurer
Roeland Park

Bobby Busch
Past President
Neodesha

Sasha Stiles
Andover

Doug Gerber
Goodland

Mac Manning
Peabody

Debbie Price
Marysville

Clausie Smith
Bonner Springs

Keith Schlaegel
Stockton

Don Moler
Executive Director
Ex Officio

Don Osenbaugh
Pool Administrator

Michelle Stegman
Human Resource Director
301 N. 8th St.
Garden City, KS 67846

Dear Michelle:

I would like to welcome the City of Garden City to KMIT! My name is Deanna Furman, and I am KMIT's Office Administrator as well as a licensed insurance agent.

Enclosed, please find your city's Welcome Packet, which includes instructions for joining KMIT as well as other materials for your use. The attached Word document is a City Information Form. Please complete and return this form to me at your earliest convenience.

Please note we have included KMIT workers' compensation accident procedures and safety posters for your City's use. We suggest the placement of these posters in every city worksite (city hall, wastewater plant, public works shop, etc.). Please feel free to e-mail me if you need more posters.

Also, enclosed are claims flyers with your KMIT Claims Adjuster's contact information. Please remember all claims and/or medical bills must be sent to the city's adjuster.

If you have any questions, please feel free to contact me at the above phone number or by email dfurman@lkm.org. Thank you and welcome aboard.

Sincerely,

Deanna Furman
KMIT Office Administrator/Agent

Enc.





Instructions for Joining KMIT

We are very excited that the City of Garden City decided to become a member of KMIT. There are a few formalities, which need to be completed to formalize your membership.

The governing body must take legislative action to join KMIT. The necessary steps are listed below and the forms are attached.

1. **Adopt the Resolution.** Four copies of the Resolution should be signed. The governing body needs to adopt the resolution to join KMIT. This resolution authorizes the Mayor to execute the Bylaws and Interlocal Agreement.
2. **Execute the Bylaws and Interlocal Agreement.** Four copies of the KMIT bylaws should be signed. The Mayor should sign all four of these documents, thereby executing the agreement.
3. **File Documents with the County Register of Deeds.** One original of the Resolution to join and Bylaws/Interlocal Agreement should be filed with your County Register of Deeds.
4. **Return Documents to the KMIT.** Return two originals of the Resolution and two originals of the executed Bylaws/Interlocal Agreement to KMIT. Keep one set of the originals for your files.
5. **Execute the Notice Pursuant to K.S.A. 12-2626.** The Mayor must sign both originals of the Notice Pursuant to K.S.A. 12-2626 and return one of the signed originals to KMIT.

Please have these documents executed and returned to Deanna Furman as soon as possible.

If you have any concerns or questions about KMIT, please feel free to contact Don Osenbaugh at (316) 259-3847.

We are looking forward to having you as a member!

NOTICE

PURSUANT TO K.S.A. 12-2626

The proposed Kansas Municipal Insurance Trust is a group-funded pool formed through the Kansas Municipal Group-Funded Pool Act, K.S.A. 12-2616, et seq. The group-funded pool is not an insurance company subject to the general laws and rules and regulations relating to insurance companies; and the group-funded pool is subject to separate regulation by the Kansas Insurance Department as authorized by state statute and cannot commence or continue operations without a certificate of authority. Such authorization does not constitute an endorsement or recommendation of the coverage provided.

ACKNOWLEDGEMENT AND RECEIPT OF NOTICE
ON BEHALF OF _____, KANSAS

By: _____
Mayor

Date: _____

RESOLUTION NO. _____

_____, **STATE OF KANSAS**

WHEREAS, the Governing Body of _____, has authority under the Kansas Municipal Group-Funded Pool Act, K.S.A. 12-2616, et seq., as amended, and the Interlocal Cooperation Act, K.S.A. 12-2901, et seq., as amended, to participate in and form a group-funded pool for workers compensation coverage; and

WHEREAS, the _____ has reviewed an agreement to cooperate with other municipalities to form such group-funded pool entitled Bylaws and Interlocal Cooperation Agreement for the Kansas Municipal Insurance Trust, a copy of which is attached hereto and incorporated by reference in this Resolution.

NOW THEREFORE, BE IT RESOLVED BY THE _____ OF THE ABOVE STATED MUNICIPALITY THAT:

1. The Bylaws and Interlocal Cooperation Agreement for the Kansas Municipal Insurance Trust, a copy of which is attached hereto and incorporated by reference into this Resolution, is hereby approved.

2. The Mayor is hereby authorized and directed to sign the Agreement on behalf of the municipality.

3. Neither this Resolution nor the Agreement approved hereby is intended to nor does it waive, nor shall it be construed as waiving, any immunity or limitation on liability provided to the League, its offices or employees, by any law, including but not limited to any such immunity or limitation appearing in the Kansas Tort Claims Act or amendments thereto. Furthermore, neither this Resolution or the Agreement is intended to, nor does it provide for coverage in excess of the limitation on liability within the Workers Compensation Act, K.S.A. 44-501 et seq., or amendments thereto.

4. The municipality understands and further by execution of this Resolution and the Agreement agrees that it will comply with the requirements of the Workers Compensation Act and amendments thereto and further understands that in accordance with the **BYLAWS AND INTERLOCAL COOPERATION AGREEMENT THAT THE INDIVIDUAL MEMBERS OF THE COOPERATION MAY BE SUBJECT TO ASSESSMENT OF ADDITIONAL CONTRIBUTIONS UNDER THE CIRCUMSTANCES DESCRIBED IN THE AGREEMENT.**

5. One copy of the signed Agreement shall be mailed to the Executive Director of the League of Kansas Municipalities along with a copy of this Resolution, one copy of the signed Agreement shall be filed with the County Register of Deeds, and one copy of the signed Agreement shall be filed with the Secretary of State of the State of Kansas.

The foregoing Resolution was adopted by a majority vote of the Governing Body of the above-named municipality, State of Kansas, on this ____ day of _____, 200 ____.

Mayor

ATTEST:

City Clerk

Kansas Municipal Insurance Trust



Bylaws and Interlocal Cooperation Agreement

Revised October 7, 2012



BY-LAWS AND INTERLOCAL COOPERATION AGREEMENT FOR THE KANSAS MUNICIPAL INSURANCE TRUST

*Amended – effective October 7, 2012**

In consideration of the mutual covenants contained herein, this interlocal cooperation Agreement is made and entered into by and among Kansas municipalities which execute this Agreement and become members of the Kansas Municipal Insurance Trust (“KMIT” or “the Trust”), each of which hereby agrees to abide by the terms and conditions of this Agreement and all actions taken pursuant to this Agreement.

ARTICLE 1. Authority.

1.1 The Kansas Municipal Group-Funded Pool Act, K.S.A. 12-2616, et seq., as amended and the Interlocal Cooperation Act, K.S.A. 12-2901, et seq., as amended, authorize this Agreement and the powers commonly held and to be jointly exercised by Kansas municipalities which become members of the Kansas Municipal Insurance Trust.

ARTICLE 2. Definitions.

As used in this Agreement, the following terms shall have the meaning hereinafter set out:

- 2.1 Act. The Kansas Municipal Group-Funded Pool Act, K.S.A. 12-2616, et seq., as amended from time to time.
- 2.2 Administrator. An individual designated by the KMIT Board of Trustees.
- 2.3 Agreement. The Bylaws and Interlocal Cooperation Agreement for the Kansas Municipal Insurance Trust.
- 2.4 Board of Trustees or Board. The Board of Trustees of the Trust.
- 2.5 Bylaws. The Bylaws and Interlocal Cooperation Agreement for the Kansas Municipal Insurance Trust.
- 2.6 Contributions. Amounts paid by members to receive the benefits of the Trust.
- 2.7 Member. A Kansas municipality which adopts this Agreement and becomes a member of the Trust.
- 2.8 Municipality. Any Kansas city and the League of Kansas Municipalities.

- 2.9 Pool. The Kansas Municipal Insurance Trust.
- 2.10 Representative. The person designated pursuant to Section 11.1b to be a member's official representative for the purposes of the Trust.
- 2.11 Trust. The Kansas Municipal Insurance Trust.
- 2.12 Trustee. A person serving on the Board.

ARTICLE 3. Purposes.

- 3.1 The purposes of this Agreement are to:
- a. Form a group-funded Pool, known as the Kansas Municipal Insurance Trust, as permitted by the Act, to fund through joint self-insurance, excess insurance, reinsurance, or other lawful manner, obligations imposed upon employers under the workers' compensation Act as described in articles 5 and 5a of Chapter 44 of the Kansas Statutes Annotated, as from time to time amended, and to take any action authorized by law or as determined by the Board, with the powers set forth in this Agreement; and
 - b. Provide, through the Trust, certain claims and risk management services related to the workers' compensation liabilities so pooled, and assist members in reducing and preventing such workers' compensation liabilities.

ARTICLE 4. Creation of Trust.

- 4.1 There is hereby created the Kansas Municipal Insurance Trust as a separate legal public entity, constituting an interlocal governmental agency as provided by law. The Trust shall continue in effect until dissolved in accordance with this Agreement.
- 4.2 The Trust is formed, financed, organized, and shall operate in accordance with the provisions of this Agreement. This Agreement constitutes the bylaws of the Trust.
- 4.3 The Trust may sue and be sued.
- 4.4 In accordance with the provisions of the Interlocal Cooperation Act, this Agreement shall be submitted to the Attorney General to determine whether it is in proper form and compatible with the laws of Kansas, and to such other state officers encompassed by this Agreement, as may be required by the Interlocal Cooperation Act or other laws of this state, and to the Commissioner of Insurance as part of the application and certification process to establish a group-

funded Pool under the Act. Any municipality which enters into this Agreement shall file a copy of the Agreement with its Register of Deeds and with the Secretary of State, in accordance with the provisions of K.S.A. 12-2905, and amendments thereto.

- 4.5 This Agreement shall take effect and may be amended and shall continue in effect until the Trust is dissolved, all as provided herein.
- 4.6 This Agreement does not establish an insurance company, nor shall the benefits or obligations of this public agency constitute a policy of insurance coverage.

ARTICLE 5. Members.

- 5.1 Membership in the Trust is limited to those municipalities which:(1) are members in good standing of the League of Kansas Municipalities; (2) meet the requirements established by the Board of Trustees; and (3) which properly adopt this Agreement.
- 5.2 Municipalities, including former members, may be admitted to the Trust after its formation only upon approval of the Board and subject to the conditions set out in this Agreement and such additional conditions as the Board may from time to time require.

ARTICLE 6. Board of Trustees.

- 6.1 The Board shall be composed of eleven persons elected by the members, each of whom shall be a representative of a different member.
- 6.2 The Administrator shall have the right to attend and participate fully in discussions during all meetings of the Board of Trustees in an ex-officio, non-voting capacity, and shall not be considered a Trustee.
- 6.3 Election of Trustees shall take place at the annual meeting of the members. Trustees shall assume office at the first Board meeting following their election.
- 6.4 Terms of the Trustees shall be two-year overlapping terms or until their successors are elected except that, of the Trustees first elected pursuant to Section 6.1, six will be elected to serve until the first Board meeting following the annual meeting of the members held during 1995; and five will be elected to serve until the first Board meeting following the annual meeting of the members held during 1996. No person shall serve as a Trustee more than three consecutive terms. However, this term limitation shall not include the initial term of office (January 1994 through October 1994).

- 6.5 A vacancy shall occur on the Board when a Trustee:
- a. Submits a written resignation to the Board.
 - b. Dies.
 - c. Ceases to be a Member Representative.
 - d. Fails to attend three consecutive regular meetings of the Board without the Board having entered upon its minutes an approval for an additional absence or absences, except that such additional absence or absences shall be excused for temporary mental or physical disability or illness.
 - e. Is removed by the members pursuant to Article 10.
 - f. Is convicted of a felony.
 - g. The Board shall have the power to suspend any trustee who fails to resign for cause as stipulated in Article 6.5 (c), (d) and (f) until such time as removal is approved by KMIT members pursuant to Article 10.
- 6.6 Any vacancy in the position of Trustee will be filled by majority vote of the remaining Trustees until the next annual meeting of the members, at which time the members shall elect a person to fill the vacancy for the unexpired term.
- 6.7 No Trustee may be an owner, officer, or employee of any service agent or representative, as provided in K.S.A. 12-2627, and amendments thereto. Each Trustee must be a resident of Kansas.

ARTICLE 7. Officers, meetings, procedures.

- 7.1 The officers of the Board shall be: president, vice-president, and treasurer. The Board shall establish the powers and duties of each officer, consistent with this Agreement. The vice-president may exercise the powers of the president in the absence of the president. Officers shall be elected by and from the Trustees, at the first Board meeting following each annual meeting of the members.
- 7.2 The Administrator shall designate a person to serve as Secretary of the Board.
- 7.3 The Board shall fix the date, time and place of regular meetings, which may be held without further notice. Special meetings may be called by the president, or by any six members of the Board, by written notice mailed at least ten days in advance to all Trustees or by unanimously executed waiver of notice.
- 7.4 Six Trustees shall constitute a quorum to do business. All acts of the Board shall

require a quorum and a majority vote of the Trustees present, except where a different vote is required by this Agreement.

- 7.5 The Board shall adopt such procedures as it deems necessary or desirable for the conduct of its business.
- 7.6 Any action of the Board may be taken without a meeting if a consent in writing setting forth the action so taken is signed by all Trustees. Such consent shall have the same effect as a unanimous vote. The consent may be executed in counterparts.

ARTICLE 8. Powers and duties of the Trust and the Board.

- 8.1 The Trust shall have all powers necessary or desirable to achieve the purposes of the Trust. The Board may exercise all powers of the Trust except those powers reserved to the members, and all powers necessary and proper for the operation of the Trust and implementation of this Agreement, subject to the limits of this Agreement and the Act. The Board is responsible for all operations of the Trust.
- 8.2 Subject to the limits of the Act, the powers of the Board shall include, but not be limited to, the power to:
- a. Delegate, by resolution adopted at a meeting of the Trustees and specifically defined in the written minutes of the Trustees' meetings, authority for specific functions to the Administrator, but only to the extent permitted by the Act.
 - b. Establish member contributions, pursuant to guidelines adopted by the Board from time to time.
 - c. Serve as the policy-holder of any group policies or plans.
 - d. Determine the methods of claim administration and payment; provide for claim experience for the members collectively or separately; and establish claim procedures and conditions to be met prior to the payment or defense of a claim.
 - e. Jointly self-insure or obtain excess insurance (specific or aggregate) or reinsurance, or any combination thereof, or otherwise provide for the funding of coverage provided by or through the Trust, as the Board deems appropriate.
 - f. Designate and establish the duties of the Administrator.
 - g. Provide for the administration of the moneys of the Trust, for the manner of

payments to the Trust, and for payment of all expenses of the Trust; establish standards for the accountability of all receipts and disbursements of the Trust; and establish procedures for safekeeping, handling and investing such moneys received or paid.

- h. Acquire, lease, hold, and dispose of real and personal property.
- i. Exercise the full power and authority of any member of the Trust when requested to do so by the member's governing body.
- j. Provide for necessary activities to accomplish the purposes of this Agreement and of the Trust.
- k. Do any act permitted by law and not in conflict with this Agreement.
- l. Provide for an independent audit of claim handling procedures, payments, or overall operations of the Trust, at such times as the Board may determine.
- m. Establish loss reduction, prevention and risk management policies, procedures, and requirements for members of the Trust.
- n. Adopt and adjust the coverage provided through the Trust in concurrence with any affected excess insurers or reinsurers.
- o. Enter into contracts as necessary or appropriate for the operation of the Trust.
- p. Appoint committees from time to time, as the Board considers appropriate.
- q. Approve attorneys or firms of attorneys to represent members in claims covered by or through the Trust.
- r. Obtain the services of agents, attorneys, brokers, consultants, employees and service providers as necessary or appropriate for the operation of the Trust.
- s. Provide risk management services and educational and other programs related to risk management.
- t. Establish from time to time the address where the books and records of the Trust will be maintained.

8.3 Subject to the limits of the Act, the Board shall:

- a. Perform all duties required by the Act.
- b. Obtain and provide to members annually an audit of the finances of the Trust

performed by an independent certified public accountant.

- c. Provide for at least quarterly financial statements to account for income, expenses, assets and liabilities of the Trust.
- d. Provide at least annually for an actuarial review of the Trust.
- e. Adopt a budget annually and report the budget to the members.
- f. Require that fidelity bonds be in effect for the Administrator, claims service provider and its employees, and every other person having access to moneys of the Trust.
- g.

8.4 The Trustees shall not extend credit to individual members for any purpose.

ARTICLE 9. Financing.

- 9.1 All moneys contributed to the Trust, and earnings thereon, shall be held in the name of and for the benefit of the Trust.
- 9.2 The Board shall establish member contributions pursuant to guidelines established by the Board from time to time consistent with the Act. The contributions may include, as the Board determines, an annual contribution, contributions on a periodic basis more frequent than annually, and any additional contributions which the Board deems necessary or appropriate to protect the financial condition of the Trust. The contributions may be based upon experience modification factors, payroll audits, or any other bases the Board considers appropriate. Additional contributions may be imposed after the year in which coverage is provided.
- 9.3 A member shall only be responsible for additional contributions to the Trust which relate to claims arising out of occurrences during and expenses relating to years in which the municipality is a member of the Trust.
- 9.4 Any refund of surplus moneys shall be consistent with the Act and with policies adopted by the Board. No refund of surplus moneys shall be made to any member or former member which owes any amount to the Trust until the amount so owed is paid, and any amount so owed may be deducted from the refund to the member or former member. No refund of surplus moneys shall cause the Trust to become impaired or insolvent.
- 9.5 Investments of moneys of the Trust shall be limited to those investments permitted by the Act.

ARTICLE 10. Members' powers and meetings.

10.1 The members shall have the power to:

- a. Elect Trustees pursuant to Article 6.
- b. Remove any Trustee from the Board by a two-thirds vote of the membership present at a meeting or by an affirmative vote of two-thirds vote of the membership by a mail ballot.
- c. Dissolve the Trust by a two-thirds vote of the membership present at a meeting or by an affirmative vote of two-thirds vote of the membership by a mail ballot.
- d. Amend the Agreement by an affirmative vote of two-thirds vote of the membership present at a meeting or by an affirmative vote of two-thirds vote of the membership by a mail ballot. Written notice of any proposed amendment shall be provided to each member at least thirty days in advance of the vote thereon.

10.2 Members shall meet at least once annually in conjunction with the annual meeting of the League of Kansas Municipalities. Special meetings may be called by the Board or pursuant to a procedure to be established by the Board. A special meeting shall be called upon written request executed by at least thirty percent (30%) of the membership.

- a. Notice of any member meeting shall be mailed by the Administrator to each member at least fifteen days in advance.
- b. The president of the Board shall preside at the meeting.
- c. Fifty-one percent of the membership or 15 members present at a meeting shall constitute a quorum to conduct business.
- d. Proxy voting shall not be allowed.
- e. Each member shall be entitled to one vote, to be cast by its representative.
- f. The location of meetings of members will be as determined from time to time by the Board.

ARTICLE 11. Obligations of Members.

11.1 Members shall have the obligation to:

- a. Pay promptly all contributions and other payments to the Trust at such times and in such amounts as shall be established in accordance with this Agreement, including any interest and penalties for late payment as may be required by a policy adopted by the Board.
- b. Designate in writing a representative and one or more alternate representatives for the members' meetings. Each representative and alternate representative must be an elected officer, appointed officer, or employee of a member and must be appointed by majority vote of the governing body of the member to be the member's official representative for the purposes of the Trust. An alternate representative may exercise all the powers of a representative during a member meeting, in the absence of the representative.
- c. Allow the Trust and its Administrator, agents, contractors, employees and officers reasonable access to all facilities of the member and all records required for the administration of the Trust and implementation of this Agreement.
- d. Cooperate fully with the Trust's attorneys and Administrator, and any other agent, contractor, employee or officer of the Trust in activities relating to the purposes and powers of the Trust.
- e. Provide information requested by the Trust, its Administrator, and any other agent, contractor, employee or officer of the Trust, as reasonably required for the administration of the Trust.
- f. Allow the Trust, and attorneys and others designated by the Trust, to represent the member in the investigation, settlement and litigation of any claim within the scope of loss protection furnished by or through the Trust.
- g. Follow the claims, loss reduction and prevention, and risk management policies and procedures established by the Board. The Trust does not assume any duty the member may have to provide safe facilities, equipment, machinery, or operational procedures for its employees or the public.
- h. Report to the Trust, in the form and within the time required by the Board, all incidents or occurrences which could reasonably be expected to result in the Trust being required to consider a claim.
- i. Report to the Trust, in the form and within the time required by the Board, the addition of new programs and facilities or the significant reduction or expansion of existing programs and facilities or other acts.

- 11.2 It shall be the express obligation of every member of the Trust to comply with the workers' compensation laws of the State of Kansas and such laws shall govern the duties of employers and the liabilities to employees of the members of the Trust.

ARTICLE 12. Withdrawal or non-renewal of members.

- 12.1 Any member may withdraw from the Trust on any coverage renewal date by written notice of withdrawal provided to the Administrator no later than 60 days prior to the renewal date, unless the Board and any affected excess insurer or reinsurer agrees to a shorter notice period.
- a. In the event that a member chooses to withdraw at a point in the premium (calendar) year other than the renewal date, a "short-rate cancellation" schedule shall be applied. The "short-rate cancellation" amount will be determined by use of the National Council on Compensation Insurance, Inc. (NCCI) Basic Manual (most current edition), under "RULE 3 – RATING DEFINITIONS AND APPLICATION OF PREMIUM ELEMENTS" of that manual.
- 12.2 The Board may, at its option, non-renew any member with the Trust on any coverage renewal date by written notice of non-renewal provided by the Administrator no later than 60 days prior to the renewal date.
- 12.3 A withdrawn or non-renewed member shall lose all voting rights upon withdrawal or non-renewal. Any claim of title or interest to any asset of the Trust, and any continuing obligation of the Trust to the member or of the member to the Trust, after the member's withdrawal or non-renewal, shall be consistent with this Agreement, any policy adopted by the Board, any excess insurance or reinsurance policy of the Trust, and the Act.

ARTICLE 13. Cancellation of membership.

- 13.1 A member which terminates its membership in the League of Kansas Municipalities shall, on the date of such termination, have its membership in the Trust automatically canceled.
- 13.2 The membership in the Trust of a member which fails to make a contribution or any other payment due the Trust shall be automatically canceled on the sixtieth day following the due date, unless time for payment is extended by the Board and payment is made within any extended period. A notice of failure to make a contribution or other payment due the Trust shall be mailed to the member at least thirty (30) days prior to the date of automatic cancellation. A cancellation of membership under this paragraph 13.2 shall not be subject to the provisions of paragraph 13.3.

- 13.3 Membership in the Trust may be canceled for failure to carry out any other obligation of a member, subject to the following:
- a. The member shall receive notice from the Board of the alleged failure and not less than thirty (30) days in which to cure the alleged failure, along with notice that cancellation of membership could result if the failure is not so cured.
 - b. If the failure is not cured within the time required by the Board's notice or any extension of such time as the Board may grant, the Board may cancel the membership. The member may request a hearing before the Board on the proposed cancellation. The request shall be made in writing to the Administrator at least five days before the end of the period given by the Board to cure the alleged failure.
 - c. If a hearing is timely requested, the Board shall provide the member at least ten days' prior written notice of the time and place of the hearing, and the proposed cancellation may not take effect until such time after the conclusion of any hearing as the Board may set.
- 13.4 Cancellation of membership shall be in addition to any other remedy which may exist.
- 13.5 A member whose membership has been canceled shall lose all voting rights upon the effective date of the cancellation. Any claim of title or interest to any asset of the Trust, and any continuing obligation of the Trust to the member or of the member to the Trust, after cancellation of the membership, shall be as determined consistent with this Agreement, any policy adopted by the Board, and the Act.

ARTICLE 14. Dissolution and disposition of property.

- 14.1 The Trust may be dissolved by the members as provided in Article 10. In the event of dissolution of the Trust, the assets of the Trust not used or needed for the purposes of the Trust, as determined by the Board, shall be distributed exclusively to municipalities which are members of the Trust immediately prior to dissolution to be used for one or more public purposes.
- 14.2 Upon partial or complete dissolution of the Trust by the members in accordance with Article 10, the Trustees shall determine, consistent with this Agreement, all other matters relating to the disposition of property and dissolution of the Trust, by a two-thirds vote of all Trustees.
- 14.3 The Board shall serve as trustees for the disposition of property or funds, payment of obligations, dissolution and winding up of the affairs of the Trust.

ARTICLE 15. Liability of Trustees, officers, Administrator, and employees.

15.1 No Trustee, officer, Administrator, or employee of the Trust shall be personally liable for any acts performed or omitted in good faith nor for any debts or other liabilities, actual or contingent, of the Trust or upon contracts or engagements on its behalf. The Trust shall defend and indemnify the Trustees, officers, Administrator and employees against any and all expense, including attorney fees and liability expenses sustained by them or any of them in connection with any suit or suits which may be brought against them involving or pertaining to any of their acts or duties performed or omitted in good faith. The Trust may purchase public officials liability, errors and omissions or other insurance providing similar coverage for the Trustees, officers and employees of the Trust. Nothing herein shall be deemed to prevent compromises of any such litigation where the compromise is deemed advisable in order to prevent greater expense or cost in the defense or prosecution of such litigation.

ARTICLE 16. General provisions.

- 16.1 This document constitutes a contract among those municipalities which become members of the Trust. The terms of this contract may be enforced in court by the Trust or by any of its members.
- 16.2 Except as provided in this Agreement and to the extent of the financial contributions to the Trust agreed to herein or such additional obligations as may come about through amendments to this Agreement, no member agrees or contracts herein to be held responsible for any claims made against any other member. The contracting parties intend in the creation of the Trust to establish an organization to operate only within the scope herein set out and have not herein created as between member and member any relationship of partnership, surety, indemnification, or responsibility for the debts of or claims against any other member, except that, to the extent required by the Act, all members of the Trust shall be jointly liable for the payment of claims to the extent of the assets of the Trust.
- 16.3 The laws of Kansas shall govern the interpretation and performance of this Agreement.
- 16.4 In the event that any portion of this Agreement is held invalid or unenforceable, such invalidity or unenforceability shall not affect other portions, and this Agreement is expressly declared to be severable.
- 16.5 This Agreement does not relieve any member of any obligation or responsibility imposed upon it by law except to the extent that actual and timely performance thereof by the Trust satisfies such obligation or responsibility.

- 16.6 All moneys received by the Trust are public funds, including earned interest, derived from its members which are municipalities within the State of Kansas.
- 16.7 Neither this Agreement nor any action adopting this Agreement is intended to nor does it waive, nor shall it be construed as waiving, any immunity or limitation on liability provided to the members or their officers or employees by any law, including but not limited to any such immunity or limitation appearing in the Kansas Tort Claims Act, and amendments thereto. The laws regarding workers' compensation and the benefits to the employer are reserved and shall not be deemed to have been waived by any action approving this Agreement or by membership in the Trust.
- 16.8 The provisions of this Agreement and of the other documents referred to herein, and the assets of the Trust, are for the benefit of the members of the Trust only, and no other persons or entities shall have any rights or interest in this Agreement or in any of the other documents referred to herein or in any such assets, as a third party beneficiary or otherwise. The assets of the Trust shall not be subject to attachment, garnishment, or any equitable proceeding.
- 16.9 It is the intention of the members that the Trust and any income of the Trust not be subject to taxation, and the members shall cooperate in such respects, including amending this Agreement, as reasonably necessary to establish and maintain the non-taxable status of the Trust.
- 16.9a Except as permitted in this Agreement, and amendments hereto, neither the Board nor any other person or entity is authorized to incur liabilities or obligations or enter into contracts on behalf of the members.
- 16.10 To the extent permitted by any applicable excess insurance or reinsurance, if the Board or its authorized representative and a member disagree on whether a loss is covered through the Trust or on the amount of a covered loss, the Board or its authorized representative or the member may request that the disagreement be submitted to binding arbitration as follows:
- a. Unless otherwise agreed by the Board or its authorized representative and the member, three persons shall be selected for the arbitration panel, one by the Board or its authorized representative, one by the member, and one by the two so selected to act as umpire to decide the items upon which the other two disagree. If the two so selected fail for fifteen days to agree upon the umpire, the dispute of coverage shall be submitted to the American Arbitration Association for arbitration pursuant to their standard rules and regulations.
 - b. The decision of the panel shall be binding on the Board or its authorized representative and the member.

- c. The Trust shall pay the fees and expenses of the panelist selected by the Board or its authorized representative, the member shall pay the fees and expenses of the panelist selected by it, and the fees and expenses of the umpire shall be shared equally by the Trust and the member.
- 16.11 In the event of the payment of any loss by the Trust under this Agreement, the Trust shall be subrogated to the extent of such payments to all the rights of the member against any other person or other entity legally responsible for damages for such loss, and in such event the member agrees to render all reasonable assistance to effect recovery.
- 16.12 The provisions of the Act are hereby adopted by reference as a part of this Agreement, and any provision of this Agreement in conflict with the Act shall be inapplicable.
- 16.13 This Agreement may be executed in counterparts. The original of each executed Agreement shall be filed with the Trust.
- 16.14 This executed Agreement replaces and supercedes all prior By-Laws for Kansas Municipal Insurance Trust.

In witness whereof, the parties hereto have entered into this Agreement by the execution of this signature page which shall be attached to and be a part of this Agreement.

This Agreement is executed by _____, Kansas, pursuant to Article 10, 10.1(d), as a result of certain changes to the By-Laws adopted at a Special Meeting of the Members on October 7, 2012.

By: _____

Print Name: _____

Title: _____

Date: _____

ATTEST:

By: _____

Print Name: _____

Title: _____

Date: _____

*The original KMIT By-Laws were amended on October 7, 1996, October 8, 2001, and October 7, 2012.

MEMORANDUM

TO: Governing Body
THRU: Matt Allen, City Manager
FROM: Mike Muirhead, Public Utilities Director
DATE: November 14, 2012
RE: Pole Attachment Agreement

ISSUE:

Wildflower Telecommunications, LLC was issued a franchise agreement by the City Commission on October 16, 2012. This franchise allows Wildflower Telecommunications, LLC to construct, operate and maintain a telecommunications system within the City of Garden City and subsequently, to erect and maintain aerial cables, wire and associated components throughout the City.

In order for Wildflower Telecommunications, LLC to attach said cables, wire and associated components to City owned poles a Pole Attachment Agreement is required.

BACKGROUND:

Please see attached Pole Attachment Agreement.

ALTERNATIVES:

1. Approve the proposed Pole Attachment Agreement.
2. Do not approve the proposed Pole Attachment Agreement.

RECOMMENDATION:

Staff recommends approval of the proposed Pole Attachment Agreement and authorizing the Mayor and City Clerk to execute the contract attached hereto.

FISCAL NOTE:

The fee of \$7.50 per attachment, per pole, per year will generate a small amount of revenue to the City of Garden City.

Example:

- 50 pole attachments = \$375.00/year
- 250 pole attachments = \$1,875.00/year
- 500 pole attachments = \$3,750.00/year

Wildflower Telecommunications, LLC will be responsible for all costs associated with any “make ready work” that may be required.

POLE ATTACHMENT AGREEMENT

THIS AGREEMENT made this ___ day of _____ 2012, by and between the City of Garden City of the City of Garden City, Kansas, hereinafter called "OWNER", party of the first pair, and Ideatek Systems, Inc. and Wildflower Telecommunications, LLC collectively called "LICENSEE", party of the second part.

WITNESSETH:

WHEREAS, Licensee was granted a franchise agreement with the City of Garden City to construct, operate, and maintain, a telecommunications system in the City of Garden City and in the course of its operations will need to erect and maintain aerial cables, wire, and associated appurtenances throughout the area to be served, and desires to attach such cables, wires and appurtenances to poles of Owner, located in the City of Garden City ; and

WHEREAS, Owner is willing to permit, to the extent it may lawfully do so, the attachment of said cables, wires and appurtenances to its solely owned poles, where, in its judgment, such use will not interfere with its own service requirements, including considerations of economy, safety, and aesthetical considerations;

NOW, THEREFORE, in consideration of^r the mutual covenants, terms and conditions herein contained, the parties hereto do hereby mutually covenant and agree as follows:

**ARTICLE I
SCOPE OF AGREEMENT**

(a) The Owner reserves the right to non-discriminately exclude Licensee from joint poles which, if involved in joint use, would in the Owner's reasonable judgment impair the proper rendering of its utility service, now or in the future, or otherwise, or in Owner's judgment would be unsuitable to use by Licensee. The Owner also shall have the right to provide pole facilities on alternate routes.

(b) No use, however extended, of Owner's poles, under this Agreement, shall create or vest in Licensee any ownership or property rights in said poles, but Licensee's rights therein shall be and remain a mere license. Nothing herein contained shall be construed to compel Owner to maintain any of said poles for a period longer than is demanded by its own service requirements.

(c) Nothing in this Agreement gives the Licensee exclusive rights to poles throughout the entire area served, as the Owner reserves the right to make agreements with other Licensees having governmental authorization to occupy streets and alleys.

(d) Licensee shall, at its own expense, make and maintain said attachments in safe condition and thorough repair, and in a manner suitable to Owner and so as not to conflict with

the use of said poles by Owner, or by other utility companies using said poles, or interfere with the use of other facilities thereon or which may from time to time be placed thereon, Licensee shall at all times, at its own expense, upon notice from Owner, relocate, replace or renew its facilities placed on said poles, and transfer them to substituted poles, or perform any other work in connection with said facilities that may be required by Owner, provided, however, that whenever the Licensee after commercially reasonable notice by Owner does not have available, or fails to dispatch, the necessary work force or materials to perform any work necessary to maintain said attachments in safe condition the Owner shall have the right to perform such work, and in which event the Licensee shall, on demand, reimburse Owner for its actual, expense thereby incurred, and such expense shall be the total cost to the Owner including labor and reasonable incidental material, supervision and. general overhead, and any other incidental charges.

ARTICLE II SPECIFICATIONS

Licensee's cables, wires and appurtenances, in each and every location including all facilities, shall be erected and maintained in accordance with the requirements and specifications of the current National Electrical Safety Code (NESC), or any amendments or revisions of said Code of practices and in compliance with any rules or orders now in effect or as may hereafter be issued by the Kansas Corporation Commission or other authority having jurisdiction. Drawings which contain construction data, specifications, standards of typical installation, methods of attachments, grounding procedures and other appropriate information shall be provide upon request of Owner. All attachments of the Licensee shall be placed within the space and at the location designated by the Owner provided, however, that neither this requirement nor any other contained in this Agreement shall relieve Licensee of its sole responsibility and obligation to maintain its facilities in a manner which will insure that proper ground clearances are in existence at all times. Owner shall specify the type of construction required under any other conditions or circumstances. All distribution cable and drops used by Licensee in its outside distribution system shall be of a type that will meet Federal Communications Commission requirements regarding radiation and must not cause radiation or electrical interference in or to Owner's facilities.

ARTICLE III ESTABLISHING JOINT USE OF POLES

Licensee, prior to making an attachment to any pole of Owner, shall make application therefore, in the form as set forth as Exhibit B, and shall have received a permit therefore in the form of Exhibit C, hereto attached, provided, however, any permits issued by Owner and still valid pursuant to earlier contracts shall be deemed issued and valid under this Agreement. Upon receiving such permit, Licensee may make the attachment thereby covered, subject to the terms and conditions of this Agreement. The Owner reserves the right to refuse to grant any such application when Owner, in its reasonable discretion, determines that the granting of such application will adversely affect its own facilities, joint users, or other licensees in providing their respective services and their ability to meet their duties and obligations with respect thereto,

including considerations of economy, safety and the future needs of Owner, joint users, and other licensees. In no instance shall any license granted by this Agreement extend to any of Owner's poles where the attachment of Licensee's facilities to such poles would result in a forfeiture of the rights of Owner or joint users to occupy the real property or utility easement on which such pole or poles are located; and if any attachment by Licensee results in a forfeiture of the rights of Owner or joint users, or both, to occupy such real property or easement, the Licensee agrees to pay Owner or joint users, or both, all losses, damages, and costs incurred as a result thereof. The Licensee shall pay Owner for reviewing and approving the application. This will come in the form of an Application Fee as set forth in Exhibit A. Attachment of only a service drop wire shall not require an Application Fee. Owner may waive increase, or reduce Application Fee at its discretion. If Licensee attaches to Owner's pole prior to receiving Exhibit C, an Unauthorized Attachment Fee as set forth in Exhibit A per event will be assessed to the Licensee if the Unauthorized Attachment is not remedied through proper application of the attachment within 10 days of notice to Licensee. This will not relieve Licensee from providing Exhibit B and receiving Exhibit C.

ARTICLE IV ALTERATIONS FOR JOINT USE

(a) In the event that any pole or poles of Owner to which Licensee desires to make attachments is inadequate to support the additional facilities in accordance with the aforesaid specifications, Owner will indicate by appropriate sketches and estimates of costs of the changes necessary to provide adequate poles and return it to Licensee, and if Licensee still desires to make the attachment and returns the appropriate Exhibit marked so to indicate, Owner will replace such inadequate poles with suitable poles and Licensee will, on demand, reimburse Owner for the total cost of the replacing pole, plus the cost of removal of the old pole, plus the cost of transferring Owner's facilities from the old to the new pole, plus all engineering and administrative expenses. In the event the Owner elects to replace pole with a pole of a height and size over and above that made necessary by Licensee's added requirement, full credit for such added cost will be allowed Licensee. Licensee shall reimburse the Owner for the full cost of each pole set for the sole use of Licensee. Where Licensee's desired attachments can be accommodated on present poles of Owner by rearranging Owner's facilities thereon, Licensee will compensate Owner for the full and actual expense incurred in completing such rearrangements. Licensee will also on demand from Owner pay to Owner the amount necessary to the extent consistent with applicable law, to reimburse the Owner or the owners of other facilities attached to said poles for any expense incurred by it or them in transferring or rearranging said facilities on existing or substituted poles. Any strengthening of poles (guying) required to accommodate the attachments of Licensee shall be provided by and at the expense of Licensee. If the owner determines the Licensee's repetitive use of a pole causes this particular pole to become severely damaged, Licensee shall pay for pole replacement.

(b) Licensee shall, at Licensee's expense, make and maintain said attachments in safe condition and in thorough repair and in a manner suitable to Owner so as will not conflict with the use of said poles by Owner, or by other authorized users of said poles, or interfere with the working use of facilities thereon or which may from time to time be placed thereon. Licensee shall at all times, at Licensee's expense, upon reasonable notice from Owner, relocate, replace or

renew its facilities placed on said poles, and transfer them to substituted poles, or perform any other work in connection with said facilities that may be required by Owner, provided, however (i) if the relocation, replacement or modification of Licensee's attachments and facilities are required in order to facilitate the new or additional attachments of a third party, then Licensee shall be entitled to reimbursement of its cost and expenses from such third party; and (ii) in cases of emergency, Owner may, without incurring any liability because of such action, relocate, replace, renew or remove Licensee's facilities, transfer them to substituted poles, or perform any other work in connection with Licensee's facilities that may be reasonably required under such emergency circumstances in the maintenance, replacement, removal, or relocation of Owner's poles, or the facilities thereon or which may be placed thereon, or which may be required for the service needs of Owner and joint users; and Licensee shall, on demand, reimburse Owner for the reasonable expenses thereby incurred. The determination as to whether an emergency exists shall be made solely by Owner, and Licensee shall be bound by such determination. If Owner takes any action with respect to Licensee's facilities in an emergency situation, Owner shall give Licensee reasonable notice of such actions as soon as practicable under the circumstances.

(c) In the event that any cable, wire or appurtenance is abandoned by Licensee or is not in service for six (6) months, Licensee shall remove the same at Licensee's expense. If Owner removes or hires a contractor to remove such abandoned or non-used cable, wire or appurtenance, Licensee shall be liable to Owner for Owner's then-current rate for all such work or contracted expense.

ARTICLE V TERMINATION OF JOINT USE OF POLES

Upon notice from Owner to Licensee that the use of any pole or poles is forbidden by law or legally objectionable to any public authority or property owners, the permit covering the use of such pole or poles shall immediately terminate, and the cables, wires and appliances of Licensee shall be removed at once from the affected pole or poles. Licensee agrees to reimburse Owner for the total reasonable cost thereof including labor and incidental material, supervision and general overhead, and any other incidental charges, damage or loss sustained or occasioned by the requirement for removal of Licensee's equipment as provided for in this paragraph. However, Licensee's rights and permits hereunder shall not terminate and Licensee shall not be required to remove its attachments if Licensee is diligently pursuing good faith efforts to contest such claims in appropriate judicial and/or administrative proceedings, provided that Licensee further agrees to protect, indemnify, and hold harmless Owner from any and all claims, demands, or causes of action, suits, or other proceedings of every kind and character resulting from the presence of Licensee's attachments on the poles of Owner.

Licensee may at any time remove its attachments from any pole or poles of Owner, but shall immediately give Owner notice of such removal by means of a Joint Use Termination as outlined in Exhibit D attached hereto.

Should Owner, at any time, require for its own service needs or the needs of another utility with whom it has a general Joint Use Agreement, the space occupied by Licensee's attachments on poles which have not been replaced at Licensee's expense as provided in Article

V, Owner shall give notice to Licensee and Licensee shall either vacate the space by removing its attachments or shall authorize the Owner to replace the poles at the expense of Licensee, in the same manner as is provided in Article IV, when poles are replaced to accommodate Licensee's initial attachments.

ARTICLE VI RENTAL CHARGES

In addition any other costs, expenses, or charges that may be incurred by or enforced against, Licensee under this Agreement, Licensee shall pay to Owner, for attachments made to poles under this Agreement, an initial a Pole Attachment Rental Fee as defined in Exhibit A. Annual rental payments shall be based upon the number of poles on which attachments of Licensee are being maintained as counted on or about the first day of July of the current year. In case of attachments made after July 1 of each calendar year, an attachment fee will be the pro rata portion of the annual pole rental fee for each pole for the remaining period of the calendar year. No rental charge shall be due for attachment of service drop wires.

ARTICLE VII INSPECTIONS OF LICENSEE'S INSTALLATIONS

Owner, because of the importance of Owner's service, reserves the right to inspect each new installation of Licensee on Owner's poles or in the vicinity of Owner's lines or appurtenances and to make periodic inspections, as condition may warrant, of the entire plant of Licensee; and Licensee shall, on demand, reimburse owner for the reasonable actual expense of its inspection of Licensee's new installations under this Article. Such inspections, made or not, shall not operate to relieve Licensee of any responsibility, obligation or liability assumed under this Agreement.

ARTICLE VIII DEFAULTS

(a) If Licensee shall fail to comply with any of the material provisions of this Agreement including the specifications hereinbefore referred to, or default in any of its material obligations under this Agreement, and shall fail within thirty (30) days after written notice from Owner to correct such default or noncompliance, Owner may, at its option forthwith terminate this Agreement or any Joint Use Permit covering the poles as so which such default or noncompliance shall have occurred. In case of such termination, final rental payment shall be made on a pro rata basis for that part of the calendar year.

(b) Should Licensee, for any reason, cease to furnish the distribution service of data received directly from the air which this Agreement is designed to facilitate, then and in that event this Agreement shall automatically terminate, and Licensee shall immediately remove its cables, wire and appliances from all poles of the Owner and if not so removed, Owner shall have the right to remove them at the cost and expense of Licensee.

ARTICLE IX
LIABILITY AND DAMAGE

(a) Owner reserves to itself, its successors and assigns, the right to maintain its, poles and to operate its facilities thereon in such manner as will best enable it to fulfill its own service requirements. Owner shall not be liable to Licensee for any interruption to service of Licensee, for any interference with the operation of the cables, wires and appurtenances of Licensee, which may arise in any manner out of the use of Owner's poles hereunder, except for interruptions and interference to Licensee's operations caused by the negligent, reckless or willful misconduct of Owner and/or its agents.

(b) Licensee shall exercise special precautions to avoid damage to facilities of Owner or of authorized users of said poles; and Licensee hereby assumes all responsibility for any and all damage to facilities of said Owner or authorized users rising out of or caused by the conduct or property of Licensee, whether from the Licensee's negligence or otherwise. Licensee shall make an immediate report to the particular owner of the facilities affected of the occurrence of any damage and hereby agrees to reimburse such owner for the expense incurred in making the necessary repairs and replacement.

(c) Except for liabilities caused by the negligent, reckless or willful misconduct of Owner and/or its agents, Licensee shall indemnify, protect, defend and save harmless Owner from and against any and all claims and demands for damages to property and injury or death to persons, including payments made under any Workmen's Compensation Law or under any plan for employee disability and death benefits, which may arise out of or be caused by the erection, maintenance; presence, use or removal of Licensee's attachments or by the proximity of the respective cables, wire and appurtenances of the Owner, the Licensee, and other authorized users, or by an act of Licensee in or near the City of Garden City . Licensee shall carry insurance to protect the Owner from and against any and all claims, demands actions, judgments, costs, expenses and liabilities of every name and nature which may arise or result, directly or indirectly, from or by reason of such loss, injury or damage. At a minimum, the Licensee shall procure and maintain for the duration of this agreement the following types and limits of insurance; **1) Commercial General Liability** written on a ISO Occurrence form or a substitute form providing equivalent coverage and shall cover liability arising from premises operations, independent contractors, products-completed operations, personal/advertising injury and contractual liability. Limits of insurance no less than \$1,000,000 each occurrence, \$2,000,000 aggregate. **2) Commercial Auto Liability** for all owned non-owned, hired automobiles and mobile equipment subject to compulsory auto liability requirements with limits of insurance no less than \$1,000,000 combined single limit. **3) Workers Compensation/Employers Liability** covering all employees and with limits and coverage that meet or exceed statutory requirements. All insurance required shall remain in full force and effect for the entire term of this agreement, and the company issues such insurance shall be approved by the Owner, which approval will not be unreasonably denied.

Licensee shall submit to Owner certificates by each company insuring Licensee to the effect that it has insured Licensee for all liabilities of Licensee under this Agreement and that it

will not cancel or change any policy of insurance issued to Licensee except after 30 days' written notice to Owner. The insurance policies above referred to shall be so endorsed to designate Owner and any other prior occupant as additional insured in and under said policies.

**ARTICLE X
EXISTING RIGHTS OF OTHER PARTIES**

Nothing herein contained shall be construed as affecting the rights or privileges previously conferred by Owner, by contract or otherwise, to others not parties to this Agreement, to use any poles covered by this Agreement; and Owner shall have the right to continue and extend such rights or privileges. The attachment privileges herein granted shall at all times be subject to such contracts and arrangements, and protected by the same Liability and Damage that of the Owner.

**ARTICLE XI
ASSIGNMENT OF RIGHTS**

(a) Licensee shall not assign or otherwise transfer, in whole or in part, the privileges hereby granted without the prior consent in writing of Owner; provided, however, that consent shall not be unreasonably withheld and Licensee may assign its right hereunder to an affiliate of Licensee without Owner's consent.

(b) Subject to the provisions of paragraph (a) hereof, this Agreement shall extend to and bind the successors and bind the successors and assigns of the parties hereto.

**ARTICLE XII
WAIVER OF TERMS AND CONDITIONS**

Failure of Owner to enforce or insist upon compliance with any of the term or conditions of this Agreement shall not constitute a general waiver or relinquishment of any such terms or conditions, but the same shall be and remain at all times in full force and effect.

**ARTICLE XIII
REVIEW OF TERMS AND CONDITIONS**

(a) At the expiration of one year from the date of this Agreement and each year thereafter on the anniversary date of this Agreement, the entire Agreement or any part thereof is subject to review at any time at the written request of either party.

(b) Amendments to this Agreement, which may appear advisable to the parties hereto, shall be effected by supplemental Agreements in writing, which upon execution of the

General Manager of the City of Garden City for Owner, and an authorized corporate officer for Licensee, shall thereupon become part of this Agreement.

**ARTICLE XIV
BILLS AND PAYMENT FOR WORK**

Bills for inspections, expenses and other charges under this Agreement other than rentals shall be payable within 30 days after mailing. At Owner's option, bills for any work under this Agreement may be submitted at intervals of 30 days on Owner's estimates of work completed. Nonpayment of bills shall constitute a default of this Agreement, provided that where a bill, is in dispute nonpayment of the disputed portion pending determination of the proper amount shall not constitute a default.

**ARTICLE XV
BONDS TO GUARANTEE PAYMENT OF BILL**

Licensee shall furnish surety bond or an equivalent financial security instrument as approved by the Owner in an amount of _____ (\$_____) Dollars to guarantee the payment of all sums which may at any time become due from Licensee to Owner under this Agreement, except such as are covered by the insurance provided under Article X hereof and without in any way limiting the scope of the foregoing statement, including rentals, inspections or work performed for the benefit of Licensee under this Agreement and the removal of attachments upon termination of this Agreement by any of its provisions. The surety and terms of any surety bond are subject to the prior approval of the Owner, which approval will not be unreasonably withheld.

**ARTICLE XVI
TERM OF AGREEMENT**

This Agreement shall become effective on _____, 2012, and with automatic one year renewals if not terminated in accordance with the provisions of Article IX, and subject to terms and conditions of Article XIV; Either party may terminate the Agreement by giving the other party at least six (6) months prior written notice. Upon termination of the Agreement in accordance with any of its terms, Licensee shall immediately remove its cables, wires and appurtenances from all poles of Owner. If not so removed, Owner shall have the right to remove them at the reasonable cost and expense of Licensee and without any liability therefor.

EXECUTION AND AGREEMENT

IN WITNESS whereof, said parties have caused this Agreement to be signed by their duly authorized officers on the day and year first above written.

WILDFLOWER
TELECOMMUNICATIONS, LLC

By: _____
Daniel P. Friesen, President

ATTEST:

Kent Hoskinson, COO

CITY OF GARDEN CITY, KANSAS

By: _____

ATTEST:

**EXHIBIT A
FEES**

- Pole Attachment Annual Fee: \$7.50
- Application Fee: \$7.50
- Unauthorized Attachment Event Fee: \$50.00

**EXHIBIT B
APPLICATION**

Date: _____

Permit No.: _____

Number of poles covered by this permit: _____

CITY OF GARDEN CITY
PO Box 998
Garden City, KS 67846

Attention: Mr. Cliff Sonnenberg

In accordance with the terms and conditions of the Agreement dated _____, 2012 between our respective companies covering pole attachments in the City of Garden City and vicinity, application is hereby made for permission to make attachments of undersigned Licensee's equipment to the following poles:

By: _____

Title: _____

**EXHIBIT C
PERMIT**

Permission is hereby granted to make the attachments described in the above application, subject to all terms and conditions referred to or set forth above and in said Agreement dated _____, 2012, and further subject to acceptance by Licensee of the obligation to pay the cost (the estimated cost of which is shown below). If any, of the following changes in the plant involved to accommodate the above specified attachments:

CITY OF GARDEN CITY

By: _____

Title: _____

Date: _____

Estimated Cost \$ _____

Above estimated cost, if any accepted:

By: _____

Title: _____

Date: _____

STATUS OF POLE ATTACHMENTS

Poles in use prior to this permit (number): _____

Poles address by this permit (number): _____

New total number of poles in use: _____

**EXHIBIT D
NOTICE OF REMOVAL**

Date: _____

Removal Notice No.: _____

Number of poles covered by this notice: _____

CITY OF GARDEN CITY
PO Box 998
Garden City, KS 67846

Attention: Mr. Cliff Sonnenberg

In accordance with the terms and conditions of the Agreement dated _____, 2012, between our respective companies covering pole attachments in the City of Garden City, notice is hereby given of removal of attachments of undersigned Licensee's equipment from the following poles:

By: _____

Title: _____

Notice Acknowledged

CITY OF GARDEN CITY

By: _____

Title: _____

STATUS OF POLE ATTACHMENTS

Poles in use prior to this notice: _____

Poles discontinued by this notice: _____

New total number of poles in use: _____

Other Entities Minutes

Zoo Advisory Board
Minutes of Meeting Held
Tuesday, November 6, 2012

Members Present: Della Brandenburger, Elaine Lott, Cathy McKinley, Becky Clark
Members Absent: Debbie Reynolds, Tammy Rieth, Evelyn Bowman
Others Present: Kathy Sexson, Donna Wohler, Brian Nelson

The Board toured the Cat Canyon construction site.

- I. The meeting was called to order at 5:30
- II. Approval of Agenda – The agenda was approved.
- III. Approval of Minutes – The minutes of the October meeting were approved.
- IV. New Business
 - a. Zoo Monthly Report – The baby Goeldi’s monkey received special care after being separated from her mother and losing weight. Keepers stepped in to help with care and feeding, but baby is now back with mom and doing well. Cat Canyon construction is going well. A group has reserved the Hart Conference Room for an extended period of time and staff has been working to accommodate their technology needs. The maintenance crew installed a French drain at the West Green to eliminate standing water on the road, and has been working to convert the old macaque exhibit to hold Red Pandas.
 - b. FOLRZ Report – Brian reported that Boo! had 5,300 people in attendance. New this year was the Sleepy Hollow Wagon Ride which brought 12 new memberships. New decorations have been purchased for Boo! next year.
 - c. Hired Keeper II, Interviewing Keeper I’s – One of the zoo’s Keeper II’s got a job in Abilene, TX and a Keeper I was hired to replace him. Interviews are now taking place for 2 Keeper I’s. One to be hired now and one will start January 1.
 - d. New Zoo Logo – With the new community logo that the city is using, zoo staff worked with the same company to design a new logo that would identify the zoo as a member of that community. It will be released the beginning of December with teaser releases on Facebook, Twitter, etc. to gradually unveil the logo.
 - e. 85th Birthday Final Bash – November 10 – Keeper talks, animal enrichment, birthday cake and crafts will be on the schedule of events.
- V. Old Business
 - a. Cat Canyon Update –
 - b. Boo! at the Zoo Report
 - c. Red Panda Exhibit Remodel Underway –
 - d. New Green Tree Python Debuts in Wild Asia –
- VI. Board Member Reports –
- VII. Kathy mentioned that there will be free drive-in admission for Military personnel and Veterans this Saturday and Sunday.
- VIII. The meeting was adjourned at 5:57 p.m.

Next Meeting December 4, 2012 at 5:00 p.m.