

AGENDA
CITY COMMISSION MEETING
Tuesday, October 15, 2013
1:00 P.M.
(Amended 10-14-13)

- I. Note: Pre-meeting has been cancelled.**
- II. REGULAR MEETING CALLED TO ORDER AND CITY CLERK ANNOUNCING QUORUM PRESENT.**
- III. PLEDGE OF ALLEGIANCE TO THE FLAG AND INVOCATION.**
- IV. APPROVAL OF THE MINUTES OF THE LAST REGULAR MEETING, WHICH IF NO CORRECTIONS ARE OFFERED, SHALL STAND APPROVED.**
- V. PUBLIC COMMENT** Agenda Schedule Allowance: 30 minutes (5 minutes per spokesperson)
- VI. CONSIDERATION OF PETITIONS, MEMORIALS AND REMONSTRANCES.**
- A. The Extra Mile America Foundation requests Governing Body consideration and approval to allow the Mayor to proclaim November 1, 2013 as Extra Mile Day.
- VII. REPORT OF THE CITY MANAGER.**
- A. Congratulations to Amy Perkins & the Service & Finance Department for the outstanding accomplishment of collecting 250 online payments during the month of September 2013.
- B. The City received correspondence from Cox Communications regarding channel line-up changes.
- C. Staff has provided several items of information for Governing Body review including the following: from Director of Aviation Powell, the monthly enplanement reports; from Finance Director Hitz the monthly financial reports; from Community Development Director Kentner the building and code enforcement reports; from Police Chief Hawkins the monthly police activity report; from Public Utilities Director Muirhead the monthly utilities report; from Public Works Director Curran the City Link ridership and CIP schedule; and from Zoo Director Sexson the monthly zoo report.
- D. Meetings of note:
- ✓ October 12, 2013 – Garden City Fire Department Open House at Labrador Station from 10:00 a.m. – 2:00 p.m.
 - ✓ October 12-14, 2013 – League of Kansas Municipalities Annual Conference – Overland Park, Kansas
 - ✓ October 17, 2013 – Downtown’s Third Thursday at 6:00 p.m. on Main Street
 - ✓ October 19, 2013 – Boo! At the Zoo
 - ✓ November 1, 2013 – United Way End of Drive Celebration at the Fire Station from 11:30 a.m. – 1:00 p.m.
 - ✓ November 2, 2013 – Hanging Lights in Stevens Park at 9:00 a.m.
 - ✓ November 2, 2013 –Banner Art Auction 2013 at the Clarion Inn at 6:00 p.m.

- ✓ November 9, 2013 – Veteran’s Day parade at 10:00 a.m. on Main Street
- ✓ November 21, 2013 – Third Thursday from 5:00 – 8:00 p.m.
- ✓ November 21, 2013 – Lighting Ceremony & Caroling at Stevens Park at 7:30 p.m.
- ✓ December 7, 2013 – Tuba Christmas concert at 3:00 p.m., Evening Christmas Parade at 6:00 p.m.
- ✓ December 19, 2013 – Third Thursday from 5:00 – 8:00 p.m.

VIII. CONSIDERATION OF APPROPRIATION ORDINANCE.

A. Appropriation Ordinance No. 2350-2013A.

IX. CONSIDERATION OF ORDINANCES AND RESOLUTIONS.

- A. Ordinance No. _____-2013, an ordinance establishing penalties for licensees whose employees or agents are convicted of selling or furnishing alcoholic liquor or cereal malt beverage to a minor; amending Code Section 6-90; repealing current Code Section 6-90; all to the Code of Ordinances of the City of Garden City, Kansas.
- B. Ordinance No. _____-2013, an ordinance establishing penalties for licensees whose employees or agents are convicted of selling or furnishing alcoholic liquor or cereal malt beverage to a minor; amending Code Sections 6-160 and 6- 180; adding new Code Section 6-137; repealing current Code Sections 6-160 and 6-180; all to the Code of Ordinances of the City of Garden City, Kansas.
- C. Ordinance No. _____ - 2013, an ordinance amending the zoning regulations for the City of Garden City, Kansas; adopting new zoning regulations to regulate signs and outdoor advertising; amending zoning regulation Article 23; repealing in its entirety current zoning regulation Article 23; all to the Code of Ordinances of the City of Garden City, Kansas.
- D. Ordinance No. _____-2013, an ordinance regulating building permits and site plans for the City of Garden City, Kansas; amending the zoning regulations for the City of Garden City, Kansas; amending Zoning Regulation Article 1; repealing in its entirety current Zoning Regulation Article 1; all to the Code of Ordinances of the City of Garden City, Kansas.
- E. Ordinance No. _____ - 2013, an ordinance approving the rezoning of land from “C-2” General Commercial District to “I-1” Light Industrial District; amending the zoning ordinance, the comprehensive plan of the city, and the district zoning map of the city; and repealing the current zoning ordinance, comprehensive plan, and district zoning map; all to the Code of Ordinances of the City of Garden City, Kansas. (3285 E. Fulton Street)
- F. Ordinance No. _____ - 2013, an ordinance approving the rezoning of land from “C-2” General Commercial District to “P-F” Public Facilities District; amending the zoning ordinance, the comprehensive plan of the city, and the district zoning map of the city; and repealing the current zoning ordinance, comprehensive plan, and district zoning map; all to the Code of Ordinances of the City of Garden City, Kansas. (1706 & 1802 E. Spruce Street)
- G. Ordinance No. _____-2013, an ordinance regulating public facilities district of the zoning regulations of the City of Garden City, Kansas; amending the zoning regulations to allow temporary accessory uses as a conditional use in the City of Garden City, Kansas;

amending Zoning Regulation Article 12; repealing in its entirety current Zoning Regulation Article 12; all to the Code of Ordinances of the City of Garden City, Kansas.

X. OLD BUSINESS.

- A. Governing Body consideration of an offer by Garden City Arts to purchase the American Legion building for \$1.00.

XI. NEW BUSINESS.

A. Advisory Board Recommendations:

- 1. Airport Advisory Board – 3 appointments
- 2. Police Citizen Advisory Board – 1 appointment

B. **Consent Agenda for approval consideration:** (The items listed under this “consent agenda” are normally considered in a single motion and represent items of routine or prior authorization. Any member of the Governing Body may remove an item prior to the vote on the consent agenda for individual consideration.)

- 1. Governing Body consideration and acceptance of bids received October 8, 2013 for the 2014 Crack Sealing project and authorization for the Mayor and City Clerk to execute the contracts.
- 2. Governing Body consideration and approval of a service level agreement with IDEATEK for a communications link.
- 3. Governing Body consideration and approval for a residential lease agreement between the City of Garden City, Kansas and Kenneth and Karen Powell for 2321 N. Eighth Street.
- 4. Governing Body acceptance of a deed from Mosaic Housing Corp. XX – Garden City for right-of-way on Schulman Avenue.
- 5. Quit Claim Deed from Kenneth &/or Carol Savoy transferring Space 6; Lot 38; Zone J of Valley View Cemetery to the City of Garden City, Kansas.

6. Licenses:

(2013 Renewal)

- a) McGraw Fencing & Repair Class E-SOC Specialized Other

(2013 New)

- b) LSX Construction, LLC.....Class A General
- c) Segal, Inc.Class A General
- d) C&K Construction & Service..... Class D-P Plumbing w/ Gas
- e) Boco Buildings..... Class E-SOC Specialized Other

XII. CITY COMMISSION REPORTS.

A. Commissioner Law

B. Commissioner Cessna

C. Commissioner Dale

D. Commissioner Doll

E. Mayor Fankhauser

XIII. ADJOURN.

THE REGULAR MEETING OF THE BOARD OF COMMISSIONERS

City of Garden City

October 1, 2013

The regular meeting of the Board of Commissioners of the City of Garden City was held at 1:00 p.m. at the City Administrative Center on Tuesday, October 1, 2013 with all members present. Mayor Fankhauser opened the meeting with the Pledge of Allegiance to the Flag and Invocation.

Jeffrey Weeast, on behalf of The Arts Center discussed with the Governing Body the desire of The Arts Center to make an offer on the building located at 125 W. Pine Street, the former American Legion Building.

Commissioner Dale moved to approve a request from Lindsey Becker, Jax Sports Grill for a waiver to the noise ordinance on October 12, 2013 from 8:00 p.m. to midnight and a waiver to the parking lot surface ordinance. Mayor Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Commissioner Doll moved to approve a request from Jimmy Deal, on behalf of Leave a Legacy Foundation for the temporary closure of public vehicle access to Lee Richardson Zoo on Saturday, October 5, 2013 from 8:00 a.m. – 10:00 a.m., a barricade to be placed at the 4th Street entrance to the zoo and an extension of the sign waiver ordinance to allow signs to be placed at St. Catherine’s Hospital and the Cancer Center through November 3, 2013. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Commissioner Law moved to approve the request from Linda Morgan, on behalf of Garden City Community College for a waiver of the noise ordinance from 9:00 p.m. – midnight on October 18-19, 2013 for an American Criminal Justice Association conference and competition to be held at the ROPES course at the college. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Commissioner Law moved to sell water to Delmer Towns and to extend city water infrastructure to Towns Riverview. Commissioner Doll seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

The annual FAA inspection was conducted at the Garden City Regional Airport on September 24-25, 2013. The airport received a perfect inspection with no discrepancies. The Garden City Fire Department, airport tenants and airport personnel are to be commended on the successful inspection.

The Sunflower Foundation announced their next application cycle for trail grants. Staff and other interested parties have discussed possible applications with the Foundation and have determined that the Garden City Recreation Commission would be the most appropriate agency for submitting an application.

Community Development Director Kentner and staff updated the Governing Body on the final results of the City’s challenge to the 2010 US Census.

Commissioner Cessna moved to set the Town Hall meeting for 7:00 p.m. on October 29, 2013 at the City Administrative Center. Mayor Fankhauser seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

The City received the August 2013 franchise payment in the amount of \$5,892.51 from AT&T.

The City received correspondence from Cox Communications regarding channel line-up changes.

Staff has provided the monthly sales tax report from Finance Director Hitz for Governing Body review.

Meetings of note:

- ✓ October 4, 2013 – United Way Kick-Off Event from 11:30 a.m. – 1:00 p.m.
- ✓ October 4, 2013 – Southwest Kansas Coalition meeting at the City Administrative Center from 10:00 a.m. – 1:00 p.m.
- ✓ October 8, 2013 – Special Meeting of the Governing Body at 1:00 p.m.
- ✓ October 10, 2013 - Jameson Energy Center ground-breaking ceremony at 10:00 a.m.
- ✓ October 10, 2013 – Diversity Dinner at the Clarion Inn, 6:30 p.m. – 8:30 p.m.
- ✓ October 11, 2013 – Multi-Cultural Summit hosted by the City of Garden City Cultural Relations Board at GCCC 8:00 a.m. – 5:30 p.m.
- ✓ October 12-14, 2013 – League of Kansas Municipalities Annual Conference – Overland Park, Kansas
- ✓ October 19, 2013 – Boo! At the Zoo
- ✓ November 9, 2013 – Veteran’s Day parade

Appropriation Ordinance No. 2349-2013A, “AN APPROPRIATION ORDINANCE MAKING CERTAIN APPROPRIATIONS FOR CERTAIN CLAIMS IN THE AMOUNT OF \$4,989,402.03,” was read and considered section by section. Mayor Fankhauser moved to approve and pass Appropriation Ordinance No. 2349-2013A. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Resolution No. 2550-2013, “A RESOLUTION TO APPROVE URBAN FUNCTIONAL CLASSIFICATION SYSTEMS,” was read and considered section by section. Commissioner Cessna moved to approve Resolution No. 2550-2013. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Chief Hawkins presented to the Governing Body an update on Code Section 86-5, “Designated Truck Routes.” Chief Hawkins and staff recommended that the Governing Body make no changes to the ordinance.

Commissioner Law moved to make no changes to the truck route ordinance. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Nay	Yea	Nay	Yea

Commissioner Doll moved to direct staff to cease participation in the Emergency Services Grant (ESG) Program after the current period (2012) is over. Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Commissioner Law moved to authorize the Mayor to sign amendment #2 as presented by Wheatland Electric Cooperative and wait for Kansas Corporation Commission approval for the implementation date of the increase. Commissioner Dale seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Commissioner Cessna moved to authorize Finney County Economic Development Corporation (FCEDC) to access the “Incentives/Special Projects” fund to pay for a Retirement Housing Market Analysis. Commissioner Law seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Mayor Fankhauser moved to approve the following:

1. Governing Body consideration and acceptance of bids received on September 26, 2013 for the Seventh & Laurel Streetscape rebid and authorization for the Mayor and City Clerk to execute the contracts.

BIDDER	TOTAL	COMMENT
Engineer’s Estimate	\$105,164.75	
Lee Construction, Inc.	\$97,416.08	LOW BID
J-A-G Construction Co.	\$98,841.28	

Commissioner Cessna seconded the motion. The vote was taken by yeas and nays and recorded as follows:

Cessna	Dale	Doll	Fankhauser	Law
Yea	Yea	Yea	Yea	Yea

Mayor Fankhauser adjourned the meeting since there was no further business before the Governing Body.

Dan Fankhauser, Mayor

ATTEST:

Celyn N. Hurtado, City Clerk

City Commission Reports

Mayor Fankhauser thanked the Airport and Fire Department for the perfect score on the FAA inspection. Mayor Fankhauser also stated that the enplanements at the airport continue to increase, and the airport is currently 72 enplanements short of breaking the record for 2012. Mayor Fankhauser passed out his words of wisdom to everyone that read, "Life is not measured by the number of breaths that we take, but by the moments that take our breath away."

Commissioner Law commended Commissioner Dale for doing the research on the truck routes and stated he would be in support of cleaning up the language in the current truck route ordinance. Commissioner Law asked if this is a time to remind all truck route drivers of how the ordinance reads.

Commissioner Cessna reminded everyone of the Fall Clean-Up that starts on September 30, 2013 and ends on October 11, 2013. Commissioner Cessna stated the sales tax reports look good. Commissioner Cessna agreed with Commissioner Law that he would be in support of cleaning-up the language in the current truck route ordinance.

Commissioner Dale reminded the public of the Town Hall meeting on October 29, 2013, he asked the media to get the word out about the meeting and encouraged thoughts, ideas and challenges. Commissioner Dale commended the departments and agencies involved in the full scale emergency exercise at GCK including GCCC, Fire, Police, Airport, Emergency Management and Hazmat teams. Commissioner Dale thanked Chief Hawkins for the information that was given to him on truck routes and stated he respects Chief Hawkins and all the GCPD officers. Commissioner Dale reminded the public of the Jameson Energy Center ground-breaking ceremony on October 10, 2013.

Commissioner Doll congratulated the Airport and Fire Department on the perfect score on the FAA inspection.

Petitions

PROCLAMATION

WHEREAS, Garden City, Kansas is a community which acknowledges that a **special vibrancy exists within community** when its individual citizens collectively, **“go the extra mile” in personal effort, volunteerism, and service;** and

WHEREAS, Garden City, Kansas is a community which encourages its citizens to **maximize their personal contribution to the community by giving of themselves wholeheartedly and with total effort, commitment, and conviction** to their individual ambitions, family, friends, and community; and

WHEREAS, Garden City, Kansas is a community which chooses to shine a light on and celebrate individuals and organizations within its community who **“go the extra mile” in order to make a difference and lift up fellow members of their community;** and

WHEREAS, Garden City, Kansas acknowledges the **mission of the Extra Mile America Foundation to create 300 Extra Mile cities in America** and is proud to support **“Extra Mile Day” on November 1, 2013.**

NOW, THEREFORE, BE IT RESOLVED, that I, Dan Fankhauser, Mayor of the City of Garden City, Kansas, do hereby proclaim November 1, 2013 to be:

EXTRA MILE DAY

I urge each individual in the community to take time on this day to not only “go the extra mile” in his or her own life, but to also acknowledge all those around who are inspirational in their efforts and commitment to make their organizations, families, community, country, or world a better place.

SIGNED AND SEALED this 15th day of October, 2013.

Dan Fankhauser, Mayor

ATTEST:

Celyn N. Hurtado, City Clerk

Report of the City Manager

Certificate of Achievement

City of Garden City

This certificate is
presented to

AMY PERKINS

in recognition of outstanding accomplishments and contributions.
250 online payments in one month!


Signature

10/9/13
Date


Signature

10/9/13
Date





901 S. George Washington Blvd.
 Wichita, Kansas 67211
 316.260.7000 tel
 www.cox.com

September 27, 2013

Mr. Dan Fankhauser
 Mayor of Garden City
 P.O. Box 499
 Garden City, KS 67846

Dear Mr. Fankhauser,

In order to enhance our services, maximize network capacity and add additional HD channels, on Wednesday, Oct.30, Cox will migrate 29 additional channels to the Switched Digital Video (SDV) platform. SDV technology requires customers to use a device capable of two-way communication in order to access the "switched" channels.

As of Wednesday, Oct. 30, current customers who use devices that do not offer two-way communication capabilities will need to take additional steps in order to view switched programming. Customers using one of the following compatible devices with a tuning adapter will allow them to continue receiving all of the existing channels: TiVo (Series 3, TiVo HD and HD XL, TiVo Premiere, Premiere XL and Premiere Elite), Moxi HD DVR, Windows Media Center OCUR, Ceton InfiniTV-4 and InfiniTV-6 or HD HomeRun Prime. Tuning adapters will be available free of charge at your local Cox Solutions store. If the device is not listed above, Cox customers can lease a digital or high-definition receiver to enable continued access to the switched channels listed below as well as other two-way services including On DEMAND and the Interactive Program Guide. Cox is pleased to offer the receiver for the same price as a CableCARD for 12 months at \$1.99 a month.

The 29 additional channels that will be delivered via SDV, effective on or after Wednesday, Oct. 30 are:

Ch. #	Network	Ch. #	Network
107	NASA TV	256	Biography
108	Pentagon Channel	257	NBC Sports Network
153	EWTN	272	Longhorn Network
154	Family Net	300	nuvoTV
198	RetroPlex	301	Cinelatino
199	IndiePlex	303	FOX Deportes
215	nuvoTV	309	Galavisión
220	G4	313	HISTORY en Español
237	fuse	420	SHOWTIME NEXT
241	Chiller	421	SHOWTIME WOMEN
248	Tennis Channel	422	SHOWTIME FAMILY ZONE
249	DIY Network	501	ENCORE ACTION
250	FXX	502	ENCORE LOVE
251	Discovery Channel Fit & Health	503	ENCORE SUSPENSE
255	H2		

We are truly grateful for the opportunity to serve your community. If you have any questions regarding these changes, please contact me at (785) 215-6720 or coleen.jennison@cox.com.

Best Regards,

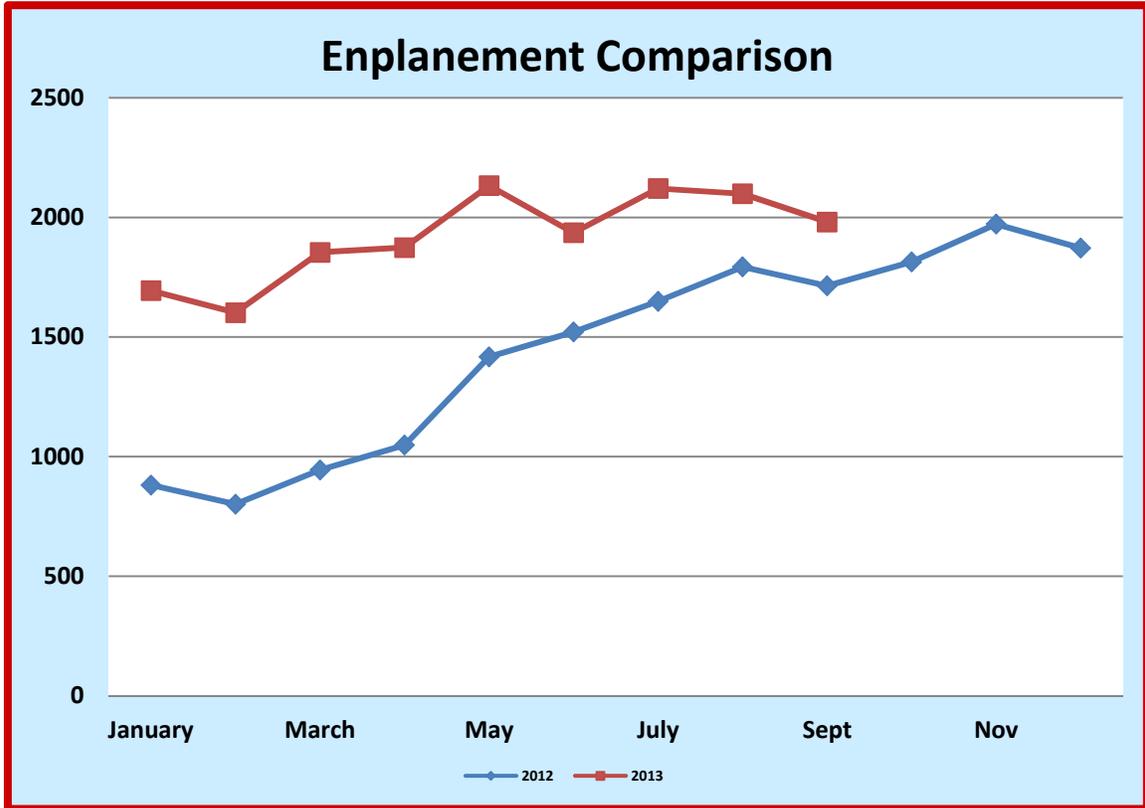
Coleen Jennison
 Government Affairs Director
 Cox Communications



In harmony with the Cox Conserves eco-friendly program, we are proud to print on Forest Stewardship Council-certified paper.

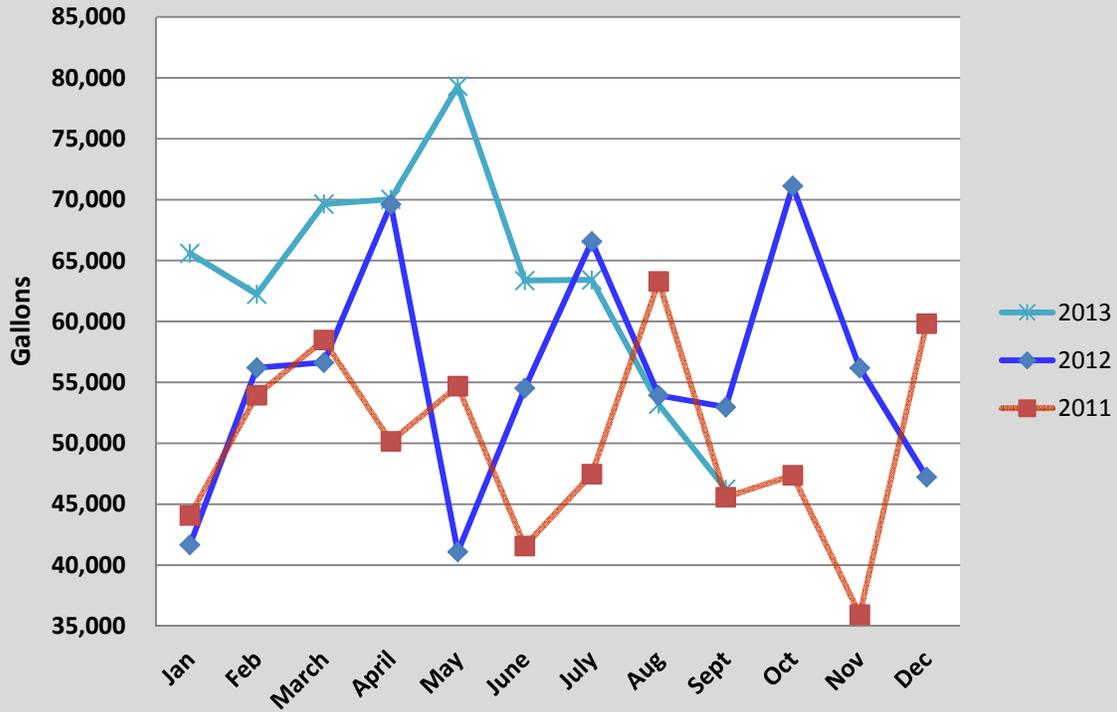
Staff Reports

**GARDEN CITY REGIONAL AIRPORT
MONTHLY REPORTS**

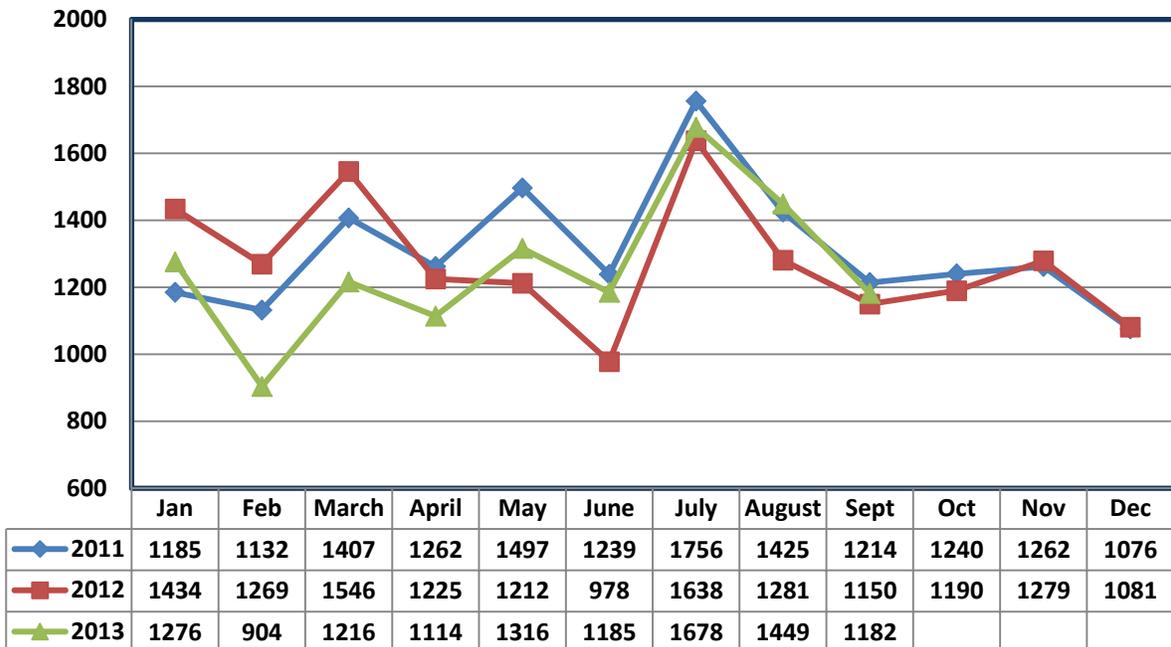


Total Enplanements				
2013	America n Eagle	Republic	Sun Country	Total
Jan.	1694	69		1763
Feb	1602	84		1686
March	1854			1854
April	1874	71		1945
May	2133	63		2196
June	1986	67		2053
July	2121	71	37	2229
Aug	2099	49		2148
Sept	1981	71		2052
Oct	0			0
Nov	0			0
Dec	0			0
TOTAL	17344	545	37	17926

Fuel Sale Comparison



Monthly Operations Comparison





City of Garden City
Monthly Financial Report FY 2013
For the Nine Months Ended September 30, 2013
 Unaudited--Intended for Management Purposes Only

The following is a summary of the City's financial results for the General Funds and Utility Funds. The subsequent pages provide some narrative, comparison cash balances, line item analysis, and graphic display of revenue trends for the City's General and Utility Funds. This report is intended to assist the City Commission and the City's Administrative team in managing the operational budget. This information is summarized from unaudited financial statements for the monthly period that ended September 30, 2013.

GENERAL FUND AT A GLANCE

Category	Revised 2013 Budget	2013 YTD Actual	2012 YTD Actual
Revenues	20,119,157	14,663,239	13,576,907
Expenditures	20,196,990	14,800,682	14,133,143
Revenues Over(Under)	(77,833)	(137,442)	(556,236)

UTILITY FUND REVENUES AT A GLANCE

Category	Revised 2013 Budget	2013 YTD Actual	2012 YTD Actual
Electric	28,187,154	21,911,188	19,550,562
Solid Waste	2,806,886	2,184,768	2,152,235
Drainage Utility	205,798	154,698	157,358
Water and Sewage	7,642,379	5,117,248	5,648,769
TOTAL	38,842,217	29,367,902	27,508,925

SELECTED REVENUES AT A GLANCE

Category	Revised 2013 Budget	2013 YTD Actual	2012 YTD Actual
City Sales Tax	5,525,000	4,442,829	4,158,724
County Sales Tax	3,295,000	2,650,706	2,476,778
Franchise Tax			
Gas Utility	430,000	397,265	287,753
Telephone	75,000	55,581	58,511
CATV	220,000	173,497	164,084
Building Permits	165,250	175,372	146,526
Municipal Court Fines	1,010,000	782,714	645,746



City of Garden City
Monthly Financial Report FY 2013
For the Nine Months Ended
September 30, 2013

General Fund

General Fund Revenues collected through September were \$14,663,239. The September revenues represent about 72.88% of the total revenues expected in the General Fund. Property tax distribution was 99.31% for the fourth of five payments 2013.

General Fund Expenses are at 73.28% of the total expenditures expected in the General Fund.

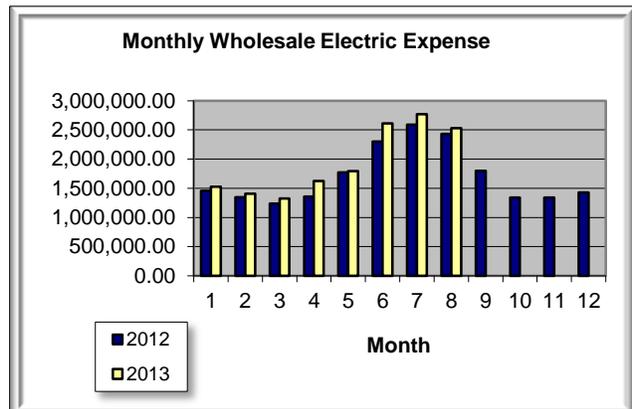
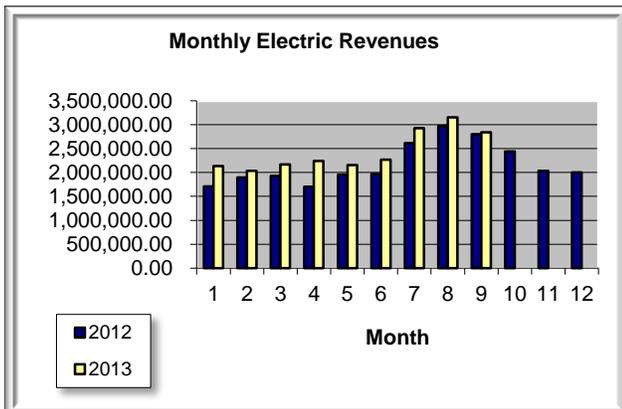
Selected Revenues

- City Sales Tax—Ahead by \$284,105 compared to September 2012 year to date collections, 6.83% ahead of 2012 for the nine months ended.
- County Sales Tax— Collections for the nine months ended are ahead of 2012 by \$173,928 or 7.02%.
- Franchise Tax—Budget estimates for 2013 remain approximately the same as 2012 with the exception of Gas utility, due to the increase in fee from 4% to 5%. Franchise fees are slightly higher than 2012 with the exception of telephone.
- Building Permits—Budget estimates for 2013 are based on 2012 revenues. Receipts are higher than this period in 2012.
- Municipal Court Fines—Budget estimates are slightly higher than 2012 budget and collections through September were ahead of 2012.

Utility Funds

A summary of Utility Fund revenue performance is outlined below:

- Electric revenues – revised budget at \$28,187,154 for 2013 were \$21,911,188 through nine months or 77.73% of budget.

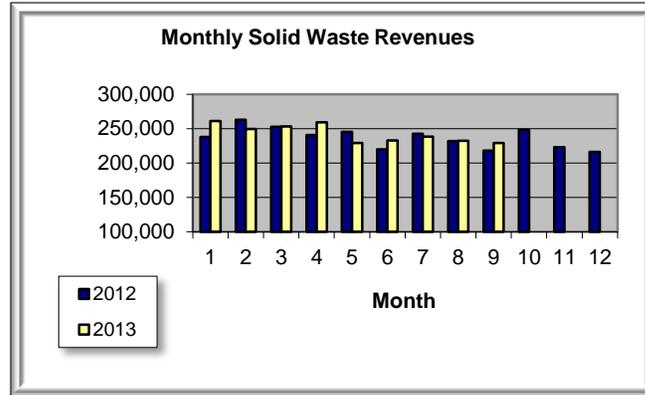


A main expense is Wholesale Electric in the Utility Fund. The 2013 revised budget for wholesale electric is \$21,250,000. The wholesale electric expense for September was not available at this printing.

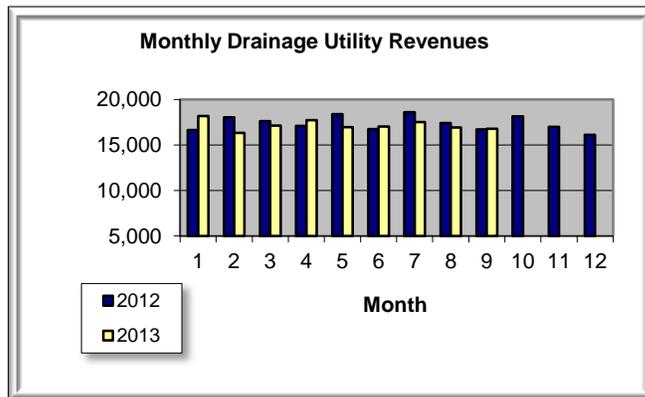


City of Garden City Monthly Financial Report FY 2013 For the Nine Months Ended September 30, 2013

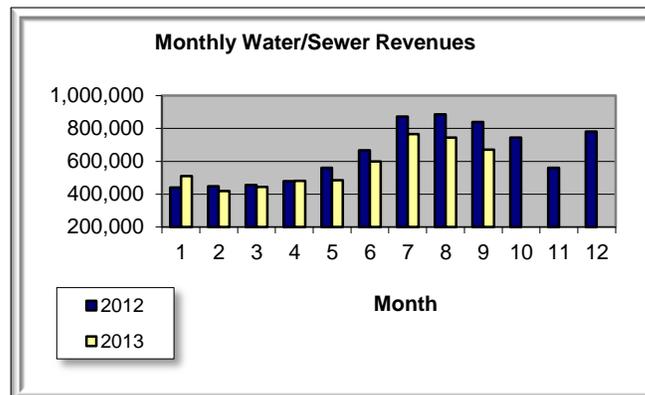
■ Solid Waste revenues – revised budget at \$2,806,886 for 2013 were \$2,184,768 through nine months or 77.84% of budget.



■ Drainage Utility revenues – revised budget at \$205,798 for 2013 were \$154,698 through nine months or 75.17%.



■ Water and Sewage revenues - revised budget at \$7,642,379 for 2013 were \$5,117,248 through nine months or 66.96% of budget.





CITY OF GARDEN CITY, KANSAS
 Comparison of Cash Balances with Encumbrances and Composition of Cash
 For the Nine Months Ended September 30, 2013

Fund	Unencumbered Cash Balance 1/1/2013	Receipts and Transfers	Expenditures and Transfers	Unencumbered Cash Balance 9/30/2013	Add Payables and Encumbrances	Treasurer's Cash 9/30/2013
1 General	3474369.34	14663239.41	14282821.41	3854787.34	0.00	3854787.34
<u>Debt Service Fund</u>						
40 Bond and Interest	276747.01	1920875.74	137477.00	2060145.75	0.00	2060145.75
<u>Special Revenue Funds</u>						
5 Capital Improvement	672380.26	9391.89	46786.03	634986.12	0.00	634986.12
6 Community Development Loan Fund	9371.84	4644.67	2270.00	11746.51	0.00	11746.51
7 Cemetery Endowment	20579.97	5843.51	0.00	26423.48	0.00	26423.48
8 Community Trust	1361809.82	302428.22	592345.14	1071892.90	0.00	1071892.90
10 DEA Forfeiture	33248.70	28815.97	24624.28	37440.39	0.00	37440.39
11 Drug Enforcement	32830.09	-1069.99	13533.19	18226.91	0.00	18226.91
12 DJBX-0188 2012 Grant	0.00	0.00	15813.45	-15813.45	0.00	-15813.45
15 Enhanced Wireless 911 Fund	216839.73	134112.88	78467.44	272485.17	0.00	272485.17
16 Cops Grant-Technology	0.00	0.00	0.00	0.00	0.00	0.00
18 Finnup Trust Fund	53040.88	183500.00	45805.05	190735.83	0.00	190735.83
25 Recreation	1339.33	908940.43	910279.76	0.00	0.00	0.00
26 Special Improvements	111919.69	277.25	24508.67	87688.27	0.00	87688.27
27 Special Liability	153098.02	0.00	4265.70	148832.32	0.00	148832.32
29 Special Alcohol Programs	27365.02	65023.39	56380.00	36008.41	0.00	36008.41
30 Special Recreation and Parks	92354.57	75405.43	53211.93	114548.07	0.00	114548.07
31 FOLRZ Projects	0.00	469512.11	469512.11	0.00	0.00	0.00
32 Special Trafficway	962465.80	505861.78	544524.54	923803.04	0.00	923803.04
50 Community Development Grant	0.00	55714.36	55714.36	0.00	0.00	0.00
52 Economic Development	311551.07	54838.65	1047.07	365342.65	0.00	365342.65
53 Project Development	214993.64	94787.22	59780.86	250000.00	0.00	250000.00
54 RHID Security Fund	0.00	357634.00	0.00	357634.00	0.00	357634.00
Total Special Revenue	4275188.43	3255661.77	2998869.58	4531980.62	0.00	4174346.62
<u>Capital Projects Funds</u>						
41 2013-GO Bond Projects	0.00	8503706.02	3267551.61	5236154.41	879357.53	6115511.94
42 2011-GO Bond Projects	698172.49	0.00	317878.74	380293.75	0.00	380293.75
43 2011-Temporary Notes Projects	760.90	30000.00	1000.00	29760.90	0.00	29760.90
44 2012-Temporary Notes Projects	14336.50	20000.00	20576.15	13760.35	0.00	13760.35
45 2012-GO Bond Projects	924141.32	0.00	451777.17	472364.15	0.00	472364.15
46 2012- Temporary Notes Durango Proj	4205085.44	0.00	951714.88	3253370.56	0.00	3253370.56
47 Pioneer Road Estates Improvements	0.00	300000.00	525374.75	-225374.75	0.00	-225374.75
Total Capital Projects	5842496.65	8853706.02	5535873.30	9160329.37	879357.53	10039686.90
<u>Enterprise Funds</u>						
Electric Utility:						
68 General	1709845.64	21911187.71	18698400.51	4922632.84	245188.72	5167821.56
69 Security Deposits	340303.02	230505.00	30789.54	540018.48	0.00	540018.48
Total Electric Utility	2050148.66	22141692.71	18729190.05	5462651.32	245188.72	5707840.04
Water and Sewer Utility:						
80 General	1982621.11	5117247.70	5253117.74	1846751.07	0.00	1846751.07
81 Wastewater Repair and Replacem	550660.27	99801.64	0.00	650461.91	0.00	650461.91
82 Water and Sewage Maintenance F	821688.76	149335.19	0.00	971023.95	0.00	971023.95
Total Water and Sewer Utility	3354970.14	5366384.53	5253117.74	3468236.93	0.00	3468236.93
Airport:						
60 General	351612.74	774922.82	724444.91	402090.65	0.00	402090.65
61 Airport Improvement	81706.70	278126.00	292764.37	67068.33	0.00	67068.33
Total Airport	433319.44	1053048.82	1017209.28	469158.98	0.00	469158.98
Solid Waste Utility:						
75 General	1326363.62	2184768.43	1946962.72	1564169.33	29060.00	1593229.33
Recreation Area:						
70 General Golf Course	97189.36	643103.11	665567.92	74724.55	0.00	74724.55
71 Golf Course Building	26581.05	17242.00	30000.00	13823.05	0.00	13823.05
Total Recreation Area	123770.41	660345.11	695567.92	88547.60	0.00	88547.60
Drainage Utility:						
79 General	268151.95	154698.48	36005.20	386845.23	0.00	386845.23
<u>Internal Service Funds</u>						
55 Health Insurance	42018.06	2185382.18	2590035.62	-362635.38	0.00	-362635.38
56 Health Insurance Reserve	700000.06	0.00	0.00	700000.06	0.00	700000.06
35 Workers Compensation	67130.57	351540.00	344410.13	74260.44	0.00	74260.44
36 Workers Compensation Reserve	583694.12	121.50	72578.06	511237.56	0.00	511237.56
Total Internal Service	1392842.81	2537043.68	3007023.81	922862.68	0.00	922862.68
Total All Funds	22818368.46	62791464.70	53640118.01	31969715.15	1153606.25	32765687.40



City of Garden City
Statement of Revenues and Expenditures-General Fund Revenues
From 09/1/2013 Through 09/30/2013

001 - GENERAL FUND

		Curr Month Collections	YTD Collections	Revised Budget	Uncollected Balance
Income					
3022	CONNECTING LINKS	0.00	55,838.00	74,050.00	(18,212.00)
3023	CONSUMER USE TAX	56,761.97	607,295.73	750,000.00	(142,704.27)
3028	LIQUOR CONSUMPTION TAX	20,015.99	65,023.38	78,000.00	(12,976.62)
3035	STATE REVENUE STAMP	(50.00)	(25.00)	0.00	(25.00)
3040	AD VALOREM TAX	(113,222.62)	3,456,202.81	3,400,000.00	56,202.81
3041	AD VALOREM BACK TAX	10,362.26	79,092.50	160,000.00	(80,907.50)
3044	CITY SALES TAX	529,340.96	4,442,828.56	5,525,000.00	(1,082,171.44)
3046	COUNTY SALES TAX	319,214.99	2,650,706.44	3,295,000.00	(644,293.56)
3055	MOTOR VEHICLE TAX	192,897.02	433,814.93	445,000.00	(11,185.07)
3056	RECREATIONAL VEHICLE TAX	1,975.93	3,389.87	4,250.00	(860.13)
3057	HEAVY DUTY VEHICLE TAX	15.06	3,642.78	3,250.00	392.78
3065	CATV FRANCHISE	0.00	173,496.58	220,000.00	(46,503.42)
3066	GAS UTILITY FRANCHISE	0.00	397,265.14	430,000.00	(32,734.86)
3067	TELEPHONE FRANCHISE	5,892.51	55,580.57	75,000.00	(19,419.43)
3115	CEMETERY SPACES	2,110.00	39,345.00	60,000.00	(20,655.00)
3301.01	ANIMAL BOARDING	806.79	15,428.29	13,500.00	1,928.29
3301.02	CAR STORAGE & TOWING	1,095.00	15,190.15	14,000.00	1,190.15
3301.05	FEES-FALSE ALARM	0.00	3,150.00	4,500.00	(1,350.00)
3301.07	FEES-GATE RECEIPTS	1,460.00	19,110.00	24,000.00	(4,890.00)
3301.08	FEES-GRAVE OPENINGS	4,235.00	51,660.00	55,000.00	(3,340.00)
3301.09	FEES-MONUMENT SETTING	225.00	2,320.00	2,500.00	(180.00)
3301.10	FEES-PLAT FILING	566.00	2,537.00	2,500.00	37.00
3301.11	FEES-REZONING	300.00	2,000.00	2,500.00	(500.00)
3301.12	FEES-RURAL FIRE CONTRACTS	0.00	0.00	190,000.00	(190,000.00)
3301.13	FEES-WAIVER FILING	115.00	1,110.00	1,500.00	(390.00)
3301.16	FINES-MUNICIPAL COURT	78,449.12	782,713.83	1,010,000.00	(227,286.17)
3301.17	FEES-STATE JUDGE	122.00	1,371.71	2,000.00	(628.29)
3301.18	FEES-STATE LAW ENFORCEMENT	4,642.68	51,326.27	104,000.00	(52,673.73)
3301.19	FEES-REINSTATEMENT	648.00	10,439.50	19,000.00	(8,560.50)
3301.20	FEES-RESTITUTION	(1,671.48)	58,629.79	0.00	58,629.79
3301.21	LEGAL COPIES	0.00	2,239.55	3,000.00	(760.45)
3301.22	PROBATION SCREENING	10.00	360.00	1,000.00	(640.00)
3301.23	FEES-CRIME STOPPER INFRACTION	169.00	979.00	750.00	229.00
3301.24	FEES-CRIME STOPPER MAJOR	828.00	1,402.00	1,500.00	(98.00)
3350.01	LICENSE-AMUSEMENT	0.00	1,500.00	2,000.00	(500.00)
3350.02	LICENSE-ARBORIST	0.00	375.00	600.00	(225.00)
3350.03	LICENSE-CEREAL MALT BEVERAGE	0.00	425.00	2,000.00	(1,575.00)
3350.04	LICENSE-CONTRACTOR	350.00	8,825.00	24,000.00	(15,175.00)
3350.06	LICENSE-ELECTRICIAN	200.00	2,600.00	4,750.00	(2,150.00)
3350.08	LICENSE-ITINERANT MERCHANT	0.00	5,765.00	15,000.00	(9,235.00)
3350.09	LICENSE-LIQUOR	1,500.00	10,500.00	15,000.00	(4,500.00)
3350.10	LICENSE-MECHANICAL	150.00	2,235.00	2,250.00	(15.00)
3350.12	LICENSE-PAWN SHOP	0.00	50.00	100.00	(50.00)
3350.13	LICENSE-PLUMBER	200.00	1,835.00	2,500.00	(665.00)
3350.15	LICENSE-TAXI	0.00	195.00	195.00	0.00
3350.16	TAGS-DOG & CAT	152.31	2,517.23	1,750.00	767.23
3400.01	PERMITS-BUILDING	16,635.16	146,120.48	130,000.00	16,120.48
3400.02	PERMITS-CURB CUT	116.00	417.00	250.00	167.00



City of Garden City
Statement of Revenues and Expenditures-General Fund Revenues
From 09/1/2013 Through 09/30/2013

3400.03	PERMITS-ELECTRIC	240.00	2,716.00	5,000.00	(2,284.00)
3400.04	PERMITS-EXCAVATION	60.00	1,035.00	1,500.00	(465.00)
3400.05	PERMITS-GAS	71.00	2,038.30	3,500.00	(1,461.70)
3400.08	PERMITS-MECHANICAL	816.20	10,736.30	9,000.00	1,736.30
3400.09	PERMITS-PLUMBING	383.00	7,458.44	11,000.00	(3,541.56)
3400.11	PERMITS-TV & SIGN	350.00	4,850.00	5,000.00	(150.00)
3435	INTEREST INCOME	1,251.11	20,639.91	35,000.00	(14,360.09)
3437	FINANCE CHARGE INCOME	(4,006.70)	4,217.22	12,500.00	(8,282.78)
3440.02	RENTAL-CITY FACILITIES	12,862.96	46,633.02	50,000.00	(3,366.98)
3440.03	RENTAL-DEPOT	100.00	900.00	1,200.00	(300.00)
3447	ROYALTIES-GAS WELLS	2,120.47	20,596.82	31,000.00	(10,403.18)
3450	SALE OF PROPERTY-AUCTION	0.00	14,438.25	18,000.00	(3,561.75)
3470.01	REIMBURSE-ADMINISTRATIVE COSTS	0.00	0.00	276,765.00	(276,765.00)
3470.02	REIMBURSE-ENGINEERING	0.00	0.00	415,173.00	(415,173.00)
3470.03	REIMBURSE-FINNUP TRUST	0.00	924.00	924.00	0.00
3470.04	REIMBURSE-POLICE SERVICES	0.00	107,362.29	212,000.00	(104,637.71)
3470.07	UTILITY FUNDS REIMBURSEMENT	67,003.84	599,875.26	2,642,850.00	(2,042,974.74)
3470.08	REIMBURSE-COUNTY	6,262.43	105,379.47	125,000.00	(19,620.53)
3470.09	REIMBURSE-HOLCOMB	0.00	38,000.00	38,000.00	0.00
3515	FUEL TAX REFUND	0.00	3,370.80	1,500.00	1,870.80
3600.01	MISCELLANEOUS-ADMINISTRATION	3,147.00	3,147.00	0.00	3,147.00
3600.04	MISCELLANEOUS-INSPECTION	0.00	2,093.40	3,000.00	(906.60)
3600.05	MISCELLANEOUS-PARK & ZOO	0.00	1.00	50.00	(49.00)
3600.07	MISCELLANEOUS-POLICE	17.84	(1,997.16)	0.00	(1,997.16)
3600.08	MISCELLANEOUS-STREET	0.00	0.00	50,000.00	(50,000.00)
Total Income		<u>1,227,296.80</u>	<u>14,663,239.41</u>	<u>20,119,157.00</u>	<u>(5,455,917.59)</u>



City of Garden City
Statement of Revenues and Expenditures-General Fund Expenses
From 09/1/2013 Through 09/30/2013

001 - GENERAL FUND

		Curr Month			
		Expenses	YTD Expenses	Revised Budget	Budget Remaining
Expenses					
111	CITY COMMISSION	7,587.39	61,544.57	76,000.00	14,455.43
112	CITY MANAGER	32,837.48	351,758.53	473,250.00	121,491.47
113	SERVICE AND FINANCE	50,940.03	522,360.30	725,490.00	203,129.70
114	LEGAL SERVICES	9,814.60	88,549.27	106,450.00	17,900.73
115	MUNICIPAL COURT	38,404.56	530,106.13	897,600.00	367,493.87
116	HUMAN RESOURCES	7,442.87	126,148.96	171,450.00	45,301.04
117	INFORMATION TECH	37,361.82	323,221.85	386,850.00	63,628.15
118	CITY PROSECUTION	<u>22,254.40</u>	<u>199,944.69</u>	<u>267,750.00</u>	<u>67,805.31</u>
	Total Administration	206,643.15	2,203,634.30	3,104,840.00	901,205.70
121	POLICE-ADMINISTRATIVE	80,251.98	1,054,084.77	1,480,500.00	426,415.23
122	POLICE-INVESTIGATIONS	53,522.18	593,774.77	796,500.00	202,725.23
123	POLICE-PATROL	230,702.90	2,433,715.22	3,306,250.00	872,534.78
124	POLICE-SUPPORT SERVICES	79,538.97	840,113.50	1,162,500.00	322,386.50
125	POLICE-ANIMAL CONTROL	<u>(21,844.05)</u>	<u>111,570.15</u>	<u>197,250.00</u>	<u>85,679.85</u>
	Total Police	422,171.98	5,033,258.41	6,943,000.00	1,909,741.59
131	PUBLIC WORKS-PLANNING,COMM	20,158.67	245,987.72	332,300.00	86,312.28
132	PUBLIC WORKS-ENGINEERING	12,920.67	188,979.84	254,600.00	65,620.16
133	PUBLIC WORKS-STREET MAINT	101,798.46	1,104,233.61	1,392,250.00	288,016.39
134	PUBLIC WORKS-INSPECTIONS	17,282.58	198,542.04	314,500.00	115,957.96
135	PUBLIC WORKS-PARKS	<u>52,974.25</u>	<u>574,475.93</u>	<u>809,650.00</u>	<u>235,174.07</u>
	Total Public Works	205,134.63	2,312,219.14	3,103,300.00	791,080.86
141	ZOO-ADMINISTRATIVE	30,453.61	311,224.57	422,000.00	110,775.43
142	ZOO-MAINTENANCE DIVISION	23,797.78	227,044.69	331,000.00	103,955.31
144	ZOO-ANIMAL DIVISION	<u>84,956.87</u>	<u>794,938.48</u>	<u>1,141,750.00</u>	<u>346,811.52</u>
	Total Zoo	139,208.26	1,333,207.74	1,894,750.00	561,542.26
151	FIRE-ADMINISTRATIVE	16,314.78	174,319.54	241,250.00	66,930.46
152	FIRE-OPERATIONS	191,479.12	1,821,888.36	2,452,750.00	630,861.64
153	FIRE-VOLUNTEERS	<u>1,437.31</u>	<u>5,727.45</u>	<u>11,000.00</u>	<u>5,272.55</u>
	Total Fire	209,231.21	2,001,935.35	2,705,000.00	703,064.65
161	CEMETERY-OPERATIONS	32,910.98	355,843.29	494,600.00	138,756.71
171	CAPITAL IMPROVEMENT	480,921.68	1,399,583.59	1,790,500.00	390,916.41
181	EMPLOYEE BENEFITS	0.00	161,000.00	161,000.00	0.00
	Total Expenses	<u>1,696,221.89</u>	<u>14,800,681.82</u>	<u>20,196,990.00</u>	<u>5,396,308.18</u>



City of Garden City
Statement of Revenues and Expenditures-Utility Fund Revenues
From 09/1/2013 Through 09/30/2013

		Curr Month Collections	YTD Collections	Revised Budget	Uncollected Balance
Income					
068	ELECTRIC				
3101	COLLECTIONS-ELECTRIC	2,729,383.20	20,901,383.84	27,072,250.00	(6,170,866.16)
3110.01	COLLECTIONS-COIN BOX	(188.77)	(558.90)	250.00	(808.90)
3118	CONNECT FEES	10,982.00	68,568.00	65,154.00	3,414.00
3150	IDENTIFIED LONG/SHORT	(208.64)	(9,970.14)	0.00	(9,970.14)
3151	UNIDENTIFIED LONG/SHORT	467.93	497.95	0.00	497.95
3154	INSUFFICIENT FUNDS CHECKS	(536.99)	(2,570.19)	0.00	(2,570.19)
3155	RETURNED CHECK CHARGE	375.00	3,050.00	4,000.00	(950.00)
3185	PENALTIES	0.00	116,968.59	98,000.00	18,968.59
3201	REIMBURSE-DEVELOPER	2,520.00	18,270.00	65,000.00	(46,730.00)
3435	INTEREST INCOME	25.48	199.75	2,500.00	(2,300.25)
3476	REIMBURSE-DAMAGE PAYMENTS	13.32	25.82	0.00	25.82
3492	SALES TAX	97,126.60	782,272.52	875,000.00	(92,727.48)
3600	MISCELLANEOUS	220.62	33,050.47	5,000.00	28,050.47
	Total Electric	2,840,179.75	21,911,187.71	28,187,154.00	(6,275,966.29)
075	SOLID WASTE-GENERAL				
3111	COLLECTIONS-SOLID WASTE	224,977.85	2,061,065.35	2,670,000.00	(608,934.65)
3185	PENALTIES	0.00	82,575.87	85,000.00	(2,424.13)
3195	RECYCLING SALES	4,175.97	37,688.53	50,000.00	(12,311.47)
3435	INTEREST INCOME	93.42	732.30	1,386.00	(653.70)
3515	FUEL TAX REFUND	0.00	2,706.38	500.00	2,206.38
	Total Solid Waste	229,247.24	2,184,768.43	2,806,886.00	(622,117.57)
079	DRAINAGE UTILITY				
3104.01	DRAINAGE FEE	16,785.41	154,398.04	205,000.00	(50,601.96)
3104.02	HHW FEE INCOME	0.00	0.00	500.00	(500.00)
3435	INTEREST INCOME	0.00	300.44	298.00	2.44
	Total Drainage Utility	16,785.41	154,698.48	205,798.00	(51,099.52)
080	WATER AND SEWAGE				
3102.01	COLLECTIONS-SEWER	213,340.35	1,905,760.08	2,600,000.00	(694,239.92)
3103	COLLECTIONS-WATER	403,549.07	2,817,730.05	4,300,000.00	(1,482,269.95)
3118	CONNECT FEES	1,650.00	13,000.00	18,000.00	(5,000.00)
3120	COUNTY SEWER FEES	0.00	82,250.01	112,000.00	(29,749.99)
3130	FIRE LEG FEES	0.00	12,111.34	11,000.00	1,111.34
3185	PENALTIES	27,927.66	32,892.54	120,000.00	(87,107.46)
3201	REIMBURSE-DEVELOPER	2,100.00	52,463.61	11,000.00	41,463.61
3225	SALE OF MATERIAL	808.80	11,176.90	15,000.00	(3,823.10)
3228	SEWER MAINTENANCE FEES	200.00	2,987.44	3,879.00	(891.56)
3229	SEWER TANK FEES	12,162.89	91,001.87	95,000.00	(3,998.13)
3257	WATER TANK SALES	2,230.97	21,197.85	22,000.00	(802.15)
3260	WATER TAP FEES	0.00	7,804.52	7,500.00	304.52
3471.01	REIMBURSED EXPENSE-INSURANCE	0.00	16,509.07	0.00	16,509.07
3494	TAX-WATER CONSUMPTION	6,105.33	41,498.30	62,000.00	(20,501.70)
3515	FUEL TAX REFUND	0.00	277.44	0.00	277.44
3600	MISCELLANEOUS	62.50	8,586.68	15,000.00	(6,413.32)
4010.20	TRANSFER-WTR SYS MAINT RESV	0.00	0.00	150,000.00	(150,000.00)
4010.21	TRANSFER-WASTEWTR R&R RESV	0.00	0.00	100,000.00	(100,000.00)
	Total Water and Sewer	670,137.57	5,117,247.70	7,642,379.00	(2,525,131.30)
	Total Income	3,756,349.97	29,367,902.32	38,842,217.00	(9,474,314.68)

Electric

	1	2	3	4	5	6	7	8	9	10	11	12
2012	1,708,307.63	1,897,482.29	1,928,271.64	1,702,938.06	1,957,079.05	1,969,181.37	2,615,793.50	2,971,029.50	2,800,478.70	2,440,784.72	2,036,175.91	1,997,967.96
2013	2,133,771.55	2,035,478.85	2,165,398.83	2,238,882.45	2,153,774.00	2,269,946.11	2,925,248.95	3,148,507.22	2,840,179.75			

Solid Waste

	1	2	3	4	5	6	7	8	9	10	11	12
2012	237,882.69	262,885.92	252,938.06	240,634.11	245,569.20	219,944.40	242,537.98	231,911.30	217,931.79	248,302.18	223,269.29	216,366.34
2013	260,972.21	249,716.03	252,994.66	259,176.17	228,984.19	232,659.60	238,584.95	232,433.38	229,247.24			

Water/Sewer

	1	2	3	4	5	6	7	8	9	10	11	12
2012	441,277.06	448,878.23	455,196.66	479,306.45	561,069.96	666,965.94	872,011.20	884,605.30	839,458.35	744,037.05	559,975.26	781,640.84
2013	509,464.42	418,539.40	443,826.66	480,501.37	485,544.81	599,380.33	766,241.53	743,611.61	670,137.57			

Drainage Utility

	1	2	3	4	5	6	7	8	9	10	11	12
2012	16,657.63	18,044.02	17,632.71	17,099.05	18,421.46	16,753.84	18,609.84	17,418.78	16,720.94	18,158.23	16,998.89	16,131.04
2013	18,185.26	16,341.03	17,152.25	17,729.97	16,974.15	17,053.57	17,523.87	16,952.97	16,785.41			

Wholesale Electric - 068 41 412 5475.01

	1	2	3	4	5	6	7	8	9	10	11	12
2012	1,456,486.12	1,349,187.18	1,237,795.06	1,356,001.06	1,772,398.46	2,302,441.42	2,586,509.01	2,428,512.20	1,798,661.05	1,340,101.85	\$1,342,062.93	1,426,533.45
2013	1,527,041.14	1,405,214.38	1,323,605.61	1,623,138.89	1,791,142.70	2,613,051.19	2,766,217.59	2,526,782.67				

FINNEY COUNTY

2013 MONTHLY BUILDING REPORT

2013 Monthly Report		Single Family Residential Includes Modular Permits	Single Family Manufactured Permits	Multi-Family Permits <i>(two or more attached dwellings)</i>	Residential Remodel Permits	Commercial Permits	Industrial Permits	Commercial & Industrial Remodel Permits	Miscellaneous Permits <i>(Utility, Religious, Public or Non-Profit Projects)</i>	TOTAL Fee, Permits & Valuation	TOTAL Number of Inspections
JAN	Fee	-	916.20	-	651.30	235.00	212.00	-	-	2,014.50	26
	Permits	-	3	-	5	3	1	-	-	12	
	Valuation	-	149,717	-	93,125	31,600	40,000	-	-	314,442	
FEB	Fee	3827.05	-	-	965.10	641.00	-	638	-	6071	36
	Permits	4	-	-	8	2	-	3	-	17	
	Valuation	916,152	-	-	95,780	100,000	-	127,650	-	1,239,582	
MAR	Fee	2164.50	-	-	913.10	-	-	-	-	3077.60	43
	Permits	3	-	-	11	-	-	-	-	14	
	Valuation	482,900	-	-	75,375	-	-	-	-	558,275	
APR	Fee	924.80	-	-	479.80	462.00	2,824.00	192.00	701.00	5,583.60	51
	Permits	3	-	-	13	1	1	4	2	24	
	Valuation	149,550	-	-	20,328	75,000	800,000	18,933	130,000	1,193,811	
MAY	Fee	-	111.00	-	315.80	-	-	461.00	-	887.80	37
	Permits	-	1	-	8	-	-	1	-	10	
	Valuation	-	23,000	-	19,781	-	-	60,000	-	102,781	
JUN	Fee	3,244.10	100.00	-	606.10	555.50	2,894.80	190.00	-	7,590.50	49
	Permits	2	1	-	14	1	1	2	-	21	
	Valuation	870,000	9,370	-	51,396.	105,000	860,000	23,924	-	1,919,690	
JUL	Fee	2,041.60	1,140.10	-	538.30	1,001.00	-	419.00	30.00	5,170.00	32
	Permits	4	1	-	10	1	-	3	1	20	
	Valuation	414,100	280,000	-	46,375	250,000	-	50,200	-	1,040,675	
AUG	Fee	111.00	-	-	569.80	-	-	367.80	30.00	1078.60	23
	Permits	1	-	-	11	-	-	5	1	18	
	Valuation	20,000	-	-	40,913	-	-	54,145	-	115,058	
SEP	Fee	400.00	-	-	2,385.00	-	-	275.00	29.00	3089.00	35
	Permits	1	-	-	19	-	-	5	1	26	
	Valuation	70,000	-	-	309,629	-	-	14,190	1,000	394,819	
OCT	Fee										
	Permits										
	Valuation										
NOV	Fee										
	Permits										
	Valuation										
DEC	Fee										
	Permits										
	Valuation										
2013 TOTAL PERMITS		18	6	0	99	8	3	23	5	34,562.60	332
										162	
										65,238,433	

GARDEN CITY

2013 MONTHLY BUILDING REPORT

2013 Monthly Report		Single Family Residential Includes Modular Permits	Single Family Manufactured Permits	Multi-Family Permits (two or more attached dwellings)	Residential Remodel Permits	Commercial Permits	Industrial Permits	Commercial & Industrial Remodel Permits	Miscellaneous Permits (Utility, Religious, Public or Non-Profit Projects)	TOTAL Fee, Permits & Valuation	TOTAL Number of Inspections
JAN	Fee	477.00	-	-	1,409.70	8,561.00	-	2,906.00	151.30	13,505.00	114
	Permits	1	-	-	38	3	-	11	6	59	
	Valuation	90,876	-	-	97,708	3925,000	-	364,585	19,222	4,497,391	
FEB	Fee	-	-	845.90	1,451.80	517.00	-	2,297.50	-	5,112.20	97
	Permits	-	-	2 / 4	44	1	-	17	-	64	
	Valuation	-	-	202,820	110,194	100,000	-	45,335	-	458,349	
MAR	Fee	786.50	-	-	2,744.00	22,537.07	100.00	721.00	30.00	26,9818.57	90
	Permits	1	-	-	73	1	1	18	1	95	
	Valuation	185,000	-	-	268,654	2,350,000	10,000	118,550	-	2,932,204	
APR	Fee	987.40	-	-	3,766.20	10,663.00	-	1,688.60	150.00	17,255.20	91
	Permits	3	-	-	96	1	-	19	3	122	
	Valuation	609,000	-	-	393,375	6,000,000	-	143,955	-	7,146,330	
MAY	Fee	960.00	54.00	-	3,600.40	667.70	-	4,980.87	266.80	10,529.77	126
	Permits	4	1	-	108	1	-	21	4	139	
	Valuation	614,200	2,800	-	351,769	148,900	-	1,278,261	40,980	2,436,910	
JUN	Fee	-	349.80	7,979.40	2,778.40	-	-	9,872.06	140.00	21,119.66	130
	Permits	-	1	9 / 16	83	-	-	24	3	120	
	Valuation	-	61,440	1,934,735	276,416	-	-	2,969,530	-	5,242,121	
JUL	Fee	1,347.20	380.00	3,792.80	4,765.70	100.00	-	2,512.00	232.00	13,129.70	170
	Permits	18	1	4 / 8	106	1	-	31	5	166	
	Valuation	2,109,000	45,390	956,136	482,112	10,000	-	286,558	-	3,889,196	
AUG	Fee	770.00	300.00	5,488.00	3,559.10	380.60	-	9,320.37	101.10	19919.17	155
	Permits	1	2	2 / 32	80	1	-	27	3	116	
	Valuation	179,900	31,000	2,550,000	408,560	68,750	-	1,848,364	6,000	5,092,574	
SEP	Fee	-	-	6,494.00	3,769.00	75.00	-	8,670.00	3,063.10	22,071.10	137
	Permits	-	-	7 / 7	75	1	-	27	7	117	
	Valuation	-	-	1,695,000	341,469	-	-	1,978,894	882,000	4,897,363	
OCT	Fee										
	Permits										
	Valuation										
NOV	Fee										
	Permits										
	Valuation										
DEC	Fee										
	Permits										
	Valuation										
2013 TOTAL PERMITS		28	5	24 / 67	704	9	1	227	32	392,460.37	1110
		998									
		365,924.38									

councildistrict	permitttype	address	amount	value	purpose	structure	projectdescription
Finney County	BUILDING PERMIT	2010 MILFORD	100	8000	Building	Commercial/Industrial Remodel	GARAGE ADDITION
Finney County	BUILDING PERMIT	2909 West Mary Street	29	1000	Building	Misc	Roof
Finney County	BUILDING PERMIT	7515 LINDSAY	29	2995	Building	Residential Remodel	6FT VINYL FENCE
Finney County	BUILDING PERMIT	7540 LINDSAY	798	140000	Building	Residential Remodel	NEW SINGLE FAMILY HOME
Finney County	BUILDING PERMIT	1315 NORTH SHORE	144	10360	Building	Residential Remodel	26X40X12 ENCLOSED POLE BARN
Finney County	BUILDING PERMIT	3770 West JONES	105	8000	Building	Residential Remodel	STORAGE BUILDING 7- 10X14 UNITS
Finney County	BUILDING PERMIT	4170 East HWY 50 218	105	10000	Building	Residential Remodel	NEW MANUFACTURED HOME
Finney County	BUILDING PERMIT	7275 North Chmelka	436	77561	Building	Residential Remodel	288 sq. feet addition, 225 sq. feet addition and 961 sq. feet garage.
Finney County	BUILDING PERMIT	710 West TAYLOR JONES	56	6000	Building	Residential Remodel	RE-ROOF
Finney County	BUILDING PERMIT	340 South FARMLAND RD #34	105	13500	Building	Residential Remodel	16X70 MOBILE HOME
Finney County	BUILDING PERMIT	340 South FARMLAND RD #47	105	16150	Building	Residential Remodel	INSTALL 1996 16X76 SPIR MOBILE HOME
Finney County	BUILDING PERMIT	210 FARMLAND	118	8312.23	Building	Residential Remodel	RE-ROOF
Finney County	BUILDING PERMIT	945 MAIZE Court	29	1000	Building	Residential Remodel	NEW 6' CHAIN LINK FENCE
Finney County	BUILDING PERMIT	210 South FARMLAND	105	8300	Building	Residential Remodel	R/R 40 SQ COMP SHINGLES
Finney County	BUILDING PERMIT	1830 North JENNIE BARKER	400	70000	Building	SF Residential Includes Modular	NEW HOME
Finney County	DEMO PERMIT	9725 West LINVILLE	30	0	Demo	Residential Remodel	Demolish of house
Finney County	ELECTRICAL	2970 ANDERSON Road # 17	29	300	Electrical	Residential Remodel	PROVIDE 100 AMP SERVICE CONNECTION
Finney County	GAS	4645 East SCHULMAN	42	400	Gas Permit	Commercial/Industrial Remodel	GAS LINE AND PRESSURE TEST
Finney County	GAS	4170 East Hwy. 50 #218	29	250	Gas Permit	Residential Remodel	pressure test gas line
Finney County	GAS	4170 East HWY 50-218	29	0	Gas Permit	Residential Remodel	Run new customer line
Finney County	GAS	4655 East SCHULMAN	29	400	Gas Permit	Residential Remodel	GAS LINE AND PRESSURE TEST
Finney County	MECHANICAL	220 AIRLINKS	56	3025	Mechanical	Commercial/Industrial Remodel	HVAC
Finney County	MECHANICAL	2500 ANDERSON Road	62	6000	Mechanical	Residential Remodel	REPLACE HOT WATER BOILER- HEATING
Finney County	PLUMBING	3545 West JONES	32	765	Plumbing	Commercial/Industrial Remodel	WATER HEATER
Finney County	PLUMBING	4578 West JONES	42	500	Plumbing	Residential Remodel	NEW WATER LINE TO THE METER
Garden City	BUILDING PERMIT	319 North SEVENTH	975	200000	Building	Commercial/Industrial Remodel	INTERIOR REMODEL & NEW EXTERIOR FACADE- DOES NOT INCLUDE SUB-CONTRACTOR
Garden City	BUILDING PERMIT	2312 East KANSAS	377	56000	Building	Commercial/Industrial Remodel	RENOVATION OF EXISTING TENANT FINISH SPACE UTILIZING EXISTING ELECTRICAL, HVAC AND PLUMING
Garden City	BUILDING PERMIT	2302 East Mary Street	2861	850000	Building	Commercial/Industrial Remodel	Remodel and change of occupancy for offices for American Implement. Bathroom 142 will be accessible. The electric range in the break room shall have a Type II hood above it or be removed.
Garden City	BUILDING PERMIT	310 East EDWARDS Street	130	20000	Building	Commercial/Industrial Remodel	Replace (6) existing antennas and adding (6) new antennas
Garden City	BUILDING PERMIT	1903 East FULTON	2560	600000	Building	Commercial/Industrial Remodel	REMODEL & PARTIAL ADDITION
Garden City	BUILDING PERMIT	1408 East FULTON	700	200000	Building	Commercial/Industrial Remodel	EXTERIOR AND INTERIOR REMODEL OF RESTAURANT
Garden City	BUILDING PERMIT	2308 North Third Street	100	10990	Building	Commercial/Industrial Remodel	Soffit insulation
Garden City	BUILDING PERMIT	2006 East MARY Street	130	20000	Building	Commercial/Industrial Remodel	Replace (3) antennas and add (3) cables

Garden City	BUILDING PERMIT	3050 North 8th Street	202	36000	Building	Misc	Moving Modular Building, 1850 square feet
Garden City	BUILDING PERMIT	409 Lake Avenue	2164.9	737000	Building	Misc	Finney County Fair building remodel and addition. The ramp shall be built according to ADA requirement.
Garden City	BUILDING PERMIT	1420 Mac Street	987.4	270000	Building	Multi-Family	New Condo
Garden City	BUILDING PERMIT	1402 Mac Street	987.4	270000	Building	Multi-Family	New Condo
Garden City	BUILDING PERMIT	1410 Mac Street	987.4	270000	Building	Multi-Family	New condo.
Garden City	BUILDING PERMIT	1414 Mac Street	987.4	270000	Building	Multi-Family	New Condo
Garden City	BUILDING PERMIT	3314 Eagle Street	736	160000	Building	Multi-Family	New single family attached to a single family
Garden City	BUILDING PERMIT	3312 Eagle Street	821	185000	Building	Multi-Family	single family dwelling unit attached to another single family dwelling
Garden City	BUILDING PERMIT	1406 Mac Street	987.4	270000	Building	Multi-Family	New Condo Each condo shall be separated with fire wall. Safe room shall be constructed according to FEMA regulations.
Garden City	BUILDING PERMIT	801 East WALNUT	29	1400	Building	Residential Remodel	6FT WOOD FENCE
Garden City	BUILDING PERMIT	1116 North SEVENTH	29	3000	Building	Residential Remodel	NEW ROOF
Garden City	BUILDING PERMIT	1111 North THIRD	29	1000	Building	Residential Remodel	14x116 deck, Call for footing inspection before footings are poured.
Garden City	BUILDING PERMIT	2007 North SEVENTH	56	3800	Building	Residential Remodel	R/R 21 SQ COMP SHINGLES
Garden City	BUILDING PERMIT	2703 North SEVENTH	56	4000	Building	Residential Remodel	NEW ROOF
Garden City	BUILDING PERMIT	406 DAVIS	29	3000	Building	Residential Remodel	DRIVEWAY EXTENSION AND SIDEWALK AROUND HOUSE
Garden City	BUILDING PERMIT	151 HONEY BEE	29	1500	Building	Residential Remodel	Carport and driveway addition
Garden City	BUILDING PERMIT	1803 JULIE	29	1000	Building	Residential Remodel	NEW COMPOSITE SIDING
Garden City	BUILDING PERMIT	2801 North 8th Street Lot #31	100	13000	Building	Residential Remodel	Moving and setting up a mobile home
Garden City	BUILDING PERMIT	1619 CONARD	30	0	Building	Residential Remodel	Enlarging driveway
Garden City	BUILDING PERMIT	801 SAFFORD	29	0	Building	Residential Remodel	10X20 PATIO COVER
Garden City	BUILDING PERMIT	211 South FIRST	105	20000	Building	Residential Remodel	18X24 ADDITION W/ BASEMENT, PORCH & 2 DRIVEWAYS
Garden City	BUILDING PERMIT	1109 North THIRD	56	3500	Building	Residential Remodel	RE-ROOF
Garden City	BUILDING PERMIT	1506 HACKBERRY	105	10000	Building	Residential Remodel	REPLACE SIDING
Garden City	BUILDING PERMIT	209 PENNSYLVANIA	29	800	Building	Residential Remodel	5X12 COVERED FRONT PORCH
Garden City	BUILDING PERMIT	601 BUFFALO JONES	27	400	Building	Residential Remodel	10x12 shed
Garden City	BUILDING PERMIT	2111 Antlers Ridge	700	150000	Building	Residential Remodel	Reducing existing garage to one car garage. Adding two bedroom on top of existing garage. Enlarging kitchen and laundry room. Adding a two car garage.
Garden City	BUILDING PERMIT	1617 LONGHORN	52	3500	Building	Residential Remodel	REMOVE PATIO AND REPLACE
Garden City	BUILDING PERMIT	1601 FLEMING	29	500	Building	Residential Remodel	4.5FT WOOD FENCE
Garden City	BUILDING PERMIT	2105 Commanche Drive	29	700	Building	Residential Remodel	12x25 patio cover, no parking cars under the patio cover
Garden City	BUILDING PERMIT	3104 YELLOWSTAR	29	1500	Building	Residential Remodel	6 foot cedar fence
Garden City	BUILDING PERMIT	2928 Terrace Place	30	500	Building	Residential Remodel	Enlarge driveway
Garden City	BUILDING PERMIT	1311 ST JOHN	105	15000	Building	Residential Remodel	REMODEL ROOM AND PORCH, RE-ROOF
Garden City	BUILDING PERMIT	1805 East Fair Street	29	1600	Building	Residential Remodel	Fence, vinyl 6 foot

Garden City	BUILDING PERMIT	1624 BANCROFT	29	100	Building	Residential Remodel	REPAIR WOOD FENCE, REPLACE SOME POSTS
Garden City	BUILDING PERMIT	1608 ANGUS	29	500	Building	Residential Remodel	REPLACE AND REPAIR FRONT PATIO
Garden City	BUILDING PERMIT	821 BANCROFT	29	600	Building	Residential Remodel	6FT WOOD FENCE
Garden City	BUILDING PERMIT	710 SUMMIT	29	1500	Building	Residential Remodel	RE-ROOF
Garden City	BUILDING PERMIT	412 Washington	30	0	Building	Residential Remodel	sidewalk
Garden City	BUILDING PERMIT	309 DAVIS	29	700	Building	Residential Remodel	NEW FRONT & REAR DOOR STEPS
Garden City	BUILDING PERMIT	601 BUFFALO JONES	29	800	Building	Residential Remodel	10x12 STORAGE BUILDING
Garden City	BUILDING PERMIT	208 Conkling Avenue	56	4000	Building	Residential Remodel	20x20 tool shed
Garden City	BUILDING PERMIT	1901 C	29	1200	Building	Residential Remodel	6 FT REAR BLOCK FENCE
Garden City	BUILDING PERMIT	610 North TENTH	105	14000	Building	Residential Remodel	28X34 GARAGE
Garden City	BUILDING PERMIT	1808 Pats Drive	29	1200	Building	Residential Remodel	shed
Garden City	BUILDING PERMIT	1201 CIRCLE	56	4200	Building	Residential Remodel	10X16 STORAGE SHED
Garden City	BUILDING PERMIT	1505 Pioneer Road	29	300	Building	Residential Remodel	patio, concrete only
Garden City	BUILDING PERMIT	705 North TAYLOR	29	2000	Building	Residential Remodel	REPLACE ROOF RAFTERS
Garden City	BUILDING PERMIT	2319 North SEVENTH	29	1215	Building	Residential Remodel	FRONT AND SIDE YARD SIDEWALK
Garden City	BUILDING PERMIT	1805 PAWNEE	29	1200	Building	Residential Remodel	22X6 WOOD DECK
Garden City	BUILDING PERMIT	1608 GLENELLEN	56	3500	Building	Residential Remodel	14 x 32 Patio Cover
Garden City	BUILDING PERMIT	1631 CONKLING	56	6000	Building	Residential Remodel	STUCCO HOUSE
Garden City	BUILDING PERMIT	2014 DENNISON	105	8000	Building	Residential Remodel	6' VINYL FENCE
Garden City	BUILDING PERMIT	1521 SUNDANCE	29	450	Building	Residential Remodel	REPLACE CURB
Garden City	BUILDING PERMIT	1510 A Street	27	1000	Building	Residential Remodel	6 foot wood fence
Garden City	BUILDING PERMIT	611 TEITELBAUM	29	800	Building	Residential Remodel	10X14 WOOD SHED
Garden City	CURB CUT	1612 North NINTH	30	0	Curb Cut	Residential Remodel	SIDEWALK AT CURB AND AROUND GARAGE
Garden City	CURB CUT	1401 LONG	30	0	Curb Cut	Residential Remodel	REPLACE DRIVEWAY PARKING SLAB & PARTIAL SIDEWALK
Garden City	CURB CUT	203 North TENTH	30	0	Curb Cut	Residential Remodel	SIDEWALK, CURB CUT & APPROACH
Garden City	CURB CUT	1212 West OLIVE	30	0	Curb Cut	Residential Remodel	16X25 DRIVEWAY EXTENSION
Garden City	CURB CUT	2319 North SEVENTH	0	0	Curb Cut	Residential Remodel	CITY SIDEWALK
Garden City	ELECTRICAL	107 East SANTA FE	32	2000	Electrical	Commercial/Industrial Remodel	change 200 amp disconnect that went bad
Garden City	ELECTRICAL	214 West RIVERSIDE Road	0	500	Electrical	Commercial/Industrial Remodel	REPLACE OLD SERVICE
Garden City	ELECTRICAL	725 CAMPUS	32	1000	Electrical	Misc	NEW 100 AMP SERVICE
Garden City	ELECTRICAL	507, 507 1/2, 509, 509 1/2 Eighth Street	62	3500	Electrical	Residential Remodel	up grading services, trench and install underground to garage.
Garden City	ELECTRICAL	604 North NINTH	27	250	Electrical	Residential Remodel	REPLACE BENT SERVICE RISER WITH NEW 2" RISER
Garden City	ELECTRICAL	1612 GEORGE	29	1500	Electrical	Residential Remodel	RELOCATE SERVICE TO HOUSE AND REWORK ELECTRICAL IN GARAGE
Garden City	ELECTRICAL	1005 North FOURTH	29	1000	Electrical	Residential Remodel	INSTALL NEW 100 AMP SOCKET & PANEL BOARD FOR NEW PANEL BOARD INSIDE
Garden City	EXCAVATION	2880 SCHULMAN	30	0	Excavation	Commercial/Industrial Remodel	Excavating for Old Chicago
Garden City	EXCAVATION	101 South FOURTH Street	30	0	Excavation	Misc	INSTALLATION OF ENVIRONMENTAL SOIL BORINGS
Garden City	EXCAVATION	2105 North EIGHTH	30	0	Excavation	Residential Remodel	REPLACE SEWER LINE
Garden City	GAS	1606 North THIRD	29	600	Gas Permit	Residential Remodel	GAS LINE REPAIR

Garden City	GAS	1013 North SEVENTH	27	500	Gas Permit	Residential Remodel	gas pressure test
Garden City	GAS	1007 CENTER	29	200	Gas Permit	Residential Remodel	PRESSURE TEST GAS SYSTEM
Garden City	GAS	305 FLORENCE	29	200	Gas Permit	Residential Remodel	GPT FOR METER RELOCATION
Garden City	GAS	703 North THIRD	29	125	Gas Permit	Residential Remodel	RUN NEW GAS LINE
Garden City	MECHANICAL	401 East SPRUCE Street	559.2	108000	Mechanical	Misc	REPLACE AC IN IT ROOM
Garden City	MECHANICAL	1611 LONGHORN	105	6500	Mechanical	Residential Remodel	C/O FURNACE & A/C
Garden City	MECHANICAL	2831 CLIFF	105	6463	Mechanical	Residential Remodel	C/O FURNACE & A/C
Garden City	MECHANICAL	1013 North SEVENTH	56	5644	Mechanical	Residential Remodel	C/O 2ND FLOOR FURNACE
Garden City	MECHANICAL	1711 Prairie Park Lane	27	800	Mechanical	Residential Remodel	Replace 50 gallons water heater
Garden City	MECHANICAL	2323 ZIPPER	56	4000	Mechanical	Residential Remodel	C/O FURNACE & A/C
Garden City	PLUMBING	602 East FULTON	29	1200	Plumbing	Commercial/Industrial Remodel	Run new water line from meter new meter to separate water service from two buildings
Garden City	PLUMBING	2220 CENTER	27	750	Plumbing	Residential Remodel	Remove and install new 50 gallon water heater
Garden City	PLUMBING	805 EVANS	29	1300	Plumbing	Residential Remodel	REPLACE WATER SERVICE
Garden City	PLUMBING	1505 West Olive Street	29	500	Plumbing	Residential Remodel	Sprinkler system
Garden City	PLUMBING	3104 Yellowstar Street	29	2000	Plumbing	Residential Remodel	Lawn Sprinklers system
Garden City	PLUMBING	1118 PEARL	29	1200	Plumbing	Residential Remodel	REPLACE UNDERGROUND WATERLINE
Garden City	PLUMBING	2105 North EIGHTH	29	2822	Plumbing	Residential Remodel	REPLACE SEWER LINE
Garden City	PLUMBING	2803 North TENTH	56	3250	Plumbing	Residential Remodel	LAWN SPRINKLER SYSTEM
Garden City	PLUMBING	605 SUSAN	29	400	Plumbing	Residential Remodel	LAWN SPRINKLER SYSTEM
Garden City	PLUMBING	512 Jenna Lane	56	5000	Plumbing	Residential Remodel	LAWN SPRINKLERS
Garden City	SIGN PERMIT	110 MCCOY	75	0	Pole Sign	Commercial/Industrial Remodel	20' POLE SIGN AT 110 MCCOY
Garden City	SIGN PERMIT	1110 North CAMPUS	35	0	Temporary Sign	Commercial/Industrial Remodel	PEACHWAVE BANNER SIGN
Garden City	SIGN PERMIT	1601 KANSAS	35	0	Temporary Sign	Commercial/Industrial Remodel	COMMERCE BANK TEMPORARY SIGN
Garden City	SIGN PERMIT	905 East KANSAS	25	0	Temporary Sign	Commercial/Industrial Remodel	SEVENTH DAY ADVENTIST TEMP SIGN
Garden City	SIGN PERMIT	3101 East KANSAS	75	0	Wall Sign	Commercial/Industrial Remodel	WALL SIGN-SUBWAY INSIDE WALMART
Garden City	SIGN PERMIT	1110 CAMPUS	75	0	Pole Sign	Commercial/Industrial Remodel	CABINET SIGN-PEACHWAVES
Garden City	SIGN PERMIT	1601 East KANSAS	35	0	Temporary Sign	Commercial/Industrial Remodel	COMMERCE BANK TEMPORARY SIGN
Garden City	SIGN PERMIT	103 East WALNUT	75	0	Wall Sign	Commercial/Industrial Remodel	WALL SIGN- TAMMY & CO. SALON
Garden City	SIGN PERMIT	1515 East KANSAS	35	0	Temporary Sign	Commercial/Industrial Remodel	COMMERCE BANK TEMPORARY BANNER SIGN
Garden City	SIGN PERMIT	312 East FINNUP DR	0	0	Temporary Sign	Misc	BANNER SIGN
Garden City	SIGN PERMIT	3101 North Campus Drive	75	0	Monument Sign	Misc	New permanent sign for church
Garden City	SIGN PERMIT	2620 North EIGHTH	75	0	Wall Sign	New Commercial	WALL SIGN- COMMUNITY DAY CARE
Holcomb	BUILDING PERMIT	109 Jeremy Lane	21	1500	Building	Residential Remodel	6 foot cedar fence
Holcomb	BUILDING PERMIT	100 North WEST	29	800	Building	Residential Remodel	6FT WOOD FENCE



GARDEN CITY CODE ENFORCEMENT REPORT

CASE TOTAL 690 AS OF 09/30/2013

Jurisdiction	File#	Address	ParcelID	Category	Description	Open Date	Close Date	PW Clean Up	Resolution	Vehicle Resolution
Garden City	13-000002	2608 CHAINEY	2730503008015000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: BED FRAME DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	1/2/2013		1/25/2013		
Garden City	13-000003	2602 CHAINEY	2730503008016000	Unlawful Deposits	DEPOSITS IN THE RIGHT OF WAY: BED FRAME DEPOSITED IN THE ALLEY RIGHT OF WAY NEXT TO THE DUMPSTER.	1/2/2013		1/25/2013		
Garden City	13-000004	622 North EIGHTH	2741801033006000		CMB INSPECTION	1/2/2013				
Garden City	13-000043	1315 SUMMIT	2611204010017000	Unlawful Deposits	TREE BRANCHES & MISC. FURNITURE BY CURB	1/11/2013				
Garden City	13-000066	1510 East LAUREL	2741704007003000	Unlawful Deposits	BOX SPRING IN ALLEY	1/16/2013				
Garden City	13-000070	205 South SIXTH	2741804036010000		ILLEGAL LIVING QUARTERS, PULL BEHIND TRAILER	1/16/2013				
Garden City	13-000071	2603 North TAYLOR	2610100001040		CMB INSPECTION	1/17/2013	1/29/2013			
Garden City	13-000081	3030 East KANSAS	2720900002001000		CMB INSPECTION	1/22/2013				
Garden City	13-000094	1107 North TAYLOR Avenue	2611204018008		CMB INSPECTION	1/23/2013				
Garden City	13-000103	905 North TAYLOR	2661301014018000	Unlawful Deposits	MATTRESSES NEXT TO DUMPSTER	1/28/2013				
Garden City	13-000357	303 West CAMPBELL			RED TAG	3/25/2013				
Garden City	13-000376	1604 BUFFALO JONES			CMB INSPECTION	3/27/2013				
Garden City	13-000505	1607 KELLO	2661301004007000	Unlawful Deposits	MATTRESS AND BOX SPRING NEXT TO DUMPSTER IN ALLEY.	4/19/2013	4/26/2013			
Garden City	13-000507	203 CONKLING	2661301038015000	Debris/Trash	MISC. FURNITURE, BOXES FILLED WITH PERSONAL BELONGINGS, WOOD, IRON AND DEBRIS IN REAR YARD AND ON FRONT PORCH.	4/19/2013				
Garden City	13-000509	606 North TWELFTH	2741802014012000	Debris/Trash	TREE LIMBS AND BRANCHES IN FRONT YARD	4/19/2013				
Garden City	13-000513	608 North TWELFTH	2741802014011000	Debris/Trash	FENCE MATERIAL, TIRES, MATTRESS, CONCRETE/CONSTRUCTION DEBRIS IN REAR YARD	4/19/2013	4/29/2013			
Garden City	13-000514	203 CONKLING	2661301038015000	Vehicles	INOPERABLE VEHICLES, RED DODGE PICKUP & BEIGE 4DOOR CAR	4/19/2013				
Garden City	13-000515	1108 North ELEVENTH	2730703034004000	Weeds	OVERGROWN WEEDS IN ALLEY RIGHT-OF-WAY	4/19/2013	4/29/2013			
Garden City	13-000524	2109 DENNISON	2730801013031000	Unlawful Deposits	TREE LIMBS AND SWIMMING POOL IN ALLEY RIGHT-OF-WAY NEXT TO DUMPSTER	4/22/2013	5/20/2013			
Garden City	13-000525	2104 North THIRD	2730802013010000	Vehicles	INOPERABLE OR UNTAGGED VEHICLES LOCATED IN REAR OF PROPERTY.	4/22/2013				
Garden City	13-000526	2112 North THIRD	2730802013009000	Debris/Trash	TREE LIMBS/BRANCHES & DEBRIS IN REAR YARD	4/22/2013				
Garden City	13-000527	513 West EMERSON	2730702001007000	Debris/Trash	DEAD TREES & LOT IS TRASHY	4/22/2013	4/22/2013			
Garden City	13-000528	603 HARDING	2730803015011000	Unlawful Deposits	MATTRESS NEXT TO DUMPSTER	4/22/2013	4/30/2013			
Garden City	13-000530	1904 CRESTWAY	2730804002002000	Debris/Trash	TRASH, DEBRIS, MISC. FURNITURE, FECAL MATTER IN FRONT YARD AND UNDER CARPORT	4/22/2013				
Garden City	13-000531	641 WHEATRIDGE	2730802005016000	Unlawful Deposits	COUCH & TREE LIMBS/BRANCHES IN ALLEY RIGHT-OF-WAY	4/22/2013	5/7/2013			
Garden City	13-000532	649 WHEATRIDGE	2730802005018000	Unlawful Deposits	TREE BRANCHES/LIMBS IN ALLEY RIGHT-OF-WAY	4/22/2013	4/30/2013			
Garden City	13-000533	645 WHEATRIDGE	2730802005017000	Unlawful Deposits	TREE BRANCHES/LIMBS IN ALLEY RIGHT-OF-WAY	4/22/2013	7/25/2013			
Garden City	13-000535	1802 PAWNEE	2730801013002000	Weeds	OVERGROWN WEEDS IN ALLEY RIGHT-OF-WAY	4/22/2013	5/13/2013			

Garden City	13-000546	2104 North THIRD	2730802013010000	Debris/Trash	PERSONAL BELONGINGS, JUNK, BOXES, MISCELLANEOUS DEBRIS UNDER CARPORT AND IN REAR YARD.	4/22/2013			
Garden City	13-000547	2112 North THIRD	2730802013009000	Weeds	DRIED/DEAD OVERGROWN WEEDS	4/22/2013			
Garden City	13-000548	2112 North THIRD	2730802013009000	Unlawful Deposits	TREE BRANCHES/LIMBS NEXT TO DUMPSTER IN ALLEY RIGHT-OF-WAY	4/23/2013			
Garden City	13-000551	609 East CHESTNUT	2741804012007000	Unlawful Deposits	WOOD PALLETS IN STREET RIGHT-OF-WAY	4/23/2013			
Garden City	13-000552	609 East CHESTNUT	2741804012007000	Debris/Trash	MISC. DEBRIS, WOOD, PLASTIC TUBS & TRASH IN YARD	4/23/2013			
Garden City	13-000553	609 East CHESTNUT	2741804012007000	Vehicles	BOAT PARKED ON AN UNIMPROVED SURFACE ON WEST SIDE OF PROPERTY	4/23/2013			
Garden City	13-000554	1106 East CHESTNUT	2741703027004000	Unlawful Deposits	TREE LIMBS/BRANCHES, TELEPHONE POLE, WOOD PALLET IN ALLEY RIGHT-OF-WAY	4/23/2013			
Garden City	13-000555	411 North FOURTH	2741804004001000	Debris/Trash	REAR YARD TRASHY AND SIDE DOOR KEEPS FLAPPING IN WIND.	4/22/2013	4/22/2013		
Garden City	13-000556	401 North SIXTH	2741801042007000	Vehicles	INOPERABLE OR UNTAGGED VEHICLES	4/23/2013			
Garden City	13-000561	NE SPRUCE & JENNIE BARKER SEC 15 24-32	2751500006021040	Weeds	OVERGROWN WEEDS THAT ARE DEAD AND DRIED UP.	4/23/2013	5/30/2013		
Garden City	13-000562	107 North JENNIE BARKER	2751604001016000	Debris/Trash	TIRES, DRESSER & WOOD DEBRIS NEXT TO DUMPSTERS	4/23/2013			
Garden City	13-000566	929 & 933 AMY	2751601014001000	Unlawful Deposits	TUMBLE WEEDS BEHIND FENCE IN ALLEY	4/23/2013	5/2/2013		
Garden City	13-000568	937 & 941 AMY	2751601015012000	Unlawful Deposits	TUMBLE WEEDS BEHIND FENCE IN ALLEY	4/23/2013			
Garden City	13-000569	945 & 949 AMY	2751601015010000	Unlawful Deposits	TUMBLE WEEDS BEHIND FENCE IN ALLEY	4/23/2013			
Garden City	13-000570	953 & 957 AMY	2751601015008000	Unlawful Deposits	TUMBLE WEEDS BEHIND FENCE IN ALLEY	4/23/2013			
Garden City	13-000571	535 JENNA Lane	2751604004002	Debris/Trash	REFRIGERATORS IN REAR YARD AROUND PATIO COVER	4/23/2013	5/10/2013		
Garden City	13-000572	950 North JENNIE BARKER-#119	2751500006021050	Dilapidated Structure	DILAPIDATED STRUCTURE	4/23/2013			
Garden City	13-000573	938 & 942 AMY	2751601015016	Unlawful Deposits	LOVESEAT NEXT TO DUMPSTER IN ALLEY RIGHT-OF-WAY	4/23/2013			
Garden City	13-000577	1911 East KANSAS	2730804017001000		CMB INSPECTION	4/24/2013	4/24/2013		
Garden City	13-000578	1620 SUMMIT	2611204006008000	Vehicles	INOPERABLE VEHICLES IN DRIVEWAY	4/24/2013	5/9/2013		
Garden City	13-000579	1605 GEORGE	2661301011008000	Debris/Trash	COUCH, MISCELLANEOUS FURNITURE IN FRONT YARD	4/24/2013			5/31/2013
Garden City	13-000580	2404 DEE	2611201001014000	Animals	ROOSTERS IN REAR YARD	4/24/2013			
Garden City	13-000583	1606 East SPRUCE	2741704003008000	Unlawful Deposits	CONCRETE DEBRIS IN CITY RIGHT-OF-WAY	4/24/2013	5/1/2013		
Garden City	13-000584	404 North THIRD	2741804002005000	Unlawful Deposits	DRESSER IN NEXT TO DUMPSTER IN ALLEY RIGHT-OF-WAY	4/24/2013			
Garden City	13-000587	2316 DEE	2611201001016000		SEMI-TRUCK PARKED IN REAR YARD	4/24/2013	5/1/2013		
Garden City	13-000596	1515 HATTIE	2730703011021000	Unlawful Deposits	CARPET & PADDING NEXT TO DUMPSTER IN ALLEY RIGHT-OF-WAY	4/25/2013	5/15/2013		
Garden City	13-000597	1515 HATTIE	2730703011021000	Debris/Trash	DEAD TREE IN REAR YARD	4/25/2013			
Garden City	13-000598	806 PEARL	2661301010005000	Debris/Trash	TRASH ON BACK PORCH	4/25/2013	4/25/2013		
Garden City	13-000599	2005 North MAIN	2730701027009000	Vehicles	INOPERABLE OR UNTAGGED VEHICLES	4/25/2013	5/17/2013		
Garden City	13-000600	1107 East FULTON	2741703027008000	Vehicles	INOPERABLE VEHICLES-LEEPERS TRANSMISSION	4/25/2013			
Garden City	13-000603	2320 North SEVENTH	2730701013004	Debris/Trash	TRASH BUILT UP IN REAR YARD	4/25/2013			
Garden City	13-000604	1707 PRAIRIE PARK	2730803011009000	Unlawful Deposits	TRASH AROUND DUMPSTER	4/25/2013	4/25/2013		
Garden City	13-000605	906 East THOMPSON	2730802009001000	Vehicles	INOPERABLE VEHICLE	4/25/2013			
Garden City	13-000610	912 CAMPUS	2751602004003000		FOLLOW UP INSPECTION-NON-CONFORMING LANDSCAPE	4/26/2013			
Garden City	13-000623	4010 North BIG LOWE	2393100001010000		DOG BREEDING OPS	4/29/2013			
Garden City	13-000625	1607 KELLO	2661301004007000	Debris/Trash	TREE LIMB, MATTRESS & BOX SPRING IN REAR YARD	4/29/2013			
Garden City	13-000649	1311 B	2730704026001000	Unlawful Deposits	LOVESEAT, CARPET AND PADDING NEXT TO CURB ON NORTH SIDE OF LOT	5/2/2013	5/10/2013		
Garden City	13-000650	1311 B	2730704026001000	Trash	MISCELLANEOUS FURNITURE IN REAR YARD	5/2/2013	5/10/2013		
Garden City	13-000651	1405 B STREET	2730704025009000		RECLINER & MATTRESS NEXT TO DUMPSTER IN ALLEY ROW	5/2/2013	6/25/2013	5/28/2013	
Garden City	13-000652	1401 B	2730704025008000	Unlawful Deposits	MATTRESS NEXT TO DUMPSTER IN ALLEY	5/2/2013	5/10/2013		
Garden City	13-000654	3219 AMY	2751601016003000	Weeds	OVERGROWN WEEDS ON PROPERTY	5/2/2013	5/27/2013		
Garden City	13-000655	1806 BUFFALO JONES	2611204012001000	Unlawful Deposits	CARD BOARD BOXED MIXED WITH TRASH BEHIND DUMPSTER	5/2/2013	6/6/2013		

Garden City	13-000656	509 North NINTH	2741802021014000	Vehicles	INOPERABLE VEHICLES	5/2/2013	6/7/2013			
Garden City	13-000659	210 South SECOND	2741804041005000	Unlawful Deposits	SEWAGE DRAINING ON TO PROPERTY FROM PIPE IN GROUND ON THE NORHT SIDE OF HOUSE. PROPERTY OWNER SAYS THEY ARE HAVING PLUMBING PROBLEMS INSIDE THE HOUSE.	5/2/2013	5/7/2013			
Garden City	13-000666	2312 North SIXTH	2730701014007000		PARKING ON AN UNIMPROVED SURFACE	5/3/2013	5/10/2013			
Garden City	13-000667	1609 CONKLING	2611204006019000	Weeds	OVERGROWN WEEDS	5/3/2013	6/7/2013			
Garden City	13-000668	1612 West KANSAS	2661301004005000	Weeds	OVERGROWN WEEDS	5/3/2013	5/10/2013			
Garden City	13-000669	1001 SAFFORD	2661301005010000		OVERGROWN WEEDS	5/3/2013	5/10/2013			
Garden City	13-000670	912 SAFFORD	2661301011004000	Weeds	OVERGROWN WEEDS	5/3/2013	5/10/2013			
Garden City	13-000681	109 West MENDENHALL	2730701010005000	Weeds	Overgrown weeds in yard & in street ROW	5/6/2013				
Garden City	13-000692	1022 North SIXTH	2741801005002000	Unlawful Deposits	Loveseat & chair in street ROW	5/7/2013	5/16/2013			
Garden City	13-000695	208 East FAIR	2730701032002000	Unlawful Deposits	Tree limbs/branches in street ROW	5/7/2013	5/16/2013			
Garden City	13-000698	1830 COMMANCHE	2720903001001000	Weeds	OVERGROWN WEEDS IN STREET RIGHT-OF-WAY	5/8/2013	7/2/2013			
Garden City	13-000700	801 North NINTH	2741802002012000	Weeds	OVERGROWN WEEDS ON PROPERTY & ROW'S	5/7/2013	8/26/2013			
Garden City	13-000715	1005 West OLIVE	2730703004017000	Vehicles	INOPERABLE VEHICLES	5/9/2013				
Garden City	13-000721	310 North FIFTH	2741804010003000		OVERGROWN WEEDS	5/9/2013	5/28/2013			
Garden City	13-000724	0 East MARY	2730504016005010	Weeds	OVERGROWN WEEDS	5/9/2013	7/26/2013			
Garden City	13-000725	1705 East MARY	2730504018001000	Weeds	OVERGROWN WEEDS	5/9/2013	6/8/2013			
Garden City	13-000731	1405 West OLIVE	2611204006016000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/10/2013	8/20/2013			
Garden City	13-000738	912 CAMPUS	2751602004003000	Weeds	OVERGROWN WEEDS	5/13/2013	5/31/2013			
Garden City	13-000748	601 West HAMLINE	2730702011009000	Weeds	TREE BRANCHES IN ALLEY ROW	5/14/2013	6/25/2013			
Garden City	13-000749	1508 West FULTON	2661304002010000	Weeds	OVERGROWN WEEDS	5/14/2013	7/11/2013			
Garden City	13-000750	2005 ARAPAHO	2720902014006000	Unlawful Deposits	MATTRESS NEXT TO DUMPSTER	5/14/2013	5/21/2013			
Garden City	13-000751	212 BUFFALO JONES	2741802011002000	Weeds	Overgrown weeds	5/14/2013	5/14/2013			
Garden City	13-000752	903 North NINTH	2741802002015000	Weeds	Overgrown weeds	5/14/2013	6/4/2013			
Garden City	13-000754	920 North NINTH	2741802001006010	Weeds	Overgrown weeds	5/14/2013	5/28/2013			
Garden City	13-000755	1017 North ELEVENTH	2741802004001000	Weeds	OVERGROWN WEEDS	5/14/2013	5/21/2013			
Garden City	13-000756	510 West KANSAS	2741802004004000	Weeds	OVERGROWN WEEDS	5/14/2013	5/21/2013			
Garden City	13-000757	1101 North NINTH	2730703033006000	Weeds	OVERGROWN WEEDS	5/14/2013	5/28/2013			
Garden City	13-000759	1005 West OLIVE	2730703004017000	Debris/Trash	ENVIRONMENTAL YARD-AUTO PARTS, TIRES, MISC. JUNK ON PROPERTY	5/14/2013	5/21/2013			
Garden City	13-000762	1205 North EIGHTH	2730703030010000	Work w/o Permit	OVERGROWN WEEDS	5/15/2013	5/22/2013			
Garden City	13-000763	1207 North EIGHTH	2730703030011000	Weeds	OVERGROWN WEEDS	5/15/2013	5/22/2013			
Garden City	13-000764	1211 North EIGHTH	2730703030001000	Weeds	OVERGROWN WEEDS	5/15/2013	5/22/2013			
Garden City	13-000765	1108 HATTIE	2730703031001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/15/2013	5/21/2013			
Garden City	13-000766	1304 North EIGHTH	2730704026006000	Weeds	Overgrown weeds	5/15/2013	6/5/2013			
Garden City	13-000767	1306 North EIGHTH	2730704026005000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/15/2013	6/7/2013			
Garden City	13-000768	501 West OLIVE	2730703013015000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/15/2013	6/7/2013			
Garden City	13-000774	1412 North EIGHTH	2730704025002000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/15/2013	5/24/2013			
Garden City	13-000775	1310 North EIGHTH	2730704026003000	Weeds	OVERGROWN IN REAR YARD & IN ALLEY ROW'S	5/15/2013	5/22/2013			
Garden City	13-000776	311 West OLIVE	2730704025006000	Weeds	OVERGROWN WEEDS ON PROPERTY & STREET ROW	5/15/2013	6/7/2013			
Garden City	13-000777	1302 North EIGHTH	2730704026007000	Weeds	OVERGROWN WEEDS ON PROPERTY & STREET ROW	5/15/2013	5/22/2013			
Garden City	13-000779	1305 North EIGHTH	2730703014011000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/15/2013	5/22/2013			
Garden City	13-000789	301 North FOURTH	2741804010008000	Weeds	Overgrown weeds on property & in ROW's	5/16/2013	5/23/2013			
Garden City	13-000790	2020 CRESTWAY	2720903004005000	Unlawful Deposits	TREE BRANCHES IN ALLEY	5/16/2013	6/7/2013			
Garden City	13-000791	306 North FOURTH	2741804011006010	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/16/2013	5/23/2013			
Garden City	13-000792	310 North FOURTH	2741804011004000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/16/2013	6/4/2013			
Garden City	13-000793	312 North FOURTH	2741804011003000	Weeds	Overgrown weeds on property & in ROW's	5/16/2013	6/4/2013			

Garden City	13-000794	308 North FOURTH	2741804011005000	Weeds	Overgrown weeds on property & in ROW's	5/16/2013	5/23/2013			
Garden City	13-000797	2315 TONIO	2730702005009010	Weeds	WEEDS IN ALLEY ROW	5/17/2013	5/24/2013			
Garden City	13-000799	301 North EIGHTH	2741803002008000	Weeds	Overgrown weeds on property & in ROW's	5/17/2013				
Garden City	13-000800	2601 C STREET	2730604008011000	Weeds	Overgrown weeds	5/17/2013	5/28/2013			
Garden City	13-000808	2315 TONIO	2730702005009010	Unlawful Deposits	BROKEN PIECES OF CONCRETE IN ALLEY ROW	5/17/2013	5/24/2013			
Garden City	13-000809	2315 TONIO	2730702005009010	Debris/Trash	MATTRESS & SOFA/SEAT IN REAR YARD	5/17/2013	5/24/2013			
Garden City	13-000810	2311 TONIO	2730702005009000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	5/17/2013	5/24/2013			
Garden City	13-000811	414 West MARY	2730701006011000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/17/2013	5/31/2013			
Garden City	13-000814	1410 A	2730704023003000	Debris/Trash	OVERGROWN WEEDS	5/20/2013	7/10/2013			
Garden City	13-000815	1601 VINZANT	2661301011016000	Trash	TRASH BAGS FULL OF TRASH ON PROPERTY	5/20/2013	6/4/2013			
Garden City	13-000817	802 PEARL	2661301010007000	Weeds	Overgrown weeds	5/20/2013	5/31/2013			
Garden City	13-000822	710 FLEMING	2741701014006000	Weeds	OVERGROWN WEEDS	5/20/2013	6/7/2013			
Garden City	13-000824	1601 VINZANT	2661301011016000	Vehicles	INOPERABLE VEHICLE	5/20/2013	6/4/2013			
Garden City	13-000829	1410 A	2730704023003000	Debris/Trash	ENVIRONMENTAL YARD- MISC. BROKEN FURNITURE, ALUMINUM CANS & AIR CONDITIONING UNIT ON PROPERTY	5/20/2013	8/26/2013		7/31/2013	
Garden City	13-000830	1410 A	2730704023003000	Vehicles	INOPERABLE VEHICLE	5/20/2013	8/26/2013			7/31/2013
Garden City	13-000839	2508 LAMPLIGHTER	2730802002002000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	5/21/2013	5/30/2013			
Garden City	13-000841	1601 East MARY	2730504016005010	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/21/2013	6/4/2013			
Garden City	13-000842	2001 East MARY	2720400003006000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	6/4/2013			
Garden City	13-000843	2002 LABRADOR	2720400003004000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	6/4/2013			
Garden City	13-000844	2301 East MARY	2720400002002000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	6/4/2013			
Garden City	13-000845	1303 North TAYLOR	2611204008003000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	5/31/2103			
Garden City	13-000846	1504 BUFFALO JONES	2611204016001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	5/31/2013			
Garden City	13-000847	712 INGE	2661301021003000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	6/21/2013			
Garden City	13-000848	407 West MARY	2730604008009000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAY	5/21/2013	5/24/2013			
Garden City	13-000849	411 West MARY	2730604008008010	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/21/2013	5/28/2013			
Garden City	13-000850	521 North EIGHTH	2741802022001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAY'S	5/21/2013				
Garden City	13-000851	2005 North MAIN	2730701027009000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAY'S	5/21/2013	6/27/2013			
Garden City	13-000855	1607 GEORGE	2661301011007000	Weeds	WEEDS ON PROPERTY	5/21/2013	6/25/2013			
Garden City	13-000859	521 COLONY	2751603008013000	Weeds	OVERGROWN WEEDS	5/22/2013	6/5/2013			
Garden City	13-000871	704 East JOHNSON	2730803005002000	Weeds	OVERGROWN YARD	5/22/2013	5/24/2013			
Garden City	13-000873	1511 East CHESTNUT	2741704007010000	Debris/Trash	TRASH & JUNK BY DUMPSTER	5/22/2013	6/17/2013			
Garden City	13-000876	2317 TONIO	2730702005009020	Debris/Trash	RUBBER BELT TYPE MATERIAL LAYING IN ALLEY	5/22/2013	5/24/2013			
Garden City	13-000877	1405 B	2730704025009000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	5/22/2013	7/10/2013			
Garden City	13-000878	1407 B	2730704025010000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	5/22/2013	5/31/2013			
Garden City	13-000880	1008 North ELEVENTH	2741802003010000	Weeds	OVERGROWN WEEDS	5/23/2013				
Garden City	13-000882	603 MULBERRY	2741802008007000	Vehicles	INOPERABLE AND/OR UNTAGGED WHITE CHEVY LUMINA MINI-VAN	5/23/2013	7/29/2013			
Garden City	13-000891	2001 North THIRD	2730701031010000	Weeds	OVERGROWN WEEDS IN ROW	5/23/2013	6/28/2013			
Garden City	13-000892	2002 North SEVENTH	2730701032008000	Weeds	OVERGROWN WEEDS	5/23/2013	5/31/2013			
Garden City	13-000893	909 East FAIR	2730802012021000	Debris/Trash	CABINET IN DRIVEWAY IN REFRIGERATOR	5/23/2013	5/31/2013			
Garden City	13-000897	706 East JOHNSON	2730803005001000	Weeds	OVERGROWN WEEDS	5/23/2013	6/3/2013			
Garden City	13-000899	601 East KANSAS	2730803025005000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/23/2013	6/3/2013			
Garden City	13-000900	2005 North MAIN	2730701027009000	Debris/Trash	LIVING ROOM CHAIRS, AUTO PARTS & SCRAP METAL ON PROPERTY	5/23/2013	5/24/2013			

Garden City	13-000901	1401 B STREET	2730704025008000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	5/28/2013	5/31/2013			
Garden City	13-000909	510 CAMPUS	2751603010021020	Weeds	OVERGROWN WEEDS IN STREET RIGHT-OF-WAY	5/24/2013	6/5/2013			
Garden City	13-000910	1107 GILLESPIE	2741702024014000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET RIGHT-OF-WAY	5/24/2013	6/17/2013			
Garden City	13-000911	2021 North THIRD	2730701031001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAY	5/24/2013				
Garden City	13-000915	702 East WALNUT	2741702028002000		OVERGROWN REAR YARD	5/24/2013	7/17/2013			
Garden City	13-000917	1012 North MAIN	2741801007004000	Debris/Trash	MISC. FURNITURE IN FRONT OF HOUSE	5/28/2013	6/21/2013			
Garden City	13-000922	1105 North NINTH	2730703033007000	Weeds	OVERGROWN WEEDS ON PROPERTY	5/28/2013	7/3/2013			
Garden City	13-000923	2614 C STREET	2730604009001010	Unlawful Deposits	2 COUCHES BY DUMPSTER	5/28/2013	6/19/2013			
Garden City	13-000924	2311 North MAIN	2730701011001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/28/2013	6/5/2013			
Garden City	13-000926	613 North NINTH	2741802012020000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/28/2013	7/29/2013			
Garden City	13-000927	519 North NINTH	2741802021001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	5/28/2013	6/19/2013			
Garden City	13-000928	519 North NINTH	2741802021001000	Unlawful Deposits	WOOD SCRAPS/DEBRIS & TREE LIMBS/BRANCHES ON PROPERTY & IN STREET RIGHT-OF-WAY	5/28/2013	6/25/2013			
Garden City	13-000930	509 North NINTH	2741802021014000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/28/2013	6/7/2013			
Garden City	13-000943	407 West FULTON	2741803004008000	Unlawful Deposits	MATTRESS IN ALLEY	5/30/2013				
Garden City	13-000944	906 North SEVENTH	2741801011005000	Unlawful Deposits	MATTRESS NEXT TO DUMPSTER IN ALLEY	5/30/2013	6/18/3013			
Garden City	13-000945	3318 PRIMROSE	2720402005001000	Weeds	OVERGROWN WEEDS	5/30/2013	6/7/2013			
Garden City	13-000946	1907 Vinzant Street	2661301007007	Weeds	Inoperable/untagged vehicles	5/30/2013				8/7/2013
Garden City	13-000947	506 North NINTH	2741802022009000	Weeds	OVERGROWN WEEDS	5/30/2013	6/17/2013			
Garden City	13-000948	2007 North THIRD	2730701031012000	Weeds	OVERGROWN WEEDS	5/30/2013	6/4/2013			
Garden City	13-000953	107 North JENNIE BARKER	2751604001016000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/30/2013				
Garden City	13-000954	105 North JENNIE BARKER	2751604001017000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	5/30/2013				
Garden City	13-000963	305 West MARY-B-6,C-1,2,3,4,6,7,8,D-2 & 3,FF-1,G-5,J-2 & 4,K-1, BLDG H&I	2730604009001010	Debris/Trash	ENVIRONMENTAL YARD- MISCELLANEOUS FURNITURE THROUGHOUT COMPLEX	5/31/2013	9/4/2013	8/27/2013	7/31/2013	
Garden City	13-000964	311 North SECOND	2741804012001000	Weeds	OVERGROWN WEEDS	5/31/2013	7/2/2013			
Garden City	13-000965	309 West CAMPBELL	2730704006002000	Weeds	OVERGROWN WEEDS	5/31/2013	6/26/2013			
Garden City	13-000968	2408 East KANSAS	2720903006020040	Weeds	OVERGROWN WEEDS	6/3/2013	7/29/2013			
Garden City	13-000970	2202 CRESTWAY	2720903004004000	Debris/Trash	MATTRESS, BOXSPRING & LOVESEAT NEXT TO DUMPSTER	6/3/2013	7/10/2013			
Garden City	13-000973	1908 WINDY VIEW	2730504006026000	Weeds	OVERGROWN WEEDS ON PROPERTY	6/3/2013				
Garden City	13-000975	2003 North THIRD	2730701031011000	Unlawful Deposits	TREE BRANCHES/LIMBS IN STREET & ALLEY ROW	6/3/2013	7/2/2013			
Garden City	13-000976	2003 North THIRD	2730701031011000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/3/2013	6/7/2013			
Garden City	13-000982	603 HARDING	2730803015011000	Unlawful Deposits	TREE LIMB & CARDBOARD BOXES IN ALLEY ROW	6/3/2013	6/19/2013			
Garden City	13-000983	603 HARDING	2730803015011000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/3/2013	6/19/2013			
Garden City	13-000984	603 HARDING	2730803015011000	Debris/Trash	MATTRESS IN REAR YARD	6/3/2013	6/19/2013			
Garden City	13-000985	604 East EDWARDS	2730803015008000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	6/3/2013	7/22/2013			
Garden City	13-000990	2606 FLEMING	2730504016004000	Weeds	OVERGROWN WEEDS IN STREET ROW	6/4/2013				
Garden City	13-000993	408 EVANS	2741703013004000	Debris/Trash	TRASH IN REAR YARD	6/20/2013				
Garden City	13-000995	1905 WALKER	2661301023003020	Unlawful Deposits	TRASH BY DUMPSTER-NOT CORRECT ADDRESS	6/4/2013	6/7/2013			
Garden City	13-000996	West WESTPORT	2751601013008000	Debris/Trash	SCRAP WOOD IN STREET ROW	6/4/2013				
Garden City	13-000997	1606 SUMMIT	2611204006014000	Unlawful Deposits	TREE BRANCHES	6/4/2013	6/21/2013			
Garden City	13-001000	302 North FIFTH	2741804010007000	Debris/Trash	COUCH & RECLINER UNDER TARP,PLASTIC CONTAINERS, SCRAP LUMBER, TIRES, SCRAP METAL, MISC JUNK, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY.	6/4/2013	8/27/2013			6/20/2013
Garden City	13-001002	312 North FOURTH	2741804011003000	Unlawful Deposits	SCRAP LUMBER IN ALLEY ROW	6/4/2013	7/2/2013			
Garden City	13-001003	312 North FOURTH	2741804011003000	Debris/Trash	SCRAP WOOD IN REAR YARD	6/4/2013	6/20/2013			
Garden City	13-001005	321 CAMPUSVIEW	2751603010010000	Vehicles	INOPERABLE VEHICLE ON LOT BEHIND 313 CAMPUSVIEW	6/4/2013	6/5/2013			
Garden City	13-001006	WESTPORT	2751601011001000	Unlawful Deposits	SCRAP WOOD IN STREET ROW	6/4/2013				

Garden City	13-001007	1512 HATTIE	2730703013010000	Weeds	Overgrown weeds on rear yard & alley row	6/5/2013	7/8/2013			
Garden City	13-001010	1514 HATTIE	2730703013009000	Unlawful Deposits	Tree branches & wood pallets in alley row	6/5/2013	6/28/2013			
Garden City	13-001013	2006 East FAIR	2720902014002000	Weeds	OVERGROWN WEEDS	6/5/2013	10/3/2013			
Garden City	13-001014	906 SMOKEY HILL	2751601008027000	Weeds	OVERGROWN WEEDS ON PROPERTY	6/5/2013	6/21/2013			
Garden City	13-001015	3605 CHISHOLM	2751601008009000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	6/5/2013	7/1/2013			
Garden City	13-001017	1901 CHESTERFIELD	2661301024005000	Weeds	Over grown weeds on property & in street row's	6/5/2013	7/11/2013			
Garden City	13-001019	1907 CHESTERFIELD	2661301024008000		Over grown weeds on property & in street row's	6/5/2013	6/21/2013			
Garden City	13-001020	1903 CHESTERFIELD	2661301024006000	Weeds	Over grown weeds on property & in street row's	6/5/2013	6/28/2013			
Garden City	13-001022	1902 CHESTERFIELD	2661301025001000	Weeds	Over grown weeds on property & in street row's	6/5/2013	7/12/2013			
Garden City	13-001023	2606 East FAIR	2720902001011000	Weeds	Over grown weeds on property & in street row	6/5/2013				
Garden City	13-001024	712 East FULTON	2741804027001000	Weeds	Overgrown weeds	6/5/2013	8/8/2013			
Garden City	13-001025	2306 HENDERSON	2730801008005000	Debris/Trash	MATTRESS NEXT TO DUMPSTER	6/5/2013	6/18/2013			
Garden City	13-001026	1002 & 1006 SMOKEY HILL	2751601008008000	Weeds	OVERGROWN WEEDS IN STREET ROW	6/5/2013	7/1/2013			
Garden City	13-001028	1010 SMOKEY HILL	2751601008006000	Weeds	OVERGROWN WEEDS IN STREET ROW	6/5/2013	7/1/2013			
Garden City	13-001029	1001, 1005, 1009, 1013 SMOKEY HILL	2751601009008000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/5/2013	7/1/2013			
Garden City	13-001030	104 South THIRD	2741804030007000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/5/2013	7/3/2013			
Garden City	13-001032	410 EVANS	2741703013003000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/6/2013	6/20/2013			
Garden City	13-001034	327 CAMPUSVIEW	2751603010008000	Debris/Trash	MATTRESS NEXT TO DUMPSTER	6/6/2013	6/21/2013			
Garden City	13-001035	1306 East CHESTNUT	2741703029002000	Unlawful Deposits	BOX SPRING, WOOD PALLET, 2 CHAIRS	6/6/2013	7/12/2013	7/1/2013		
Garden City	13-001037	212 WASHINGTON- #1	2741703025002000	Unlawful Deposits	MATTRESS & BOX SPRING, MISC. FURNITURE, TIRES, SCRAP WOOD & WOOD PALLETS NEXT TO DUMPSTER	6/6/2013	7/3/2013			
Garden City	13-001038	212 WASHINGTON-#1 & 3	2741703025002000	Debris/Trash	LOT #1 TRASH/DEBRIS, TIRES, MISC. FURNITURE, BLACK & RED INTERIOR CHAIRS & SCRAP WOOD- LOT #3 BROWN CHAIR & BED HEADBOARD	6/6/2013	7/3/2013			
Garden City	13-001039	1101 East CHESTNUT	2741703018005000		OVERGROWN WEEDS ON PROPERTY & IN ROW	6/6/2013	7/5/2013			
Garden City	13-001040	212 WASHINGTON-#1	2741703025002000	Vehicles	INOPERABLE/UNTAGGED VEHICLE	6/6/2013	7/15/2013			
Garden City	13-001041	402 North THIRD	2741804002006000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/6/2013	6/20/2013			
Garden City	13-001047	0 North JENNIE BARKER	2751601008034000	Debris/Trash	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/26/2013				
Garden City	13-001048	2808 ELDORADO #A	2730503003006010	Unlawful Deposits	MATTRESS NEXT TO DUMPSTER IN ALLEY	6/6/2013				
Garden City	13-001054	2405 DEE	2611201005001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	6/7/2013	8/13/2013			
Garden City	13-001055	2405 DEE Avenue	2611201005001000	Environmental Yard	ENVIROMENTAL YARD: BUCKET FULL OF USED OIL, STACK OF BUILDING MATERIALS, ROOF SHINGLING, TIRES, STACK OF SCRAP LUMBER, TRASH, LITTER, AND DEBRIS DEPOSITED ON THE PROPERTY	6/7/2013				
Garden City	13-001056	1017 North FOURTH	2741801002006000	Vehicles	VEHICLE PARKED ON UNIMPROVED SURFACE	6/7/2013	6/7/2013			
Garden City	13-001067	3502 North CAMPUS	2720402002002000	Weeds	OVERGROWN WEEDS IN STREET ROW	6/8/2013	7/29/2013			
Garden City	13-001101	510 ST JOHN	2741802027002010	Environmental Yard	FURNITURE IN REAR YARD	6/17/2013	9/27/2013	8/26/2013	7/1/2013	
Garden City	13-001102	622 North TENTH	2741802012003000	Weeds	OVERGROWN WEEDS	6/17/2013	9/3/2013			
Garden City	13-001107	510 ST JOHN	2741802027002010	Weeds	Overgrown weeds on property	6/17/2013	8/21/2013			
Garden City	13-001108	407 West ELM	2741802013014020	Unlawful Deposits	MATTRESS IN ALLEY	6/17/2013	7/2/2013			
Garden City	13-001110	2006 East FAIR	2720902014002000	Environmental Yard	ENVIRONMENTAL YARD- CARPET, PLASTIC TUB, TIRES, SCRAP WOOD	6/17/2013	7/1/2013			
Garden City	13-001114	605 North SEVENTH	2741801031007000		RED TAG-JENNIFER FROM ELEC. CALLED 06/17/2013. A TREE FROM NIGHT BEFORE STORM FELL ON POWER LINE. KQ	6/17/2013				

Garden City	13-001121	2102 East SPRUCE	2751603010022010	Environmental Yard	COUCH, SECTIONAL COUCH & RECLINER ON PROPERTY	6/18/2013	7/1/2013			
Garden City	13-001123	2102 East SPRUCE	2751603010022010	Weeds	OVERGROWN WEEDS ON PROPERTY	6/18/2013	7/1/2013			
Garden City	13-001124	2003 HATTIE	2730702011010000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/18/2013	7/11/2013			
Garden City	13-001125	2004 North NINTH	2730702011007000	Unlawful Deposits	WOOD FENCE MATERIAL IN ALLEY ROW & WHITE CABINET IN STREET ROW	6/18/2013	6/25/2013			
Garden City	13-001126	601 West HAMLINE	2730702011009000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/18/2013	6/25/2013			
Garden City	13-001127	706 West HAMLINE	2730702012017000	Unlawful Deposits	SCRAP WOOD & BUILDING SIGN IN ALLEY ROW	6/18/2013	6/25/2013			
Garden City	13-001128	704 West HAMLINE	2730702012016000	Unlawful Deposits	TREE BRANCHES/LIMBS & SCRAP WOOD IN ALLEY ROW	6/18/2013	6/25/2013			
Garden City	13-001130	606 West HAMLINE	2730702012013000	Unlawful Deposits	MATTRESS IN ALLEY ROW	6/18/2013	7/11/2013			
Garden City	13-001131	702 West HAMLINE	2730702012015000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/18/2013	7/10/2013			
Garden City	13-001132	2002 HATTIE	2730702012008000	Weeds	OVERGROWN WEED ON PROPERTY & ROW'S	6/18/2013	7/10/2013			
Garden City	13-001133	601 North ELEVENTH	2741802014015000	Weeds	Overgrown weeds on property & street row	6/18/2013	6/25/2013			
Garden City	13-001135	1324 CONKLING	2611204008002020	Weeds	Overgrown weeds in alley row	6/18/2013	6/25/2013			
Garden City	13-001143	301 East PRICE	2730701015006000	Vehicles	INOPERABLE OR UNTAGGED VEHICLE	6/19/2013				
Garden City	13-001145	105 North WEST	2630702006005000	Dilapidated Structure	SCRAP WOOD, TREE BRANCHES/LIMBS, SCRAP METAL, & PLASTIC PIPING	6/19/2013	9/27/2013			
Garden City	13-001146	1210 North ELEVENTH	2730703027003000	Unlawful Deposits	COUCH NEXT TO DUMPSTER IN ALLEY ROW	6/19/2013				
Garden City	13-001149	316 North ELEVENTH	2741802026005000	Weeds	Overgrown weeds on property	6/19/2013				
Garden City	13-001151	806 East THOMPSON	2730802009005000	Unlawful Deposits	CARPET, TREE BRANCHES & TRASH NEXT TO DUMPSTER	6/19/2013	7/11/2013	6/25/2013		
Garden City	13-001166	631 BRIAR HILL	2730802006016000	Environmental Yard	VACANT HOUSE, POOL FILLED WITH BROWN SMELLY WATER	6/20/2013			7/24/2013	
Garden City	13-001169	311 North SECOND	2741804012001000	Environmental Yard	Interior chair in front yard	6/20/2013				
Garden City	13-001170	311 North THIRD	2741804011001000	Weeds	Overgrown weeds	6/20/2013	7/25/2013			
Garden City	13-001171	311 North THIRD	2741804011001000	Environmental Yard	Trash, tires,oil barrels, scrap wood & plastic piping in rear yard next to shed.	6/20/2013	8/5/2013			
Garden City	13-001175	410 EVANS	2741703013003000	Environmental Yard	Tree branches & scrap wood in rear yard	6/20/2013	8/23/2013			
Garden City	13-001176	408 EVANS	2741703013004000	Environmental Yard	Scrap metal, scrap wood, plastic pipe.	6/20/2013	8/23/2013			
Garden City	13-001196	1703 North NINTH	2730703009006000	Weeds	OVERGROWN WEEDS	6/20/2013				
Garden City	13-001197	2004 BELMONT	2730802018006000	Environmental Yard	TREE BRANCHES IN DRIVEWAY	6/20/2013	6/27/2013			
Garden City	13-001198	2004 OLD MANOR	2730802017006000	Unlawful Deposits	SCRAP WOOD, 2 CHAIRS, TREE BRANCHES & MISC. DEBRIS IN ALLEY ROW	6/20/2013				
Garden City	13-001207	1002 North FOURTH	2741801001012000	Weeds	OVERGROWN WEEDS	6/20/2013	8/27/2013			
Garden City	13-001211	611 East FULTON	2741804015005000		DILAPIDATED SIGN FOR TIRE SHOP	6/21/2013				
Garden City	13-001231	611 East HAZEL	2741702004014000	Weeds	Overgrown weeds on property	6/21/2013	7/10/2013			
Garden City	13-001234	905 North FOURTH	2741801013008000	Non-Conforming Use	NON-CONFORMING USE-RETAIL SALES, NEW PURSES, SHOES, HAIR ACCESSORIES	6/21/2013	6/28/2013			
Garden City	13-001249	2709 North SEVENTH	2730604002011000	Animals	NON-CONFORMING USE, GOATS & CHICKENS ON PROPERTY	6/25/2013				
Garden City	13-001254	903 North TWELFTH	2741802008008000	Unlawful Deposits	Couch in street ROW	6/25/2013	7/2/2013			
Garden City	13-001255	2405 North MAIN	2730701010008000		Vehicles parked on unimproved surface	6/25/2013				
Garden City	13-001256	603 MULBERRY	2741802008007000	Weeds	Overgrown weeds	6/25/2013	7/25/2013			
Garden City	13-001260	2703 North SEVENTH	2730604002010000		Overgrown weeds on property & in street row	6/25/2013	7/2/2013			
Garden City	13-001269	1720 PATS	2741701008004000		CHAIR, BRANCHES & TABLE NEXT TO DUMPSTER	7/2/2013	7/3/2013			
Garden City	13-001272	1602 North ELEVENTH	2730703007005000	Weeds	Overgrown weeds on property	6/25/2013				
Garden City	13-001275	1605 OLD MANOR	2730803015001000		Couch in alley row	6/25/2013	7/2/2013			
Garden City	13-001277	603 AMY	2751601004006010	Non-Conforming Use	SEMI-TRUCK PARKING IN RESIDENTIAL ZONING DISTRICT	6/25/2013				
Garden City	13-001280	801 PARK	2730803006021000	Unlawful Deposits	TREE BRANCHES NEXT TO DUMPSTER IN ALLEY ROW	6/26/2013	7/10/2013			
Garden City	13-001283	205 East MARY	2730604011012000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	6/26/2013	7/25/2013			
Garden City	13-001284	631 BRIAR HILL	2730802006016000	Weeds	Overgrown weeds on property	6/26/2013	7/30/2013			

Garden City	13-001285	209 West EDWARDS	2730704016006000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	6/26/2013	7/24/2013			
Garden City	13-001286	2515 North EIGHTH	2730702001001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/26/2013				
Garden City	13-001287	1206 North ELEVENTH	2730703027005000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/26/2013	7/18/2013			
Garden City	13-001288	812 JENNY	2730703027002000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/26/2013				
Garden City	13-001294	311 North THIRD	2741804011001000	Dilapidated Structure	DILAPIDATED STRUCTURE-STORAGE SHED IN REAR YARD	6/27/2013				
Garden City	13-001296	1605 OLD MANOR	2730803015001000	Environmental Yard	Couch in front yard	6/27/2013	7/12/2013			
Garden City	13-001297	511 West KANSAS	2730703026009000		RED TAGGED BY FIRE DEPT. 06/26/2013. ELEC METER PULLED AND GAS LOCKED OFF.	6/27/2013				
Garden City	13-001299	1212 North TENTH	2730703028002000	Weeds	Overgrown weeds on property & in row's	6/27/2013	7/24/2013			
Garden City	13-001301	1208 North TENTH	2730703028004000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/27/2013	7/5/2013			
Garden City	13-001302	1206 North TENTH	2730703028005010	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	6/27/2013	7/29/2013			
Garden City	13-001303	1204 North TENTH	2730703028005000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	6/27/2013	7/5/2013			
Garden City	13-001304	812 JENNY	2730703027002000	Unlawful Deposits	Tree limbs/branches next to dumpster in alley row	6/27/2013	7/5/2013			
Garden City	13-001305	1205 North NINTH	2730703028009000	Weeds	Overgrown weeds in rear yard & in alley row	6/27/2013				
Garden City	13-001308	702 North MAIN	2741801022006000	Weeds	WEEDS ON PROPERTY	6/27/2013	7/5/2013			
Garden City	13-001309	702 North MAIN	2741801022006000	Dead or Diseased Trees	DEAD TREE ON PROPERTY	6/27/2013	7/5/2013			
Garden City	13-001310	1010 North SEVENTH	2741801006006000	Vehicles	INOPERABLE VEHICLES	6/19/2013				
Garden City	13-001311	414 MAGNOLIA	2741703001004000	Weeds	OVERGROWN WEEDS ON PROPERTY	6/27/2013	6/27/2013			
Garden City	13-001313	1109 KINGSBURY	2730802003002000	Weeds	OVERGROWN WEEDS ON PROPERTY	6/28/2013	7/1/2013			
Garden City	13-001318	901 North EIGHTH	2741802001010000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	6/28/2013	7/12/2013			
Garden City	13-001319	1508 West FULTON	2661304002010000	Unlawful Deposits	RED RECLINER IN STREET ROW	6/28/2013	7/23/2013	7/5/2013		
Garden City	13-001320	2014 BELMONT	2730802018003000	Unlawful Deposits	BLUE RECLINER IN ALLEY ROW	6/28/2013	7/3/2013			
Garden City	13-001321	1606 HATTIE	2730703013005000	Weeds	OVERGROWN WEEDS ON PROPERTY	6/28/2013	7/18/2013			
Garden City	13-001323	311 South SIXTH	2741804044010000	Unlawful Deposits	TREE LIMBS, TV & CHAIR NEXT TO DUMPSTER IN ALLEY ROW	6/28/2013	8/1/2013			
Garden City	13-001324	1501 ST JOHN	2661301028014000	Weeds	Overgrown weeds	6/28/2013	7/5/2013			
Garden City	13-001325	311 South SIXTH	2741804044010000	Weeds	Overgrown weeds on property	6/28/2013	8/1/2013			
Garden City	13-001326	202 NELSON	2741704016009000	Weeds	Overgrown weeds on property & in street row	6/28/2013	7/5/2013			
Garden City	13-001328	1610 HATTIE	2730703013003000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAYS	6/28/2013	7/18/2013			
Garden City	13-001329	509 MOORES	2730703012004000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN RIGHT-OF-WAYS	6/28/2013	7/18/2013			
Garden City	13-001330	2611 COACHMAN	2730503006015000	Sign	SIGN IN STREET ROW	6/28/2013	7/3/2013			
Garden City	13-001337	501 North NINTH	2741802021011000	Weeds	Overgrown weeds in street row	7/1/2013	7/11/2013			
Garden City	13-001338	715 ST JOHN	2741802017012000	Weeds	Overgrown weeds on property & in street row	7/1/2013	7/11/2013			
Garden City	13-001339	503 North TAYLOR	2661301034007000	Weeds	Overgrown weeds on property & in street row	7/1/2013	7/26/2013			
Garden City	13-001342	503 North TAYLOR	2661301034007000	Environmental Yard	Mattress in front yard & scrap wood & trash on front porch	7/1/2013	8/26/2013		7/22/2013	
Garden City	13-001344	1709 FLEMING	2730804011011000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/1/2013	7/25/2013			
Garden City	13-001345	606 PENNSYLVANIA	2661301033006000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/1/2013	7/22/2013			
Garden City	13-001348	1610 HATTIE	2730703013003000	Unlawful Deposits	CARPET & PADDING NEXT TO DUMPSTER IN ALLEY ROW	7/1/2013	7/18/2013			
Garden City	13-001352	608 PENNSYLVANIA	2661301033005000	Weeds	Overgrown weeds on property	7/2/2013	7/15/2013			
Garden City	13-001353	1208 WALKER	2661301033002000	Weeds	Overgrown weeds on property	7/2/2013				
Garden City	13-001354	1709 FLEMING	2730804011011000	Unlawful Deposits	Tree limbs/branches in alley row	7/2/2013	7/29/2013	7/17/2013		
Garden City	13-001359	205 South FOURTH	2741804038009000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/3/2013	9/11/2013			
Garden City	13-001364	711 North FIRST	2741702028001000	Weeds	Overgrown weeds on property	7/3/2013	7/17/2013			
Garden City	13-001365	1722 PATS	2741701008003000	Environmental Yard	Tree Limbs/branches in front yard	7/3/2013				
Garden City	13-001366	1605 A	2730704016009000	Weeds	Overgrown weeds in rear yard	7/3/2013	8/8/2013			
Garden City	13-001370	802 PARK	2730803006020000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/3/2013	7/10/2013			
Garden City	13-001371	801 PARK	2730803006021000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/3/2013	7/10/2013			
Garden City	13-001372	802 PARK	2730803006020000	Unlawful Deposits	TREE LIMBS/BRANCHES IN ALLEY ROW	7/3/2013	7/10/2013			
Garden City	13-001373	2501 FLEMING	2730801004004000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/3/2013	7/12/2013			

Garden City	13-001375	209 West EDWARDS	2730704016006000	Unlawful Deposits	TREE BRANCHES/LIMBS NEXT TO DUMPSTER IN ALLEY ROW	7/3/2013	7/24/2013		
Garden City	13-001382	506 BANCROFT	2661301030011000	Weeds	Overgrown weeds on property & in row's	7/5/2013			
Garden City	13-001383	506 BANCROFT	2661301030011000	Vehicles	Inoperable/untagged vehicle	7/5/2013	8/6/2013		
Garden City	13-001389	1303 East FULTON	2741703029003000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	7/5/2013	7/12/2013		
Garden City	13-001391	1212 North NINTH	2730703029002000		Overgrown weeds in rear yard on property & in alley row	7/5/2013	7/12/2013		
Garden City	13-001441	3201 North CAMPUS	2730501001007020	Weeds	OVERGROWN WEEDS ON PROPERTY	7/10/2013	7/17/2013		
Garden City	13-001442	406 West EMERSON	2730701007002000	Environmental Yard	ENVIRONMENTAL YARD-SCRAP WOOD, SCRAP METAL, MISCELLANEOUS APPLIANCES, TIRES.	7/10/2013			
Garden City	13-001444	616 BRIAR HILL	2730802007001000	Non-Conforming Use	NON-CONFORMING USE-COMMERCIAL TRUCKS IN RESIDENTIAL AREA	7/10/2013	7/16/2013		
Garden City	13-001445	1630 East JOHNSON	2730804008002000	Unlawful Deposits	TREE BRANCHES ON SIDEWALK	7/10/2013	8/26/2013		
Garden City	13-001446	722 SUSAN	2751601007002000	Weeds	OVERGROWN WEEDS/GRASS	7/10/2013			
Garden City	13-001448	610 BRIAR HILL	2730802007002000	Non-Conforming Use	NON-CONFORMING USE, COMMERCIAL TRASH CONTAINERS IN STREET THAT ARE NOT FOR ANY PROJECTS GOING ON AT RESIDENCE.	7/10/2013	7/16/2013		
Garden City	13-001455	223 WESLEY	2661301040001000	Weeds	Overgrown weeds on property & in street row	7/11/2013	9/18/2013		
Garden City	13-001456	701 West FULTON	2741803007005000	Weeds	Overgrown weeds on property & in street row	7/11/2013	8/23/2013		
Garden City	13-001457	1302 West FULTON	2661304002001000	Weeds	Overgrown weeds on property	7/11/2013	7/18/2013		
Garden City	13-001458	511 North TAYLOR	2661301034001000	Weeds	Overgrown weeds on property & in row's	7/11/2013	8/12/2013		
Garden City	13-001462	610 PENNSYLVANIA	2661301033004000	Environmental Yard	MATTRESSES NEXT TO DUMPSTER BEHIND 607 N. TAYLOR	7/11/2013	7/26/2013		
Garden City	13-001466	201 BUFFALO JONES	2741802010001000	Weeds	Overgrown weeds in street row	7/11/2013	7/25/2013		
Garden City	13-001472	2302 CHEROKEE	2720902022012000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/12/2013	7/17/2013		
Garden City	13-001474	2212 CHEROKEE	2720902003004000	Weeds	Inoperable/ untagged vehicle	7/12/2013	7/17/2013		
Garden City	13-001475	2209 APACHE	2720902003003000	Weeds	Inoperable/ untagged vehicle	7/12/2013	7/17/2013		
Garden City	13-001476	2209 APACHE	2720902003003000	Weeds	Overgrown weeds in alley row	7/12/2013	7/17/2013		
Garden City	13-001489	2508 East KANSAS	2720903006001010	Weeds	OVERGROWN WEEDS ON PROPERTY	7/15/2013	7/18/2013		
Garden City	13-001498	1706 North THIRD	2730803004009000	Weeds	Overgrown weeds in rear yard	7/15/2013	8/12/2013		
Garden City	13-001505	803 IDA	2661301007009000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/16/2013	8/7/2013		
Garden City	13-001512	1003 PATS	2741702003002000	Unlawful Deposits	BRANCHES & SCRAP WOOD IN ALLEY ROW	7/17/2013		8/16/2013	
Garden City	13-001518	0 SEC 05 24-32	2730501001007010	Weeds	Overgrown weeds on property	7/17/2013	8/13/2013		
Garden City	13-001519	1906 KOSTER	2730504007002000	Weeds	Overgrown weeds in alley row	7/17/2013	8/9/2013		
Garden City	13-001520	2717 CAMPUS	2730504007001000	Weeds	Overgrown weeds in alley row	7/17/2013	7/29/2013		
Garden City	13-001521	1710 GLENELLEN	2730804011004000	Unlawful Deposits	Tree limbs/branches in alley row	7/17/2013	7/29/2013		
Garden City	13-001523	1710 CENTER	2730803011005000	Weeds	Overgrown weeds in rear yard & in alley row	7/17/2013	8/16/2013		
Garden City	13-001527	2930 LORRAINE	2730503001012000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/17/2013	8/19/2013		
Garden City	13-001532	205 South FOURTH	2741804038009000	Environmental Yard	Environmental yard-trash/junk, old furniture, scrap wood on property	7/17/2013		8/1/2013	
Garden City	13-001534	411 North FOURTH	2741804004001000	Unlawful Deposits	COUCH IN STREET ROW	7/17/2013	7/29/2013		
Garden City	13-001535	205 South FOURTH	2741804038009000	Dilapidated Structure	DILAPIDATED SHEDS IN REAR YARD	7/17/2013			
Garden City	13-001536	3510 East KANSAS Avenue	2720900001001010	Weeds	OVERGROWN WEEDS ON PROPERTY	7/18/2013			
Garden City	13-001537	2112 North THIRD	2730802013009000	Weeds	DEAD TREE ON PROPERTY	7/29/2013	8/2/2013		
Garden City	13-001538	0 SEC 05 24-32	2730501001007000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/18/2013			
Garden City	13-001546	1818 COMMANCHE	2720903001002000	Weeds	Overgrown weeds on property	7/18/2013	7/29/2013		
Garden City	13-001547	2107 East KANSAS	2720903004012000	Weeds	Overgrown weeds on property	7/18/2013	8/12/2013		
Garden City	13-001548	406 East SANTA FE	2741804038002000	Weeds	Overgrown weeds on property	7/18/2013			
Garden City	13-001550	214 FLEMING	2741704001009010		Overgrown weeds on property	7/18/2013			
Garden City	13-001551	1603 ST JOHN	2661301028010000	Environmental Yard	Brown couch in front yard	7/18/2013			
Garden City	13-001552	509 MOORES	2730703012004000	Vehicles	Inoperable/ untagged vehicle	7/18/2013	7/29/2013		
Garden City	13-001553	1608 HATTIE	2730703013004000	Weeds	Overgrown weeds in rear yard & alley row	7/18/2013			
Garden City	13-001554	1516 HATTIE	2730703013008000	Weeds	Overgrown weeds in alley row	7/18/2013	7/29/2013		
Garden City	13-001588	908 North THIRTEENTH	2741802008004000	Weeds	UNLAWFUL DEPOSITS- MATTRESS IN ALLEY ROW	7/25/2013	8/8/2013		
Garden City	13-001589	1201 North THIRD	2730704032018000	Environmental Yard	ENVIRONMENTAL YARD- SCRAP WOOD & TRASH IN REAR YARD	7/22/2013	8/15/2013		

Garden City	13-001590	205 North THIRTEENTH	2741803007001000	Weeds	Overgrown weeds on property & in row's	7/22/2013	9/11/2013			
Garden City	13-001591	1002 North TAYLOR	2741802007006000	Weeds	Overgrown weeds on property	7/22/2013	8/9/2013			
Garden City	13-001592	606 PENNSYLVANIA	2661301033006000	Environmental Yard	Environmental yard- old furniture, trash/ debris, scrap wood, tree branches/ limbs in rear yard.	7/22/2013	8/19/2013			
Garden City	13-001593	514 West MARY	2730702001002010	Weeds	Overgrown weeds on property	7/22/2013				
Garden City	13-001595	520 West MARY	2730702001002020	Weeds	Overgrown weeds on property	7/22/2013				
Garden City	13-001596	302 West MARY	2730701006001000	Weeds	Overgrown weeds on property	7/22/2013	8/9/2013			
Garden City	13-001597	2512 B STREET	2730701005004000	Weeds	OVERGROWN WEEDS ON PROPERTY AND IN RIGHT-OF-WAYS	7/22/2013	8/12/2013			
Garden City	13-001600	2401 East MARY	2720400001006010	Weeds	Overgrown weeds on property	7/22/2013				
Garden City	13-001601	0 East MARY	2720400001006030	Weeds	Overgrown weeds on property	7/22/2013	8/7/2013			
Garden City	13-001603	2404 CHEROKEE	2720902001001030	Weeds	Overgrown weeds in rear yard & alley row	7/22/2013	7/26/2013			
Garden City	13-001604	2404 CHEROKEE	2720902001001030	Vehicles	Inoperable/untagged vehicle	7/22/2013	7/26/2013			
Garden City	13-001605	1606 HATTIE	2730703013005000	Vehicles	INOPERABLE/UNTAGGED BLACK CHEVY TRAILBLAZER PARKED ON UNIMPROVED SURFACE IN REARYARD	7/22/2013	7/29/2013			
Garden City	13-001609	1015 North SIXTH	2741801006015000	Weeds	Overgrown weeds in rear yard	7/22/2013	8/9/2013			
Garden City	13-001610	1907 Vinzant Street	2661301007007	Weeds	Overgrown weeds on property	7/22/2013	8/7/2013			
Garden City	13-001611	2505 North EIGHTH	2730702001012000	Weeds	Overgrown weeds on property & in row's	7/22/2013	8/12/2013			
Garden City	13-001612	505 West EMERSON	2730702001009000	Weeds	Overgrown weeds in alley row	7/22/2013	8/7/2013			
Garden City	13-001613	2308, 2402, 2408, 2508, & 2602 East MARY		Weeds	Overgrown weeds in street row	7/22/2013	8/1/2013			
Garden City	13-001614	1907 Vinzant Street	2661301007007	Environmental Yard	Environmental yard- trash/debris, scrap wood, railroad ties on property	7/22/2013	8/7/2013			
Garden City	13-001615	11560 YUCCA	2911100001022000	Environmental Yard	Environmental yard- construction debris, trash & scrap metal	7/22/2013				
Garden City	13-001644	2930 LORRAINE	2730503001012000	Vehicles	Inoperable/untagged vehicle	7/23/2013	8/19/2013			
Garden City	13-001651	2711 SHAMUS	2730503003024000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001652	2815 BELMONT	2730503003040000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001653	2811 BELMONT	2730503003039000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001654	2807 BELMONT	2730503003038000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001655	2711 BELMONT	2730503003036000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001656	2801, 2803, 2805, 2307 ELDORADO	2730503003008020	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	8/19/2013			
Garden City	13-001657	2707, 2709, 2710, 2711, 2712 CHAINEY	2730503003017000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	8/12/2013			
Garden City	13-001658	2707, 2709, 2710, 2711, 2712 CHAINEY	2730503003017000	Unlawful Deposits	UNLAWFUL DEPOSITS-MATTRESS, CHAIR, TIRES, SWIMMING POOL LINER & PUMP, TRASH/DEBRIS	7/23/2013	8/7/2013			
Garden City	13-001659	605 LABRADOR	2730503003015000	Unlawful Deposits	UNLAWFUL DEPOSITS-MATTRESS, CHAIR, TIRES,TRASH/DEBRIS NEXT TO DUMPSTERS	7/23/2013	8/7/2013			
Garden City	13-001660	2601 SHAMUS	2730503008008000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/23/2013	8/12/2013			
Garden City	13-001661	2808 ELDORADO #A	2730503003005000	Weeds	OVERGROWN WEEDS IN REAR YARD & IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001662	2808 ELDORADO #B	2730503003006010	Weeds	OVERGROWN WEEDS IN REAR YARD & IN ALLEY ROW	7/23/2013	8/12/2013			
Garden City	13-001663	2808 ELDORADO #C	2730503003006000	Weeds	OVERGROWN WEEDS IN REAR YARD & IN ALLEY ROW	7/23/2013	8/12/2013			
Garden City	13-001664	2808 ELDORADO #D	2730503003007000	Weeds	OVERGROWN WEEDS IN REAR YARD & IN ALLEY ROW	7/23/2013	8/12/2013			
Garden City	13-001666	2508 North MAIN	2730701003009000	Unlawful Deposits	Broken furniture & trash next to dumpster in alley row	7/23/2013		9/10/2013		
Garden City	13-001667	646 WHEATRIDGE	2730802006023000	Unlawful Deposits	SCRAP WOOD & CONSTRUCTION DEBRIS IN ALLEY ROW	7/23/2013	7/30/2013			
Garden City	13-001668	1011 North MAIN	2741801008028000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/23/2013	8/8/2013			
Garden City	13-001672	2500 CHEROKEE	2720902001001010	Weeds	OVERGROWN WEEDS ON SOUTH SIDE OF PROPERTY	7/23/2013	8/7/2013			
Garden City	13-001678	401 North FOURTH	2741804004010000	Vehicles	Inoperable/Untagged vehicles	7/24/2013				
Garden City	13-001679	803 IDA	2661301007009000	Weeds	TREE LIMBS/BRANCHES IN REAR YARD	7/24/2013	8/27/2013			
Garden City	13-001680	805 IDA	2661301007010000	Weeds	WEEDS IN ALLEY ROW	7/24/2013	8/7/2013			
Garden City	13-001681	803 INGE	2661301007016000	Weeds	OVERGROWN WEEDS ON PROPERTY & REAR STREET ROW	7/24/2013	8/7/2013			
Garden City	13-001682	803 INGE	2661301007016000	Vehicles	INOPERABLE/UNTAGGED VEHICLES, DODGE RAM & DODGE DURANGO	7/24/2013	8/21/2013			

Garden City	13-001683	1210 North TENTH	2730703028003000	Unlawful Deposits	Box spring in alley row	7/24/2013			
Garden City	13-001685	1604 B	2730704016005000	Unlawful Deposits	UNLAWFUL DEPOSITS-WOOD PALLET & TREE BRANCHES NEXT TO DUMPSTER IN ALLEY RIGHT-OF-WAY	7/24/2013			
Garden City	13-001686	1604 B	2730704016005000	Weeds	Overgrown weeds on rear yard & alley row	7/24/2013			
Garden City	13-001687	1706 East SPRUCE	2741704002003000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/24/2013			
Garden City	13-001693	2814 ELDORADO	2730503003004000	Unlawful Deposits	MATTRESS AND DOOR ON PROPERTY IN REAR YARD	7/25/2013	7/30/2013		
Garden City	13-001695	2506 North MAIN	2730701003010000	Unlawful Deposits	Mattresses & trash next to dumpster in alley row	7/25/2013			
Garden City	13-001696	1209 North NINTH	2730703028011000	Vehicles	Inoperable vehicle- grey Buick Regal	7/25/2013			
Garden City	13-001701	218 East BELLEVUE	2730604001012000	Weeds	Overgrown weeds on property & in row's	7/25/2013			
Garden City	13-001702	2720 North SEVENTH	2730604001003000	Weeds	Overgrown weeds in alley row's	7/25/2013	8/2/2013		
Garden City	13-001703	203 East MARY	2730604011011000	Weeds	Overgrown weeds on property & in street row	7/25/2013	7/30/2013		
Garden City	13-001704	604 East Spruce	2741801041002000	Weeds	Overgrown weeds in row's	7/25/2013			
Garden City	13-001705	709 East LAUREL	2741703010005000	Weeds	Overgrown weeds on property & in row's	7/25/2013	8/20/2013		
Garden City	13-001706	803 East LAUREL	2741703011005000	Weeds	OVERGROWN WEEDS ON PROPERTY AND IN RIGHT-OF-WAYS	7/25/2013	8/20/2013		
Garden City	13-001707	1706 East SPRUCE	2741704002003000	Environmental Yard	Environmental yard- construction debris, trash, furniture on property	7/25/2013	10/7/2013		
Garden City	13-001708	412 North SECOND	2741804001001000	Weeds	Overgrown weeds in street row	7/25/2013	8/27/2013		
Garden City	13-001709	712 East FULTON	2741804027001000	Environmental Yard	ENVIRONMENTAL YARD-SCRAP WOOD, TIRES, MATTRESS ON PROPERTY	7/25/2013			
Garden City	13-001711	303 North SECOND	2741804012008000	Vehicles	INOPERABLE VEHICLE- GREEN HONDA PASSPORT, SILVER MITSUBISHI GALANT, BROWN CHEVY PICKUP	7/25/2013			
Garden City	13-001715	303 North SECOND	2741804012008000	Environmental Yard	ENVIRONMENTAL YARD- SCRAP WOOD, SCRAP METAL, CONSTRUCTION DEBRIS,TIRES, TREE BRANCHES/LIMBS, MULTIPLE LAWN MOWERS,PLASTIC BUCKETS, TRASH/DEBRIS THROUGHOUT REAR YARD	7/26/2013			
Garden City	13-001719	312 West MARY	2730701006009000	Weeds	OVERGROWN WEEDS ON PROPERTY	7/26/2013			
Garden City	13-001720	921 North TENTH	2741802003017000	Weeds	Overgrown weeds on property	7/26/2013	8/26/2013		
Garden City	13-001721	512 North TAYLOR	2741802017009000	Environmental Yard	Environmental yard-Plaid couch on property.	7/26/2013	8/8/2013		
Garden City	13-001722	511 North TAYLOR	2661301034001000	Environmental Yard	Environmental yard- Dresser, kitchen table & chairs, misc. furniture in yard.	7/26/2013	8/12/2013		
Garden City	13-001723	509 North TAYLOR	2661301034011000	Weeds	Overgrown weeds on north side of property	7/26/2013	8/8/2013		
Garden City	13-001729	2612 North MAIN	2730604010006000	Weeds	Overgrown weeds in alley row	7/26/2013			
Garden City	13-001730	2614 North MAIN	2730604010005000	Weeds	Overgrown weeds in alley row	7/26/2013	8/5/2013		
Garden City	13-001731	2605 North MAIN	2730604003011000	Weeds	Overgrown weeds on property & in alley row	7/26/2013			
Garden City	13-001732	2402 CHEROKEE	2720902001001040	Weeds	Overgrown weeds in alley row	7/26/2013	8/1/2013		
Garden City	13-001733	2405 ESTES	2720902025020000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/26/2013	8/1/2013		
Garden City	13-001734	2410 ESTES	2720902025018000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/26/2013			
Garden City	13-001741	1007 PATS	2741702003001000	Unlawful Deposits	Dresser in alley row	7/29/2013	8/2/2013		
Garden City	13-001743	1706 North THIRD	2730803004009000	Environmental Yard	Environmental yard- scrap wood & fence material in rear yard	7/29/2013	8/12/2013		
Garden City	13-001744	1704 North THIRD	2730803004010000	Environmental Yard	Environmental yard- fence material in rear yard	7/29/2013	8/12/2013		
Garden City	13-001745	1105 North NINTH	2730703033007000	Unlawful Deposits	Recliner chair & lamp next to dumpster in street row	7/29/2013			
Garden City	13-001749	906 North THIRTEENTH	2741802008005000	Unlawful Deposits	TRASH & MATTRESS NEXT TO DUMPSTER	7/29/2013		8/19/2013	
Garden City	13-001750	302 COLONY	2751603007016000	Weeds	OVERGROWN WEEDS	7/29/2013	8/21/2013		
Garden City	13-001751	2813 ELDORADO	2730503003008000	Unlawful Deposits	Box spring & 2 couches in alley row	7/30/2013	8/28/2013	8/12/2013	
Garden City	13-001753	2813 ELDORADO	2730503003008000	Weeds	Overgrown weeds in alley row	7/30/2013	8/19/2013		
Garden City	13-001757	2922 BELMONT	2730503001026000	Weeds	Overgrown weeds in alley row	7/30/2013	8/6/2013		
Garden City	13-001758	2920 BELMONT	2730503001025000	Weeds	Overgrown weeds in alley row	7/30/2013	8/6/2013		
Garden City	13-001759	2916 BELMONT	2730503001024000	Weeds	Overgrown weeds in alley row	7/30/2013	8/6/2013		
Garden City	13-001760	1306 BANCROFT	2611204010009000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/30/2013	8/13/2013		

Garden City	13-001770	911 JENNY	2730703017010000	Vehicles	INOPERABLE VEHICLES	7/31/2013	9/12/2013		
Garden City	13-001771	1617 SUMMIT	2611204005022000	Weeds	OVERGROWN WEEDS	7/31/2013			
Garden City	13-001772	2025 CAMPUS	2730801011001100	Weeds	OVERGROWN WEEDS IN ALLEY ROW	7/31/2013	8/2/2013		
Garden City	13-001777	210 West EMERSON	2730701009002000	Vehicles	INOPERABLE/UNTAGGED VEHICLE	8/1/2013	8/7/2013		
Garden City	13-001783	707 North SIXTH	2741801023011000		REWORK ELECTRICAL SERVICE	8/1/2013			
Garden City	13-001784	1017 North FOURTH	2741801002006000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/1/2013			
Garden City	13-001785	2001 North THIRD	2730701031010000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/1/2013			
Garden City	13-001786	601 East EDWARDS	2730803004011000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/1/2013	9/6/2013		
Garden City	13-001787	1302 North EIGHTH	2730704026007000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/1/2013			
Garden City	13-001788	202 North TENTH	2741803003006000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/1/2013			
Garden City	13-001795	1008 North SIXTH	2741801004004000	Vehicles	INOPERABLE/UNTAGGED VEHICLE	8/1/2013	8/9/2013		
Garden City	13-001796	311 South SIXTH	2741804044010000	Unlawful Deposits	UNLAWFUL DEPOSITS-MATTRESS & TREE BRANCHES IN ALLEY ROW	8/1/2013	8/16/2013		
Garden City	13-001804	210 West EMERSON	2730701009002000	Environmental Yard	ENVIRONMEDNTAL YARD- TIRES, AUTO PARTS, PLASTIC BARRELS, CONSTRUCTION MATERIAL, TRASH/DEBRIS ON PROPERTY	8/2/2013	8/19/2013		
Garden City	13-001806	605 HARDING	2730803015012000	Unlawful Deposits	Unlawful deposits- tree limbs/branches in alley row	8/2/2013	9/18/2013	8/20/2013	
Garden City	13-001807	222 East BELLEVUE	2730604001011000	Weeds	Overgrown weeds in rear yard & alley row	8/2/2013	8/27/2013		
Garden City	13-001808	1809 CHEROKEE	2720903003005000	Weeds	Overgrown weeds in alley row	8/2/2013			
Garden City	13-001810	1809 CHEROKEE	2720903003005000	Unlawful Deposits	Unlawful deposits- tree branches/limbs in alley row	8/2/2013			
Garden City	13-001811	1823 CHEROKEE	2720903003002000	Unlawful Deposits	Unlawful deposits- tree branches/limbs in alley row	8/2/2013			
Garden City	13-001813	1823 CHEROKEE	2720903003002000	Weeds	Overgrown weeds on in alley row	8/2/2013	8/9/2013		
Garden City	13-001816	416 MAGNOLIA	2741703001003000	Environmental Yard	Environmental yard- mattress, box spring, scrap metal & fence material in rear yard.	8/2/2013			
Garden City	13-001817	408 MAGNOLIA	2741703001007000	Environmental Yard	Environmental yard- Scrap wood, scrap metal, wood pallet, tire in rear yard.	8/2/2013			
Garden City	13-001818	505 HUDSON	2741703006001000	Weeds	Overgrown weeds in yard & street row	8/2/2013	8/7/2013		
Garden City	13-001820	1107 East PINE	2741703005005000	Unlawful Deposits	Unlawful deposits- mattress, box spring & loveseat in alley row	8/2/2013	8/7/2013		
Garden City	13-001821	1808.5 OROSCO	2720903003009000	Environmental Yard	Environmental yard-scrap wood, trash & debris in rear yard.	8/2/2013			
Garden City	13-001824	131 West HAZEL	2741801008010000	Weeds	Overgrown weeds in street row	8/5/2013	8/7/2013		
Garden City	13-001825	1017 North FOURTH	2741801002006000	Weeds	Overgrown weeds on property	8/5/2013	8/12/2013		
Garden City	13-001826	502 North THIRD	2741801041007000	Weeds	Overgrown weeds on property & in row's	8/5/2013	8/12/2013		
Garden City	13-001827	504 North THIRD	2741801041006000	Weeds	Overgrown weeds on property & in row's	8/5/2013	8/23/2013		
Garden City	13-001829	506 North THIRD	2741801041005000	Weeds	Overgrown weeds on property & in row's	8/5/2013	8/23/2013		
Garden City	13-001830	506 North THIRD	2741801041005000	Unlawful Deposits	Unlawful deposits. Multiple tires in alley row	8/5/2013			
Garden City	13-001831	508 North THIRD	2741801041004000	Weeds	Overgrown weeds in rear yard & alley row	8/5/2013	8/12/2013		
Garden City	13-001832	1608 North SEVENTH	2730704013004000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/5/2013	8/28/2013		
Garden City	13-001835	103 West PINE	2741801034006000	Unlawful Deposits	TIRES STACKED UP IN CITY ROW	8/5/2013			
Garden City	13-001838	410 EVANS	2741703013003000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/5/2013			
Garden City	13-001840	202 North TENTH	2741803003006000	Weeds	Overgrown weeds on property & in row	8/5/2013	8/26/2013		
Garden City	13-001841	202 North TENTH	2741803003006000	Environmental Yard	Environmental yard- trash/debris, scrap wood	8/5/2013			
Garden City	13-001842	905 North TWELFTH	2741802008009000	Weeds	Overgrown weeds on property	8/5/2013			
Garden City	13-001843	202 & 204 South FIRST	2741804042001000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/5/2013	8/23/2013		
Garden City	13-001845	2410 A	2730701010002000	Dead or Diseased Trees	DEAD/DISEASED TREES ON PROPERTY	8/5/2013			
Garden City	13-001846	1211 North EIGHTH	2730703030001000	Unlawful Deposits	CONCRETE & WOOD IN FRONT OF DUMPSTER	8/5/2013	8/15/2013		
Garden City	13-001847	508 North THIRD	2741801041004000	Environmental Yard	UNLAWFUL DEPOSITS-COUCHES, LOVESEAT, MATTRESS, SCRAP WOOD, COFFEE TABLE IN ALLEY ROW	8/5/2013	8/12/2013		
Garden City	13-001853	2108 East FAIR	2720902015002000	Weeds	Overgrown weeds on property	8/6/2013	8/29/2013		
Garden City	13-001856	2520 North MAIN	2730701003003000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/6/2013			

Garden City	13-001858	1511 North ELEVENTH	2730703005022000	Weeds	Overgrown weeds on property & in row's	8/6/2013	8/12/2013			
Garden City	13-001859	1305 SUMMIT	2611204010012000	Weeds	OVERGROWN WEEDS ON PROPERTY IN ALLEY ROW	8/6/2013	8/13/2013			
Garden City	13-001860	1307 SUMMIT	2611204010013000	Weeds	OVERGROWN WEEDS ON PROPERTY IN ALLEY ROW	8/6/2013	8/13/2013			
Garden City	13-001861	1313 SUMMIT	2611204010016000	Weeds	OVERGROWN WEEDS ON PROPERTY IN ALLEY ROW	8/6/2013	8/13/2013			
Garden City	13-001862	1314 BANCROFT	2611204010006000	Weeds	OVERGROWN WEEDS ON PROPERTY IN ALLEY ROW	8/6/2013	8/13/2013			
Garden City	13-001863	1316 BANCROFT	2611204010005000	Weeds	OVERGROWN WEEDS ON PROPERTY IN ALLEY ROW	8/6/2013	8/13/2013			
Garden City	13-001864	1319 SUMMIT	2611204010018000	Unlawful Deposits	UNLAWFUL DEPOSITS-TREE BRANCHES IN ALLEY ROW	8/6/2013	8/27/2013			
Garden City	13-001865	1505 West OLIVE	2611204005016000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/6/2013	8/13/2013			
Garden City	13-001866	1328 SUMMIT	2611204009003000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/6/2013				
Garden City	13-001867	1311 BANCROFT	2611204011016000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/6/2013	8/20/2013			
Garden City	13-001868	909 East FAIR	2730802012021000	Weeds	UNLAWFUL DEPOSITS- TRASH NEXT TO DUMPSTER	8/6/2013	8/8/2013			
Garden City	13-001869	907 East FAIR	2730802012020000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/6/2013	8/16/2013			
Garden City	13-001875	1201 North THIRD	2730704032018000	Bldg Code Misc	VEHICLES PARKED ON UNIMPROVED SURFACE	8/7/2013	8/27/2013			
Garden City	13-001876	1201 North THIRD	2730704032018000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/7/2013	8/13/2013			
Garden City	13-001877	1107 North THIRD	2730704032013000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/7/2013	9/3/2013			
Garden City	13-001878	1109 North THIRD	2730704032014000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/7/2013	8/13/2013			
Garden City	13-001879	1108 North FIFTH	2730704032010000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/7/2013	8/13/2013			
Garden City	13-001880	1108 North FIFTH	2730704032010000	Unlawful Deposits	UNLAWFUL DEPOSITS-MATTRESS & BOXSPRING IN ALLEY ROW	8/7/2013	8/13/2013			
Garden City	13-001881	1205 North THIRD	2730704032020000	Weeds	OVERGROWN WEEDS ON PROPRTY & IN ALLEY ROW	8/7/2013	8/27/2013			
Garden City	13-001882	1110 North FIFTH	2730704032009000	Weeds	OVERGROWN WEEDS ON PROPRTY & IN ALLEY ROW	8/7/2013				
Garden City	13-001883	2809 & 2811 ELDORADO	2730503003008010	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/7/2013	8/19/2013			
Garden City	13-001884	2801 ELDORADO	2730503003008020	Unlawful Deposits	UNLAWFUL DEPOSITS- MATTRESS IN ALLEY ROW	8/7/2013	8/19/2013			
Garden City	13-001885	503 West EMERSON	2730702001010000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/7/2013	8/12/2013			
Garden City	13-001886	2501 North EIGHTH	2730702001011000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/7/2013	8/12/2013			
Garden City	13-001887	513 West EMERSON	2730702001007000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/7/2013	8/12/2013			
Garden City	13-001890	1103 East PINE	2741703005004000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/7/2013	8/28/2013			
Garden City	13-001891	411 WASHINGTON	2741703011001000	Weeds	OVERGROWN WEEDS ON PROPERTY AND IN RIGHT-OF-WAYS	8/7/2013	9/5/2013			
Garden City	13-001892	623 West OLIVE	2730703008021000	Weeds	OVERGROWN WEEDS ON PROPERTY AND IN RIGHT-OF-WAYS	8/7/2013	9/19/2013			
Garden City	13-001901	406 East KANSAS	2741801002002000	Weeds	OVERGROWN WEEDS IN RIGHT-OF-WAYS	8/8/2013	8/13/2013			
Garden City	13-001902	603 HARDING	2730803015011000	Unlawful Deposits	UNLAWFUL DEPOSITS- SCRAP WOOD, TREE BRANCHES, CARPET & TRASH IN ALLEY ROW	8/8/2013	8/20/2013			
Garden City	13-001912	1008 North SIXTH	2741801004004000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/9/2013				
Garden City	13-001913	1008 North SIXTH	2741801004004000	Unlawful Deposits	UNLAWFUL DEPOSITS-TIRES IN ALLEY ROW	8/9/2013				
Garden City	13-001914	1007 North FIFTH	2741801004011000	Unlawful Deposits	UNLAWFUL DEPOSITS-SCRAP WOOD & TREE BRANCHES IN ALLEY ROW	8/9/2013				
Garden City	13-001915	1007 North FIFTH	2741801004011000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/9/2013				
Garden City	13-001916	1009 North FIFTH	2741801004012000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/9/2013				
Garden City	13-001917	2505 B STREET	2730701006035000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/9/2013	8/29/2013			
Garden City	13-001921	707 & 709 East SANTA FE	2741804029002000	Weeds	OVERGROWN WEEDS ON PROPERTY & ALLEY RIGHT-OF-WAY	8/9/2013	9/3/2013			

Garden City	13-001922	609 East SANTA FE	2741804030002000	Weeds	OVERGROWN WEEDS ON PROPERTY & ALLEY RIGHT-OF-WAY	8/9/2013	8/23/2013			
Garden City	13-001929	604 East EDWARDS	2730803015008000	Dead or Diseased Trees	DEAD/DISEASED TREES ON PROPERTY	8/12/2013	9/24/2013			
Garden City	13-001930	1707 PINECREST	2730803004015000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/12/2013	9/3/2013			
Garden City	13-001931	2808 TERRACE	2730503003012000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/12/2013	8/27/2013			
Garden City	13-001932	706 SARAH	2751601006009000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/12/2013	8/15/2013			
Garden City	13-001934	2506 B	2730701005007000	Commercial Truck	ILLEGAL PARKING OF COMMERCIAL SEMI-TRUCK IN RESIDENTIAL AREA	8/12/2013	8/29/2013			
Garden City	13-001935	1203 KINGSBURY	2730802002005000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/12/2013	8/16/2013			
Garden City	13-001937	1203 KINGSBURY	2730802002005000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/12/2013				
Garden City	13-001940	2860 SCHULMAN	2751601001001060	Weeds	OVERGROWN WEEDS ON PROPERTY & IN STREET ROW	8/12/2013				
Garden City	13-001941	1602 North ELEVENTH	2730703007005000	Dead or Diseased Trees	DEAD/DISEASED TREE ON PROPERTY	8/12/2013				9/27/2013
Garden City	13-001942	506 West PROSPECT	2730603007001010	Unlawful Deposits	MATTRESS & LOVESEAT IN ALLEY ROW	8/12/2013			8/30/2013	
Garden City	13-001943	802 SUMMIT	2661301013009000	Vehicles	INOPERABLE/UNTAGGED VEHICLES IN REAR YARD	8/12/2013				
Garden City	13-001944	201 South THIRTEENTH	2741803020001000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/12/2013	8/30/2013			
Garden City	13-001948	LAREU RD LOT 1, BLK 2, SCHULMAN CROSSING-844	2720900004001000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/13/2013	8/26/2013			
Garden City	13-001954	1205 North THIRD	2730704032020000	Environmental Yard	ENVIRONMENTAL YARD-TIRES IN REAR YARD FULL OF TRASH	8/13/2013	9/11/2013			
Garden City	13-001966	1636 CONKLING	2611204007002000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROW'S	8/13/2013	8/27/2013			
Garden City	13-001981	1621 SUMMIT	2611204005024000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/13/2013	8/30/2013			
Garden City	13-001982	1403 WALLACE	2661301013010000	Vehicles	INOPERABLE VEHICLE- GOLD DODGE DYNASTY	8/13/2013	9/3/2013			
Garden City	13-002007	609 SUSAN	2751601002005000	Weeds	OVERGROWN WEEDS ON PROPERTY & ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002008	613 SUSAN	2751601002004000	Weeds	OVERGROWN WEEDS ON PROPERTY & ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002009	617 SUSAN	2751601002003000	Weeds	OVERGROWN WEEDS ON PROPERTY & ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002010	3111 East SPRUCE	2751601001003010	Weeds	OVERGROWN WEEDS ON PROPERTY	8/15/2013	8/20/2013			
Garden City	13-002011	0 East SPRUCE	2751604001002010	Weeds	OVERGROWN WEEDS ON PROPERTY	8/15/2013	9/6/2013			
Garden City	13-002015	1313 BANCROFT	2611204011017000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002016	1615 BUFFALO JONES	2611204011013000	Weeds	OVERGROWN WEEDS IN ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002017	1315 BANCROFT	2611204011018000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	9/4/2013			
Garden City	13-002018	1319 BANCROFT	2611204011020000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	9/11/2013			
Garden City	13-002019	1327 BANCROFT	2611204011021000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	9/4/2013			
Garden City	13-002020	1604 West OLIVE	2611204011001000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	8/20/2013			
Garden City	13-002021	1606 West OLIVE	2611204011002000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ALLEY ROW	8/15/2013	9/11/2013			
Garden City	13-002026	2112 North MAIN	2730701028002000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/16/2013	9/9/2013			
Garden City	13-002027	760 INDUSTRIAL	2751500008003050	Commercial Truck	COMMERCIAL SEMI-TRUCKS IN RESIDENTIALLY ZONED AREA	8/16/2013				
Garden City	13-002030	1901 North ELEVENTH	2730702003001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013	8/29/2013			
Garden City	13-002031	2506 North HWY 83	2730702002003000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013				
Garden City	13-002032	2521 JOHN	2730702002001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013	8/29/2013			
Garden City	13-002035	205 South ELEVENTH	2741803022010000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013	9/3/2013			

Garden City	13-002036	610 West MAPLE	2741803028015010	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013				
Garden City	13-002037	110 West MAPLE	2741803027002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013	9/10/2013			
Garden City	13-002038	811 East CHESTNUT	2741703021006000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/16/2013	9/3/2013			
Garden City	13-002040	302 BALLINGER	2741703017008000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROWS	8/16/2013	8/20/2013			
Garden City	13-002048	1301 NEW YORK	2661301032008000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROWS	8/19/2013	8/23/2013			
Garden City	13-002049	1305 NEW YORK	2661301032008000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROWS	8/19/2013				
Garden City	13-002050	511 PENNSYLVANIA	2661301035001000	Unlawful Deposits	UNLAWFUL DEPOSITS- COUCH & MATTRESSES IN ALLEY ROW	8/19/2013				
Garden City	13-002051	2301 North ELEVENTH	2730702004003010	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/19/2013	8/27/2013			
Garden City	13-002052	707 North TAYLOR	2661301016012000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/19/2013	8/26/2013			
Garden City	13-002056	1207 East CHESTNUT	2741703017010000		OVERGROWN WEEDS ON PROPERTY & IN ROWS	8/20/2013	8/23/2013			
Garden City	13-002057	801 East FULTON	2741703024004000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN ROWS	8/20/2013	9/5/2013			
Garden City	13-002063	1303 North MAIN	2730704028008000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/20/2013	9/18/2013			
Garden City	13-002065	2015 North SEVENTH	2730701033001000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/21/2013	8/27/2013			
Garden City	13-002066	212 East PRICE	2730701029001000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/21/2013				
Garden City	13-002067	201, 203, 205 West FAIR	2730701020011000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/21/2013	9/9/2013			
Garden City	13-002069	711 IDA	2661301023001000	Weeds	ENVIRONMENTAL YARD-MATTRESS ON PROPERTY	8/21/2013	9/27/2013	8/21/2013		
Garden City	13-002070	501 North SECOND	2741801041010000	Unlawful Deposits	TREE LIMBS NEXT TO DUMPSTER	8/21/2013				
Garden City	13-002072	707 North THIRD	2741801026011000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/21/2013	8/23/2013			
Garden City	13-002073	406 North SEVENTH	2741801042003010	Unlawful Deposits	UNLAWFUL DEPOSIT-MATTRESS ON PROPERTY	8/21/2013	9/4/2013	8/28/2013		
Garden City	13-002074	201 West FAIR	2730701020011000	Vehicles	INOPERABLE VEHICLE- GOLD PONTIAC GRAND AM	8/21/2013				9/9/2013
Garden City	13-002075	1501 North MAIN	2730704021007000	Weeds	OVERGROWN WEEDS ON PROPERTY	8/21/2013				
Garden City	13-002082	100 South MAIN	2630702013004000		TREES IN STREET ROW OBSTRUCTING VISION TRIANGLE	8/22/2013				
Garden City	13-002086	101 VERNA	2630800002014000		TREES ON PRIVATE PROPERTY OBSTRUCTING VISION TRIANGLE	8/22/2013				
Garden City	13-002087	900 LAURA	2630704001002040		TREES IN STREET ROW OBSTRUCTING VISION TRIANGLE	8/22/2013				
Garden City	13-002088	201 South MAIN	2630702019001000		TREES IN STREET ROW OBSTRUCTING VISION TRIANGLE	8/22/2013				
Garden City	13-002089	101 REDFORD	2630702020002000	Sign	ILLEGAL SIGN OFF-SITE SIGN IN STREET ROW	8/22/2013				
Garden City	13-002092	1305 NEW YORK	2661301032008000	Vehicles	INOPERABLE/UNTAGGED VEHICLES- BLUE FORD RANGER PICKUP & BLUE BUICK SEDAN	8/23/2013				9/6/2013
Garden City	13-002093	1305 NEW YORK	2661301032008000	Environmental Yard	ENVIRONMENTAL YARD- TRASH, KIDS TOYS, BICYCLES, PLASTIC CONTAINERS, DRESSER, KITCHEN CHAIR, COOLERS, CLOTHES DRYER, SCRAP WOOD SCATTERED ON PROPERTY	8/23/2013			9/6/2013	
Garden City	13-002094	1309 West FULTON	2661301037014000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/23/2013	9/5/2013			
Garden City	13-002096	602 West MAPLE	2741803028014000	Work w/o Permit	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/23/2013	9/6/2013			
Garden City	13-002098	607 East SANTA FE	2741804030004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/23/2013				

Garden City	13-002105	2003 MOHAWK	2720902021008000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/26/2013			
Garden City	13-002108	623 West OLIVE	2730703008021000	Dead or Diseased Trees	DEAD/ DISEASED TREES ON PROPERTY	8/26/2013			9/27/2013
Garden City	13-002112	705 North TAYLOR	2661301016011000	Weeds	OVERGROWN WEEDS ON PROPERTY & IN REAR YARD	8/26/2013	9/11/2013		
Garden City	13-002116	2010 North MAIN	2730701033003000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/26/2013	8/30/2013		
Garden City	13-002117	2008 North MAIN	2730701033004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/26/2013			
Garden City	13-002127	2005 A	2730701025014000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/27/2013			
Garden City	13-002128	2007 A	2730701025015000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/27/2013	9/3/2013		
Garden City	13-002129	2108 North MAIN	2730701028003000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/27/2013	9/3/2013		
Garden City	13-002130	2108 North MAIN	2730701028003000	Unlawful Deposits	UNLAWFUL DEPOSITS- COUCH, LOVESEAT & DESK IN ALLEY ROW	8/27/2013	9/18/2013		
Garden City	13-002131	2106 North MAIN	2730701028004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/27/2013	9/3/2013		
Garden City	13-002132	2102 North MAIN	2730701028006000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/27/2013	9/3/2013		
Garden City	13-002135	1606 North THIRD	2730803015009000	Dead or Diseased Trees	DEAD/DISEASED TREES ON PROPERTY	8/28/2013	10/1/2013		
Garden City	13-002138	1007 North THIRD	2741801001014000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/11/2013		
Garden City	13-002139	1212 North TENTH	2730703028002000	Unlawful Deposits	UNLAWFUL DEPOSITS-TV, TREE BRANCHES & WOOD PALLET BY DUMPSTER IN ALLEY ROW	8/28/2013			
Garden City	13-002140	311 ALBERT	2730704019009000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	8/30/2013		
Garden City	13-002141	1603 North SIXTH	2730704013009000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/18/2013		
Garden City	13-002142	1002 & 1004 BANCROFT	2661301003005000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/11/2013		
Garden City	13-002143	809 BANCROFT	2661301011017000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/27/2013		
Garden City	13-002144	411 WASHINGTON	2741703011001000	Vehicles	INOPERABLE VEHICLES-RUST OLDSMOBILE CUTLASS & BLUE SUV	8/28/2013			
Garden City	13-002145	2229 CENTER	2730802010026000	Vehicles	WEEDS EXCEEDING 12 INCHES HIGH ALONG THE ALLEY RIGHT-OF-WAY	8/28/2013			
Garden City	13-002147	LOT 15 WESTPORT	2751601011002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/18/2013		
Garden City	13-002148	LOT 14 WESTPORT	2751601011001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/18/2013		
Garden City	13-002149	S16-T24-R32 SCHULMAN	2751601013008000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013			
Garden City	13-002150	1029 & 1030 SMOKEY HILL	2751601009001000 & 2751601008001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/18/2013		
Garden City	13-002151	1009 THRU 1030 CORONADO STREET		Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013			

Garden City	13-002152	3150 SCHULMAN	2751601013002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013	9/9/2013		
Garden City	13-002154	811 HAROLD	2751602004010000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/28/2013			10/1/2013
Garden City	13-002155	931 THRU 1030 OVERLAND		Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013			
Garden City	13-002156	3404 THRU 3408 OREGON		Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013			
Garden City	13-002158	408 DAVIS	2741703002007000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013			
Garden City	13-002163	714 SUMMIT	2661301018002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013	9/5/2013		
Garden City	13-002164	911 CONKLING	2661301013001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013	9/3/2013		
Garden City	13-002165	1510 West KANSAS	2661301003002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013	9/6/2013		
Garden City	13-002166	1005 SUMMIT	2661301003007000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013			
Garden City	13-002167	1502 & 1506 West KANSAS	2661301003001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013			
Garden City	13-002168	1502 & 1506 West KANSAS	2661301003001000	Weeds	INOPERABLE/UNTAGGED VEHICLES- TURQUOISE FORD CROWN VICTORIA, RED PONTIAC GRAND AM, WHITE FORD MUSTANG	8/29/2013			
Garden City	13-002169	1002 & 1004 BANCROFT	2661301003005000	Vehicles	INOPERABLE/UNTAGGED VEHICLES- GOLD FORD ESCORT	8/29/2013	9/11/2013		
Garden City	13-002170	801 West CAMPBELL	2730703001009000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013	9/19/2013		
Garden City	13-002171	707 West CAMPBELL	2730703001006000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/29/2013	9/19/2013		
Garden City	13-002173	2203 CHEROKEE	2720902002029000	Vehicles	INOPERABLE/UNTAGGED VEHICLE	8/29/2013			
Garden City	13-002184	1010 North SEVENTH	2741801006006000		6FT BRICK & IRON FENCE	8/30/2013			
Garden City	13-002191	2004 MOHAWK	2720902021010000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN IN ALLEY ROW	8/30/2013	10/1/2013		
Garden City	13-002192	2229 CENTER	2730802010026000	Environmental Yard	ENVIRONMENTAL YARD- TREE BRANCHES/LIMBS PILED ON PROPERTY	8/30/2013			
Garden City	13-002194	411 North FIRST	2741703010001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013	9/6/2013		
Garden City	13-002195	805 CONKLING	2661301013011000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013	9/11/2013		
Garden City	13-002196	901 CONKLING	2661301013012000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013	9/27/2013		
Garden City	13-002197	1005 CONKLING	2661301002007000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013			
Garden City	13-002200	1010 SUMMIT	2661301002002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013			
Garden City	13-002207	2116 B	2730701020005000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013	9/11/2013		
Garden City	13-002208	2113 A	2730701020016000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/3/2013			

Garden City	13-002213	2007 BELMONT	2730802017010000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN IN THE REAR YARD AND ALONG ALLEY RIGHT-OF-WAY	9/4/2013	9/11/2013			
Garden City	13-002219	2617 CARRIAGE	2730503007022000	Weeds	OVERGROWN WEEDS ON PROPERTY	9/4/2013	9/24/2013			
Garden City	13-002221	630 West OLIVE	2730703015013000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/4/2013	9/27/2013			
Garden City	13-002222	1508 ST JOHN	2661301039004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/4/2013	9/27/2013			
Garden City	13-002224	149 SHAMROCK	2751603003017000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/4/2013	9/24/2013			
Garden City	13-002229	1604 North SEVENTH	2730704013006000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	8/23/2013	9/18/2013			
Garden City	13-002232	2011 BELMONT	2730802017011000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002233	2015 BELMONT	2730802017001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002236	704 West HAMLIN	2730702012016000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/19/2013			
Garden City	13-002237	2702 C STREET	2730604007005000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002239	1502 ST JOHN	2661301039001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002240	215 SPENCER	2661301039021000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002241	217 SPENCER	2661301039022000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/11/2013			
Garden City	13-002242	215 WESLEY	2661301040002000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/18/2013			
Garden City	13-002243	2708 C	2730604007004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013				
Garden City	13-002244	408 FLORENCE	2730604006004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/5/2013	9/19/2013			
Garden City	13-002253	302 North SECOND	2741804013004000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/6/2013	9/24/2013			
Garden City	13-002254	302 North SECOND	2741804013004000	Environmental Yard	ENVIRONMENTAL YARD- SCRAP WOOD, CONSTRUCTION MATERIAL, MISC.	9/6/2013	9/24/2013			
Garden City	13-002262	801 North FIRST	2741702022006000	Dead or Diseased Trees	FURNITURE TRASH/DEBRIS ON PROPERTY	9/6/2013				
Garden City	13-002263	1112 HARDING	2730803021004000	Dead or Diseased Trees	DEAD/DISEASED TREE IN REAR YARD	9/6/2013				
Garden City	13-002264	1806 A	2730704003003000	Environmental Yard	DEAD/DISEASED TREES ON PROPERTY	9/6/2013				
Garden City	13-002265	1806 A	2730704003003000	Weeds	ENVIRONMENTAL YARD- CONSTRUCTION MATERIAL, SCRAP WOOD & IRON, REFRIGERATORS, AIRCONDITIONERS, PLASTIC TUBS & CONTAINERS, JUNK/DEBRIS THROUGHOUT REAR YARD	9/6/2013				
Garden City	13-002266	1806 A	2730704003003000	Unlawful Deposits	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/6/2013				
Garden City	13-002266	1806 A	2730704003003000	Unlawful Deposits	UNLAWFUL DEPOSITS- COUCH IN ALLEY ROW	9/6/2013				

Garden City	13-002267	2502 East SPRUCE	2751603001001000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS. VACANT LOT. SEND LETTER.	9/9/2013	10/1/2013			
Garden City	13-002269	202 COLLEGE	2741704015004000		REZONING APPLICATION & COMP PLAN CHANGE-202 COLLEGE STREET	9/9/2013				
Garden City	13-002273	2322 North SEVENTH	2730701013003000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS	9/9/2013				
Garden City	13-002280	2619 North TENTH	2730603008012000	Weeds	WEEDS EXCEEDING 12 INCHES HIGH AND OVERGROWN ON THE PROPERTY AND ALONG THE RIGHT-OF-WAYS.	9/9/2013	9/27/2013			
Garden City	13-002293	1006 BANCROFT	2661301003003000	Weeds	WEEDS EXCEEDING 12 INCHES IN REAR YARD	9/11/2013	9/27/2013			
Garden City	13-002295	1008 SUMMIT	2661301002003000	Weeds	WEEDS EXCEEDING 12 INCHES IN REAR YARD & ALLEY ROW	9/11/2013	9/19/2013			
Garden City	13-002296	411 North SECOND	2741804002001000	Vehicles	INOPERABLE AND/OR VEHICLES	9/11/2013				
Garden City	13-002358	2702 SHAMUS	2730503003030000	Weeds	GRASS EXCEEDING 12 INCHES TALL ON SOUTH SIDE OF HOUSE	9/19/2013	10/1/2013			
Garden City	13-002388	2315 North SEVENTH	2730701012018000	Weeds	WEEDS EXCEEDING 12 INCHES IN REAR YARD & ALLEY ROW	9/24/2013				
Garden City	13-002391	1608 JULIE	2611201005004000	Weeds	WEEDS EXCEEDING 12 INCHES IN HEIGHT	9/25/2013	9/26/2013			
Garden City	13-002392	2010 SUNFLOWER	2730801011011000	Weeds	WEEDS EXCEEDING 12 INCHES IN HEIGHT	9/25/2013				
Garden City	13-002411	314 North THIRTEENTH	2741802028004000	Unlawful Deposits	UNLAWFUL DEPOSITS- MATTRESS & KITCHEN CABINETS NEXT TO DUMPSTER IN ALLEY	9/27/2013				
Garden City	13-002414	1502 KINGSBURY	2730801017002000		LOW HANGING TREE BRANCHES IN ALLEY ROW	9/27/2013				

GARDEN CITY POLICE DEPARTMENT
MASTER ACTIVITY REPORT
 September of 2013
INCIDENTS REPORTED

OFFENSES	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Murder/Manslaughter	0	0	0
Rape	0	0	11
Robbery	0	0	10
Aggravated Assault	3	4	37
Burglary	15	15	86
Theft	51	56	437
Auto Theft	0	0	6
Arson	0	0	5
TOTAL	69	75	592
All Other Crimes	115	128	1202
GRAND TOTAL	184	203	1794

CRIMINAL ENFORCEMENT ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Adult Arrests	182	240	1946
Juveniles Detained	18	31	348
TOTAL CUSTODY	200	271	2294
Alcohol Related	21	18	187
Drug Related	22	25	243
Curfew Violations	7	9	66

INVESTIGATIONS DIVISION ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Total Cases Assigned	19	33	281
Total Active Cases	132	127	1234
Adult Affidavits Filed	17	12	162
Juvenile Affidavits Filed	0	3	24
Follow-Up Contacts	646	964	7066
Special Assignments	27	50	351
Search Warrants	10	4	88
Supplemental Reports	177	256	2067
Other Reports	192	275	2047
Cases Referred For Prosecution	21	17	117

TRAFFIC ACCIDENT INVESTIGATIONS

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Fatal Accidents	0	1	1
Injury Accidents	7	7	53
Non-Injury Accidents	62	43	465
TOTAL ACCIDENTS	69	51	519
Private Property Accidents	7	3	35

**GARDEN CITY POLICE DEPARTMENT
MASTER ACTIVITY REPORT
September of 2013**

OFFICERS ASSAULTED

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Firearm	0	0	0
Cutting Instrument	0	0	0
Other Dangerous Weapon	0	0	3
Hands, Fist, Feet, Etc.	2	4	11
Police Service Dog	0	0	1
TOTAL ASSAULTS	2	4	15

PATROL/CRD DIVISIONS SUMMARY

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Offense Reports	200	230	1919
Supplemental Reports	66	104	855
Other Reports	87	134	983
Community Oriented Policing	222	266	2275
Speeding Citations	25	12	420
Other Traffic Citations	234	304	3883
Parking Citations	14	9	124
Warning Notices	362	355	4092
Penal Summons	43	63	557
Felony Cases Cleared	12	19	184
Misdemeanor Cases Cleared	98	134	1081
DUI Cases Cleared	10	13	74
Insecure Premises	9	9	85
Field Interviews	13	11	82
Citizen & Business Assists	122	120	1106
Alarms	83	84	693
Adult Affidavits Filed	19	16	250
Juvenile Affidavits Filed	25	22	236

COMMUNICATIONS CENTER ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Non-Traffic Activities	2537	2685	24203
Traffic Activities	555	614	7514
TOTAL ACTIVITIES	3092	3299	31717
911 Calls	1492	1555	13311
Finney County Sheriff's Office Activities	417	486	3958

**GARDEN CITY POLICE DEPARTMENT
MASTER ACTIVITY REPORT
September of 2013**

RESPONSE TIME SUMMARY

DESCRIPTION	THIS MONTH
Average Emergency	3.23
Average Non-Emergency	10.53
Average Traffic Accident	10.30

ANIMAL INCIDENT ACTIVITIES

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Animals Impounded	158	145	1457
Animals Disposed	69	54	585
Citations Issued	3	1	17
Animal Bites	9	0	39
Adoptions	28	23	249

TRAINING HOURS RECEIVED

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Administrative	43.50	1.00	261.00
Patrol/CRD Division	248.50	437.00	3954.75
Support Services Division	50.50	51.70	389.70
Investigation Division	30.00	31.50	440.50
Instructor Hours	45.00	82.50	551.50
SUB-TOTAL TRAINING HRS	417.50	603.70	5598.45
Academy Training Hours	352.00	40.00	504.00
TOTAL TRAINING HOURS	769.50	643.70	6102.45

ADMINISTRATIVE INVESTIGATIONS

DESCRIPTION	THIS MONTH	LAST MONTH	TO DATE THIS YEAR
Allegations Received	3	0	11
Unfounded	0	1	3
Unsubstantiated	0	0	0
Sustained	0	1	3
Exonerated	0	0	2
Violation Not Based On Complaint	0	0	0
Investigation In Progress	3	0	12
Administrative Closure	0	0	0
Commendations	3	2	21

Bias-Based Policing Statistics

October 2012

	September #	September %	October #	October %
SUBJECTS CONTACTED:	263	N/A	724	N/A
AGE:				
15 yoa - 19 yoa	48	18%		0%
20 yoa - 29 yoa	77	29%		0%
30 yoa - 49 yoa	97	37%		0%
50+	41	16%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%
RACE:				
White	248	94%		0%
Black	10	4%		0%
Native American	0	0%		0%
Asian	4	2%		0%
Other	0	0%		0%
More Than One Race	0	0%		0%
Not Provided/Unknown	1	0%		0%
<i>TOTAL</i>	263	100%	0	0%
GENDER:				
Male	187	71%		0%
Female	76	29%		0%
Unknown	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%
ETHNICITY:				
Hispanic/Latino	157	60%		0%
Non-Hispanic	105	40%		0%
Not Provided	1	0%		0%
<i>TOTAL</i>	263	100%	0	0%
RESPONSE AREA:				
1	62	24%		0%
2	47	18%		0%
3	46	17%		0%
4	73	28%		0%
5	35	13%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%
PRIMARY REASON FOR OFFICER INVESTIGATION:				
Call Related	35	13%		0%
Officer Initiated	228	87%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%

Bias-Based Policing Statistics

October 2012

INFORMATION OBTAINED BY:

Officer's Perception	231	88%		0%
Investigation	32	12%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	<i>0</i>	0%

RELIGIOUS DRESS:

Yes	0	0%		0%
No	263	100%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	<i>0</i>	0%

PRIMARY REASON FOR STOP:

Moving Violation	181	69%		0%
Equipment Violation	59	22%		0%
Criminal Offense/Probable Cause	7	3%		0%
Other Violation	13	5%		0%
To Render Service	2	1%		0%
Suspicious Circumstances	1	0%		0%
Pre-existing Knowledge	0	0%		0%
Special Detail	0	0%		0%
Multiple Reasons	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	<i>0</i>	0%

ACTION TAKEN:

Citation	151	57%		0%
Search	0	0%		0%
Warning	89	34%		0%
Arrest	23	9%		0%
Warrant Arrest	0	0%		0%
Assistance Provided	0	0%		0%
No Action	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	<i>0</i>	0%

SEARCH RATIONALE:

Not Applicable	253	96%		0%
Vehicle Indicators	1	0%		0%
Verbal Indicators	0	0%		0%
Physical/Visual Indicators	5	2%		0%
Document Indicators	0	0%		0%
Incident to Arrest	3	1%		0%
Other	1	0%		0%
More Than One Reason	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	<i>0</i>	0%

Bias-Based Policing Statistics

October 2012

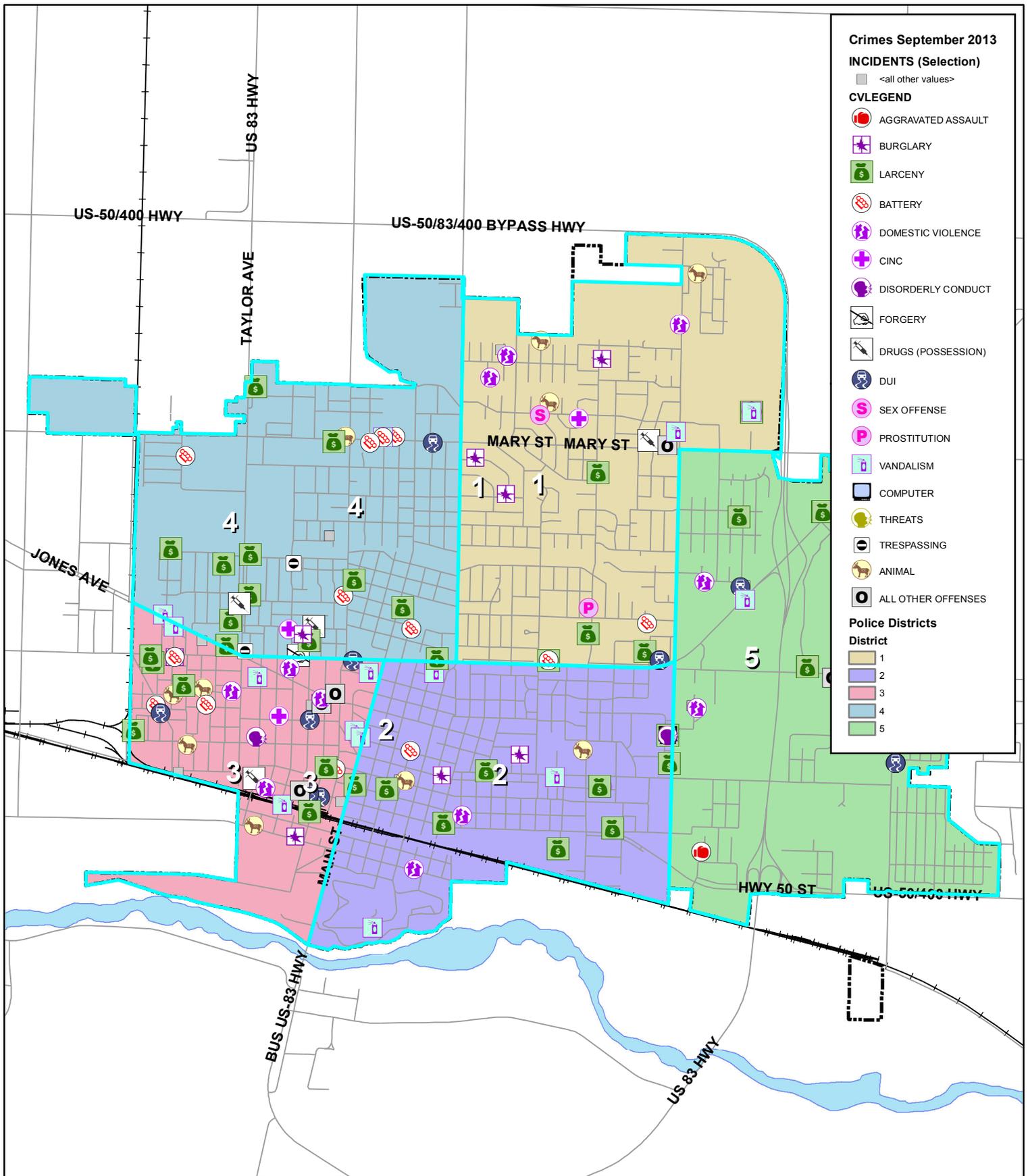
TYPE OF SEARCH:

No Search Conducted	251	95%		0%
Consent Search Conducted	1	0%		0%
Inventory	0	0%		0%
Stop and Frisk	0	0%		0%
Search Warrant	0	0%		0%
No Search/Consent Denied	0	0%		0%
Search Incident to Arrest	8	3%		0%
Plain View	2	1%		0%
Probable Cause	1	0%		0%
More Than One Type	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%

CONTRABAND SEIZED:

None	257	98%		0%
Currency	0	0%		0%
Firearms	0	0%		0%
Other Weapons	0	0%		0%
Drugs/Paraphernalia	2	1%		0%
Alcohol/Tobacco Products	4	2%		0%
Stolen Property	0	0%		0%
Other	0	0%		0%
More Than One Type	0	0%		0%
Not Provided	0	0%		0%
<i>TOTAL</i>	263	100%	0	0%

Hispanic	Arrests	18	11%	#DIV/0!
	Citations	100	64%	#DIV/0!
	Warnings	39	25%	#DIV/0!
Non-Hispanic	Arrests	5	5%	#DIV/0!
	Citations	51	49%	#DIV/0!
	Warnings	49	47%	#DIV/0!



Crimes September 2013

INCIDENTS (Selection)

■ <all other values>

CVLEND

-  AGGRAVATED ASSAULT
-  BURGLARY
-  LARCENY
-  BATTERY
-  DOMESTIC VIOLENCE
-  CINC
-  DISORDERLY CONDUCT
-  FORGERY
-  DRUGS (POSSESSION)
-  DUI
-  SEX OFFENSE
-  PROSTITUTION
-  VANDALISM
-  COMPUTER
-  THREATS
-  TRESPASSING
-  ANIMAL
-  ALL OTHER OFFENSES

Police Districts

District

-  1
-  2
-  3
-  4
-  5



Garden City PD

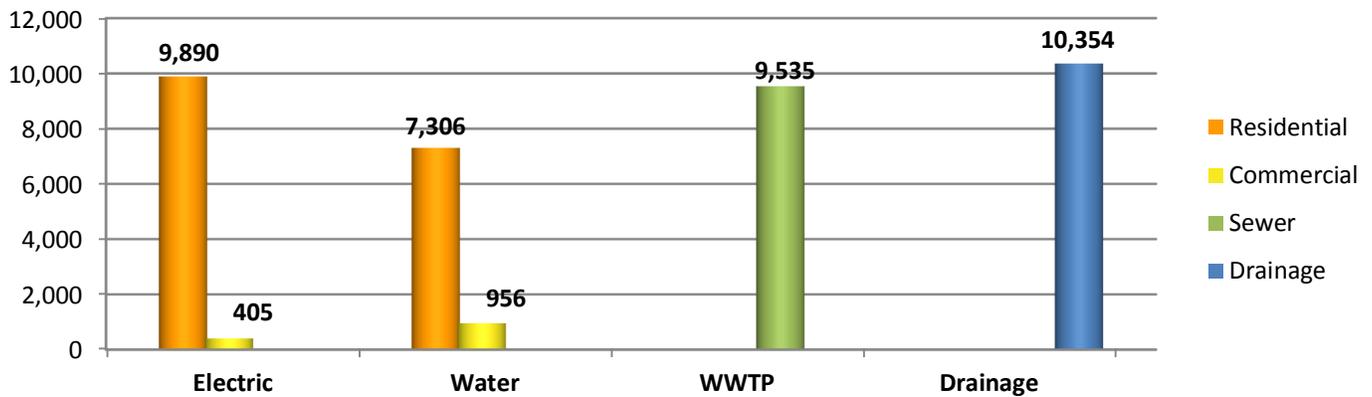
This agency is not responsible for the misinterpretation of this map and makes no inference or judgment as to the relative safety of particular areas. This map does not meet national map accuracy standards and should not be used for engineering purposes.



JULY – SEPTEMBER 2013

Service • Community • Performance

ACTIVE ACCOUNTS BY CLASS (Quarterly Average)



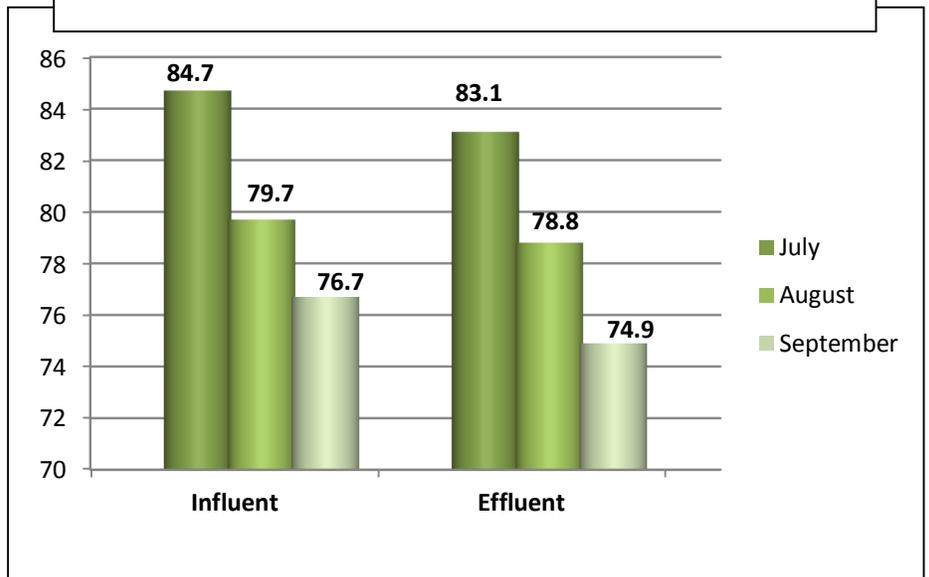
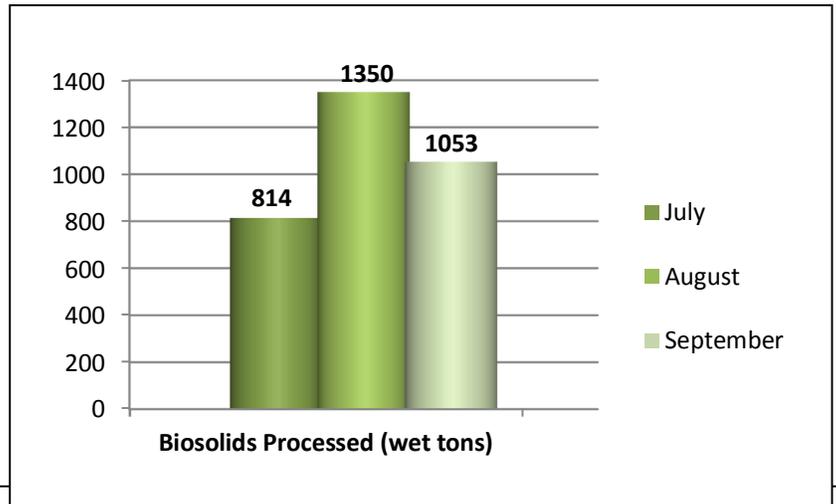
WASTE WATER



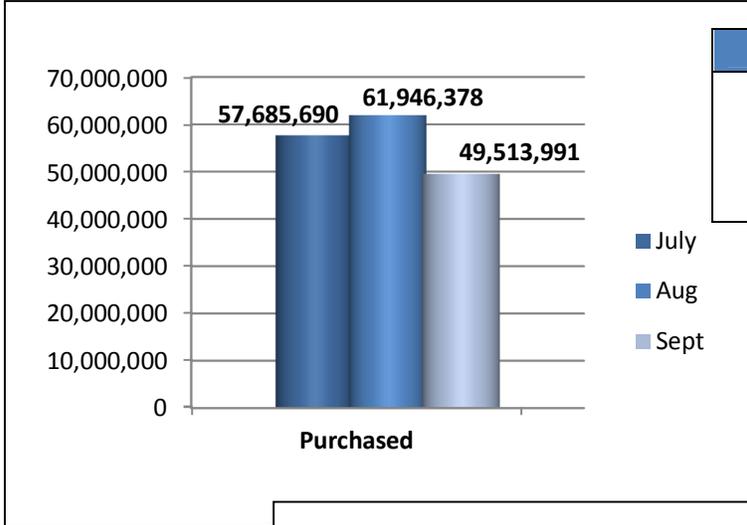
Major Project Updates

- ▣ The Electric Department started work on Substation 11 located north of the Wastewater Treatment Plant. The substation is scheduled to be completed by year end.

- ▣ In late August and early September, Mayer Specialty Services started their annual manhole rehabilitation project rehabbing twenty-three manholes in two weeks. The finish coat will be applied to the manholes in October.

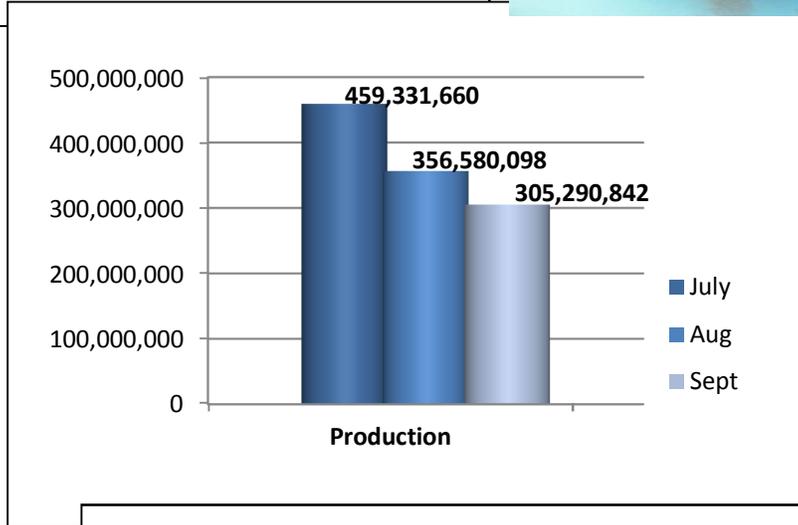


WATER



Month	Leak Detection	Main Repairs
July	53	1
Aug	19	0
Sept	19	0

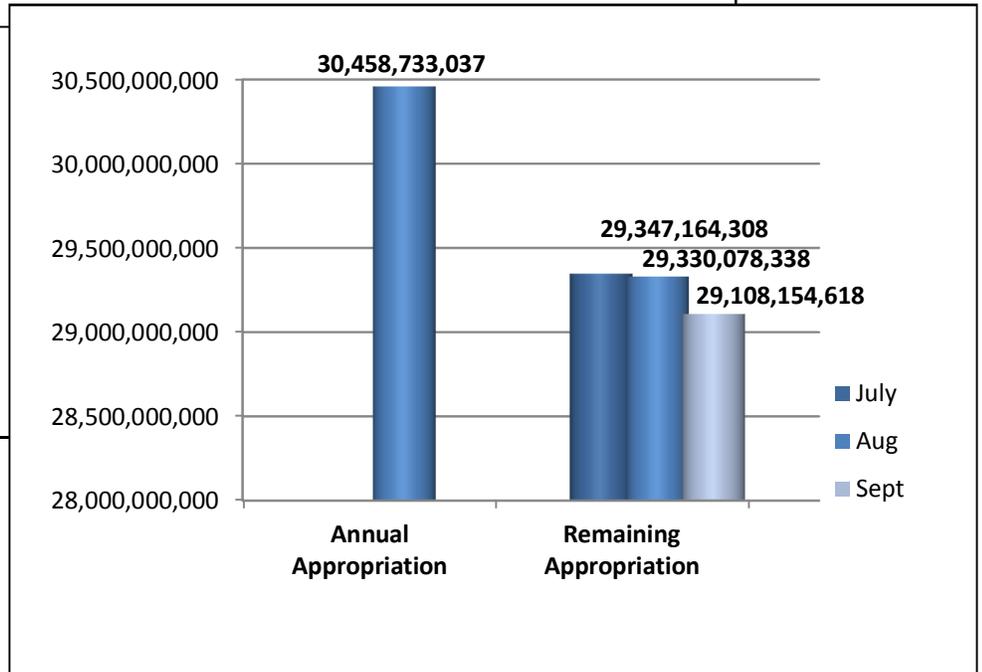
Looking down the inside of a joint of 8" C900 Pipe



Major Project Updates

- The cast iron cleaning project had great results scrubbing clean the test line beside Kansas Avenue. We are moving forward to clean out lines between Kansas Avenue down to Hackberry St and from Center St over to 3rd St.
- We have extended two 8" water mains on LaRue Road to accommodate the new development coming in.

Peak Day Usage Per Month	MGD
July 20	13,450,000
August 31	12,609,770
September 10	11,917,910



ELECTRIC



Setting Switch Gear cabinet at Substation #10.

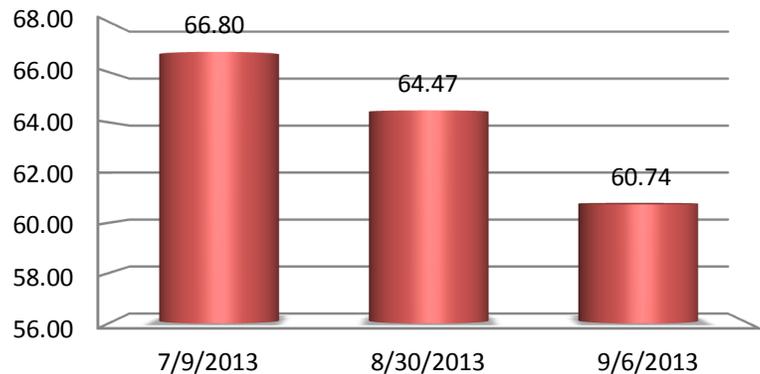
Major Project Updates

- 💡 Pulled in wire and installed services for new Pioneer Estates Addition.
- 💡 Rerouted underground wire for new businesses on LaRue.
- 💡 Installed street lighting on College Drive, pulled primary and energized the new Sleep Inn.
- 💡 Completed CIP B-2 (transformer and underground primary upgrade behind the 2000 Block of 9th and 10th, 10th and 11th and the 600, 700 and 800 Block of W. Hamline).
- 💡 Built pole line south of Highway 50 to the new Jameson Energy Center (JEC).
- 💡 Installed transformer, underground wire and service for new GCCC football field.
- 💡 Completed CIP E-5 (upgrade transformers and primary underground in the 1600 Block between Bluff and Fair).
- 💡 Electricomm began construction of Substation #10
- 💡 Transformer pad, containment wall and fence were installed at new Substation #11; and transformer was brought in.
- 💡 Phase II of the SCADA Project began with the installation of equipment in Substation #6.

Outage Data

- 💡 On 7/31/13 severe weather caused breaker 303 to operate one time. Approximately 685 meters were affected.
- 💡 On 8/18/13 breakers 605 and 705 had multiple operations due to the loss of the 34.5kv during switching. Approximately 567 people were affected.

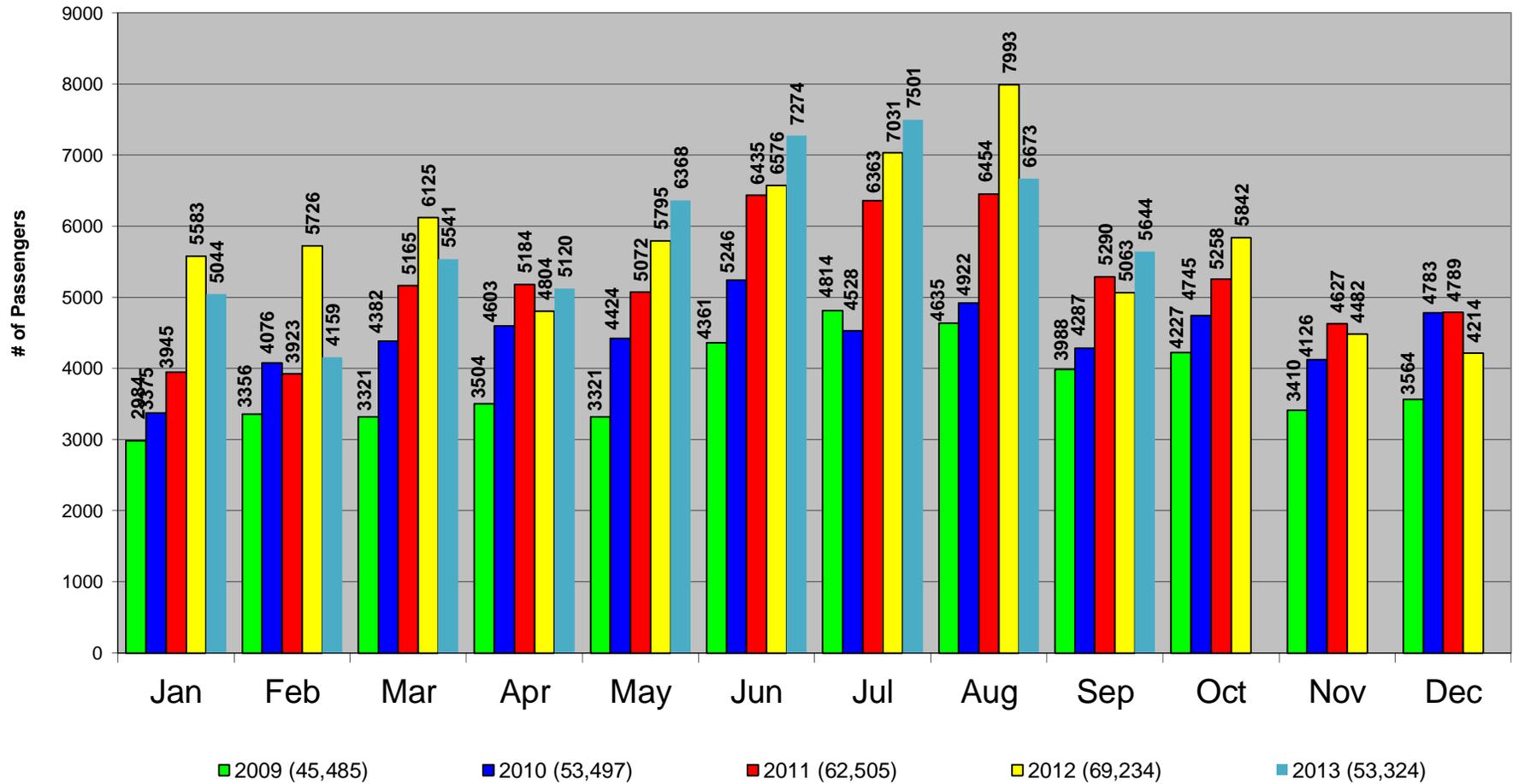
System Peak in MW



Month	Assisted Contractors	Assisted Customers	Street Light repairs
July	5	38	31
Aug	7	53	20
Sept	3	38	35

Month	Utilities Located
July	223
Aug	219
Sept	241

City Link Ridership Yearly Comparison



**CITY PROJECT UPDATES
2013**

Revision No. 10 - Date: October 9, 2013

Completed Projects

Carry Over Projects From 2012

Proposed New Projects - Not Budgeted

Description	Current Status												Completion Status			Comments	
	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Design	Bid	Const.		
ENGINEERING - ADMINISTRATIVE																	
Capital Improvements Bond Issue														100%	7/16/13	0%	\$7,068,000
Special Assessments														100%	7/16/13	0%	\$711,000 Taylor North Addition, Taylor Avenue, A Street
Petitions for New Developments														0%		0%	\$106,200 - 7th & Laurel streetscape
ENGINEERING - HIGHWAYS & MAJOR STREETS																	
A. STATE/FEDERAL AID																	
KLINK S. Main St. Reconstruction	Const			Const	Const	FINAL								100%	7/12/12	100%	\$498,140 Concrete reconstruction from Fulton to Maple. City share \$237,720
Safe Routes To School	Const	Const	Const	Const	Const	Const	Const	Const	Const	Const	Const?			100%	11/1/12	80%	\$264,843
KLINK Fulton St. to Kansas	Design	Design	Design	Design	Design	KDOT	KDOT	Bid			Const?	Const?	Const?	100%	8/29/13	0%	\$587,081 Intersections (reconstruction) and surface maintenance. City share \$302,700
B. TE PROJECTS																	
Windsor Hotel stabilization	KDOT	KDOT	KDOT	KDOT	KDOT	KDOT		Bid	KDOT	Rebid?	Const?	Const?		100%	8/14/13	0%	\$711,757 Preservation Alliance share \$142,351
ENGINEERING - LOCAL STREETS																	
A. CITY RECONSTRUCTION/CONSTRUCTION																	
KDOT Fund Exchange Projects	KDOT	KDOT	KDOT	KDOT	Bid				Const	Const	Const	Const?		100%	5/30/13	35%	\$336,588 FY 2012: North & South Chainey and Rock Rd
Schulman Crossing	Const	Const	Const	Const	Const	Const	FINAL							100%	8/2/12	95%	\$6,108,500 Site work, Utilities & Streets
KDOT Fund Exchange projects				Apply	KDOT	Design			KDOT-2	Bid?	Const?	Const?		0%	7/2/2013	0%	\$225,000 FY 2013
New Community Sidewalks		Const?	Const?	Const?	Const?	Const?	Const?	Const?	Const?	Const?	Const?	Const?		0%		0%	\$30,000 0 - \$0 New Sidewalks throughout the Community, Filling Gaps
Public Transit Stop Amenities					Quotes?	Order?	Order?	Install?						0%	On-hold	0%	\$12,600 Purchase and install shelters along transit routes
B. DRAINAGE PROJECTS																	
FEMA Floodplain related projects														0%	On-hold	0%	Waiting on FEMA's letter.
C. TRAFFIC SIGNAL PROJECTS																	
Pedestrian Activated Warning Sign									Review	Quotes?	Order?			0%	In-house	0%	\$ 15,000
Vehicle Detection Upgrades								Review	Quotes	Order	Storage			0%	In-house	0%	\$ 35,000
D. SUBDIVISION CONSTRUCTION & SPECIAL ASSESSMENT PROJECTS																	
Pioneer Road Estates	Const	Const	Const	Const	Const	Const	Const	Const	Const	Const	Const			100%	12/21/12	75%	\$795,490 subdivision improvements
Stone Development	Design	Design	Design	Design	Bid	Const	Const	Const	Const	Const	Const			100%	5/2/13	75%	\$387,069 Streets
9th Street Construction									Petition?					0%	On-hold	0%	\$106,100 (Specials 70% City, 30% Property Owner) Waiting on Property Owner/Petition
PUBLIC WORKS - STREET MAINTENANCE PROJECTS																	
Street Sealing Program				Bid		stockpile	Const?	Const	FINAL					100%	4/11/13	100%	\$418,700 Cycle Six
Crack Sealing Program	FINAL									Bid	Const?	Const?		100%	7/22/2013	100%	\$210,600 2013 Cycle 6 (196,000 lbs. \$180,320) - 2014 Cycle 1(172,000 lbs. \$176,400)
Community Sidewalk/Driveway		Const?	Const?	Const?	Const	Const	Const	Const	Const	Const	Const	Const?		0%		71%	\$20,000 (Res. 8 - \$5,095 & Com. 7 - \$4,998, Obligated \$7,000, Available Funds \$2,907)

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2013**

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PUBLIC WORKS - PARKS & GROUNDS																	
2012 Street Tree Pruning Prog.		Const	FINAL										100%	12/21/12	100%	\$18,499	Tree & Stump removal, 84 trees
Master Plan - Finnup Park		Design	Design	Design	Meeting	Design	Design	Design	Design	Design	Review?		80%		0%	\$9,880	Create a Master Plan for Finnup Park
Entryway Improvements													0%	On-hold	0%	\$0	Direction and funding issues
2013 Street Tree Pruning Prog.									Mark	Mark	Mark?	Bid?	0%	12/??/2013	0%	\$20,000	
Walking Trails Seal Program				Bid		Const?	Const	Const	FINAL				100%	4/30/13	100%	\$23,300	Purchase Material (work completed in-house)
REGIONAL AIRPORT																	
Expansion of Airport Parking Lot	Const	Const	Const	Const	Const	Const	Const						100%	11/1/12	99%	\$429,231	Waiting on pavement marking removal and repaint
Snow Removal Equipment Building	Design	Design	Design	FAA	Bid	FAA	FAA	FAA	Order	Const	Const?	Const?	100%	5/22/13	1%	\$716,543	FAA Grant approved 8/1, City Share \$35,828
RECREATION																	
Municipal Pool Project	Const?	Const	Const	Const	Const	FINAL							100%	3/2/12	100%	\$273,958	Sprayground Area; City Share \$200,000
Mobile Stage													0%	On-hold	0%	\$125,000	City Share \$50,000, direction and funding issues
Dog Park Improvements									Const?	Const?	Const?		0%		0%	\$20,000	GCRC funding
ZOO																	
Cat Canyon Exhibit	Const	Const	Const	Const	Const	Const	FINAL						100%	6/21/12	100%	\$898,600	FOLRZ funding
Elephant Yard Expansion	Design	Design	Design	Design	Design	Design	Design	Design	Design	Design	Bid?	Const?	80%	?/?/2013	0%	\$423,000	Expansion of outside yard south into African plains yard.
BUFFALO DUNES GOLF COURSE																	
Relocate Metal Building													0%	On-hold	0%	\$30,000	Relocate metal building to Cemetery or Street from National Guard (30'x50')
Irrigation Project	Design	Bid							Const	Const	Const?	Const?	100%	2/28/13	0%	\$1,433,000	Adding new trunk lines and replacing system
ELECTRIC																	
Fair - Hamline & 9th -11th Conversion	Specs	Design	Bid	Contract	Const	Const?	Const?	Const?	Const?	Const?	Const?	Const?	100%	4/1/12	2%	\$40,220	Voltage Conversion
Emerson & Thompson B&C Streets		Design	Bid	Contract	Const	Const?	Const?	Const?	Const?	Const?	Const?	Const?	100%	4/1/12	2%	\$22,476	Voltage Conversion
Circuit 105,405,505 Conversion		Design	Bid	Contract	Const	Const?	Const?	Const?	Const?	Const?	Const?	Const?	100%	4/1/12	1%	\$31,549	Voltage Conversion (\$3,619 Project to date)
Circuit 207 URD Replacement		Design	Bid	Contract	Const	Const?	Const?	Const?	Const?	Const?	Const?	Const?	100%	4/1/12	0%	\$39,913	Replacement
Harding Strip Business		Design	Bid	Contract	Const	Const?	5%	20%	25%	40%	Const?	Const?	100%	4/1/12	0%	\$23,858	Replacement (\$12,792.54 Project to date) Added South Schulman Project for amount of \$46,899.00
SCADA Development		Design	Design	Bid	Design	Design	Const?	Const?	Const?	Const?	Const?	Const?	100%	6/6/12	25%	\$125,000	System Monitoring
Substation # 10	Design	Design	Bid	Const	Design	Design	Design	Const	Const?	Const?	Const?	Const?	100%	5/30/12	75%	\$1,750,000	Site work completed, Transformers on site
Substation # 11/Jameson plant	Design	Design	Design	Design	Design	Design	Const	Const	Const	Const?	Const?	Const?	75%		20%	\$1,750,000	Substation site work underway, Power plant in design phase
Labrador Ridge Conversion (2)						Const							0%		0%	\$67,776	Upgrade area of Chainey St and Shamus St.

**CITY PROJECT UPDATES
2013**

Revision No. 10 - Date: October 9, 2013

Completed Projects

Carry Over Projects From 2012

Proposed New Projects - Not Budgeted

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	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Design	Bid	Const.	
WATER																
SCADA Development		Design	Const?	Const?	5%		0%	\$125,000 System Control & Security								
Inge - Fulton to Kansas Replacement	Const	Const	Const	Const	Const	Const	Const						100%	8/2/12	75%	\$379,860 Water Main Replacement
Repair Water Tower Main & Kansas			Design		Const								0%		0%	\$25,000 Internal repair to tower at Main Street and Kansas Avenue
Standby Power - Sandhills Wells					Design					Const			0%		0%	\$350,000 Back up generation - Sandhills water wells
Main Cleaning & Valve Replacement							Design	Const					0%		10%	\$125,000 Continue cleaning of older mains and replacing valves
WASTEWATER																
SCADA Development		Design	Const?	Const?	75%			\$125,000 WWTP Operation and Security								
Manhole Rehabilitation				Design	Bid				Const?				100%			\$35,311 Manhole Rehab
Design of Major Electrical Repairs			Design			Const							0%			\$75,000 Design new electrical conduit system for oxidation ditch #1 and #2

**CITY OF GARDEN CITY
ZOO DEPARTMENT
SEPTEMBER 2013 MONTHLY REPORT**

ANIMAL DIVISION

ACCESSIONS:

Births/Hatchings

None

Transactions (Purchases, donations, etc.)

1.0	Mountain lion	Donated by Sedgwick County Zoo
2.0	Chinese Hwameis	Donated by Sedgwick County Zoo

DEACCESSIONS

Deaths

0.0.1	Turkey vulture	Liver failure
0.1	Chinchilla	Cancer
1.0	Goeldi's monkey	Kidney failure

Transactions (Sales, donations, etc.)

None

0,2 jaguars and 1.1 bobcats moved to Cat Canyon; jaguar introductions; introducing cats to new exhibits in Cat Canyon. Registrar attended ZIMS workshop in Kansas City. Elephant staff presented elephant painting to retiring KHP officer for years of help with weighing elephants with truck scales. Two seasonals completed employment. Interviewing for elephant seasonal position.

ADMINISTRATION DIVISION

A Wild Affair held with attendance of 371 people and net proceeds of approximately \$33,500. Final projects completed on Cat Canyon, with much hard work by staff, the City Concrete crew, and volunteer help. Held three very successful opening events with attendance of 75 at Donors and Dignitaries, 150 at Sneak Peek for Members, Media and Cast, and 1500 at the public grand opening. New directional signs received for 4th and 5th Street gates. Solicited RFQ's for Elephant yard expansion, interviewed applicants, and selected GLMV to develop construction documents for bidding and building this project. Giraffe feedings wrapped up for the summer season, netting \$2,384 during hour long sessions on Saturdays and Sundays. New water line connection nearly complete on west green. Working on CIPs. Resumed regular hours after Labor Day. Three staff and the FOLRZ Executive Director attended the AZA conference in Kansas City.

EDUCATION DIVISION

The education division gave 116 formal programs to 2685 people, reached an additional 2505 people through 36 hours of informal programming and 378 people in 18 classes learned from 5 discovery box check-outs. The division helped coordinate volunteers for A Wild Affair and Cat Canyon Openings. International Red Panda Day activities enjoyed an attendance of ~250 people. Scheduling of recurring zoomobiles is going strong, and Distance Learning and onsite programs are picking up. Total program numbers and attendance for September are more than double 2012 numbers. Planning for Earth Day 2014 and the January volunteer coffee have begun. Finalizing details for Docent continuing education trip to Denver area in October.

MAINTENANCE DIVISION

A Wild Affair and Cat Canyon preparations were a major focus, with completion of all fence work, mounting signage, sidewalks poured, cleaning, spreading millings in service area, and grounds prep for opening. Built and installed feed chutes and other "move-in needs" in barn. Wild Affair assistance included tent set up and tear down, fly spraying, tree and shrub pruning, mulching and post event return of loaned equipment. A new bandsaw was purchased for the shop and the skid steer loader was changed out. A seasonal employee was hired as we still have remaining funds. Painted Quarantine floor and installed new lighting in the building prior to birds moving in from aviaries. Repaired back gate key pad and holder after a vehicle hit it overnight. Unclogged drains at the flamingo barn and pond, elephant pond, triangle and train restrooms, and Safari Shoppe. Worked on bird area gator. Clean inspection report from KDHE on compost site.

**CONSIDERATION OF
APPROPRIATION ORDINANCE**

Ordinances & Resolutions

(Published in the Garden City Telegram on the ____ day of _____, 2013)

ORDINANCE NO. _____-2013

AN ORDINANCE ESTABLISHING PENALTIES FOR LICENSEES WHOSE EMPLOYEES OR AGENTS ARE CONVICTED OF SELLING OR FURNISHING ALCOHOLIC LIQUOR OR CEREAL MALT BEVERAGE TO A MINOR; AMENDING CODE SECTION 6-90; REPEALING CURRENT CODE SECTION 6-90; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED by the Governing Body of the City of Garden City, Kansas:

SECTION 1. That Section 6-90 of the Code of Ordinances of the City of Garden City, Kansas, is hereby amended, to read as follows:

Section 6-90. Revocation; suspension; repeated violations.

- (a) The governing body may permanently revoke or cause to be suspended for any period of time a license issued under section 6-81 for any one (1) of the following reasons, or for any violation of any provision or section of this article:
- (1) If a licensee has fraudulently obtained the license by giving false information in the application therefor.
 - (2) If a licensee has violated any of the provisions of this article or has become ineligible to obtain a license under this article.
 - (3) Drunkenness of a person holding such license, drunkenness of a licensee's manager or employee while on duty and while on the premises for which the license is issued, or for a licensee, the licensee's manager or employee permitting any intoxicated person to remain in such place selling cereal malt beverages.
 - (4) Permitting any gambling in or upon premises licensed under this article, but for the purpose of this subsection, the lottery run by the state shall not be considered gambling.
 - (5) Permitting any person to mix drinks containing alcoholic liquor with materials purchased in any premises licensed under this article or brought into the premises for this purpose unless such premises are also licensed for the same.
 - (6) The employment of any person under the age of 18 years in the dispensing, selling, or serving of cereal malt beverages.
 - (7) The employment of persons adjudged guilty of a felony or of a violation of any law relating to intoxicating liquor.

- (8) The sale or possession of, or permitting the use or consumption of alcoholic liquor within or upon any premises licensed under this article unless such premises are also licensed for the sale of alcoholic liquor.
 - (9) The nonpayment of any license fees.
 - (10) If the licensee has become ineligible to obtain a license under the alcoholic liquor, private club, or drinking establishment ordinance of the city or any other ordinance or statutory authority.
 - (11) Repeated violations of the noise ordinances of the city by a licensee or any employee of a licensee. For purposes of this section, repeated violations shall be five or more complaints during a calendar year which result in five or more convictions of an employee for a violation of section 62-8 or 62-9 of this Code.
 - (12) Permitting or allowing persons, either intentionally, through omissions, or lack of supervision to commit those acts prohibited by section 62-14 of this Code or sections 9.1, 10.1, 10.2, 10.3.1 and 10.5 of the Uniform Public Offense Code for Kansas Cities, as adopted by the city from time to time, within or upon any premises licensed under this article, to such an extent that the operation of the licensed premises injures or endangers the public health, safety or welfare.
- (b) The governing body shall take the following action in the event any licensee, employee or agent of a licensee under this section, while acting in their capacity as an employee or agent, is convicted of a violation of section 62-2 (5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2 (5.2):
- (1) Upon the first offense, the licensee, at the discretion of the governing body, may have its cereal malt beverage license issued under section 6-81, suspended for a period not to exceed three (3) days.
 - (2) Upon a second offense, the licensee shall have its cereal malt beverage license issued under section 6-81, suspended for a minimum of three (3) days and a maximum not to exceed one (1) year from the date of revocation.
 - (3) Upon a third or subsequent offense, the licensee shall have its cereal malt beverage license issued under section 6-81, revoked and such licensee shall not be eligible for a new license for a period of one (1) year.
 - (4) For the purpose of determining whether a violation of this section is a first, second, third or subsequent offense in this section, the governing body shall only consider those prior offenses occurring within a five (5) year period of time from the date of the offense in question.
 - (5) For the purpose of determining whether a conviction of an employee or agent of a licensee has occurred in this section:
 - a. Conviction includes being convicted of a violation of section 62-2(5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2); or

- b. Conviction includes entering into a diversion in lieu of further criminal proceedings on a complaint alleging a violation of section 62-2(5.2) or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2).
- (6) In the event the licensee is an individual, corporation, limited liability company, limited partnership or other type of entity wherein the individual or entity has more than one (1) store location in the city, the penalties provided in this section shall only apply to the location where the employee's or agent's offense occurred.
- (7) Prior to any suspension or revocation of licensee's cereal malt beverage license issued under section 6-81, licensee shall be entitled to notice as enumerated pursuant to section 6-90(c).
- (8) The penalties created by this section are cumulative in nature and may be exercised in addition to any other right, or action available to the city. The exercise of any right, remedy, or action made available to the city shall not be deemed to be a waiver of any other right, remedy, or action available to the city.
- (c) Prior to revoking or suspending any license, the city shall give ten (10) days written notice to a person holding a cereal malt beverage license issued under section 6-81, of the intent of the city to revoke or suspend a license. The licensee receiving notice from the city of an intent to revoke or suspend a license shall be entitled to a public hearing before the governing body. The notice of intent to revoke or suspend a license shall include the date and time of the public hearing. The hearing shall be at the next regularly scheduled meeting of the governing body which is at least ten (10) days from the date of written notice. At any hearing, the licensee may be represented by counsel, and the licensee may introduce such witnesses and evidence as is deemed necessary and proper by the parties. The hearing need not be conducted according to the formal rules of evidence. Upon conclusion of the hearing, the governing body shall enter its decision as to whether the license in issue should be revoked, suspended, or allowed to remain in full force and effect.

SECTION 2. That Section 6-90 of the Code of Ordinances of the City of Garden City, Kansas, as previously existing and amended, be and the same is hereby repealed, to be replaced as specified in this ordinance.

SECTION 3. That this ordinance be given full force and effect from and after October 1, 2013, and following its publication, in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 17th day of September, 2013.

DAN FANKHAUSER, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Counselor

(Published in the Garden City Telegram on the ____ day of _____, 2013)

ORDINANCE NO. _____-2013

AN ORDINANCE ESTABLISHING PENALTIES FOR LICENSEES WHOSE EMPLOYEES OR AGENTS ARE CONVICTED OF SELLING OR FURNISHING ALCOHOLIC LIQUOR OR CEREAL MALT BEVERAGE TO A MINOR; AMENDING CODE SECTIONS 6-160 AND 6-180; ADDING NEW CODE SECTION 6-137; REPEALING CURRENT CODE SECTIONS 6-160 AND 6-180; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED by the Governing Body of the City of Garden City, Kansas:

Section 1. That new Section 6-137 of the Code of Ordinances for the City of Garden City, Kansas, is hereby added as follows:

Section 6-137. Revocation; suspension; repeated violations.

- (a) The governing body may permanently revoke or cause to be suspended for any period of time the city license of a person holding a retailer of alcoholic liquor license, for any one of the following reasons, or for any violation of any provision or section of this article:
- (1) Repeated violations of the noise ordinance of the city by a licensee or any employee of a licensee. For purposes of this section, repeated violations shall be five or more complaints during a calendar year which result in five or more convictions of a licensee or an employee for a violation of section 62-9 of this Code.
 - (2) Permitting or allowing persons, either intentionally, through omissions, or lack of supervision to commit those acts prohibited by section 62-14 of this Code or sections 9.1, 10.1, 10.2, 10.3.1 and 10.5 of the Uniform Public Offense Code for Kansas Cities, as adopted by the city from time to time, within or upon any premises licensed under this article, to such an extent that the operation of the licensed premises injures or endangers the public health, safety or welfare.
- (b) The governing body shall take the following action in the event any licensee or employee or agent of a licensee under this section, while acting in their capacity as an employee or agent, is convicted of a violation of section 62-2 (5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2 (5.2):
- (1) Upon the first offense, the licensee, at the discretion of the governing body, may have its retailer of alcoholic liquor license suspended for a period not to exceed three (3) days.
 - (2) Upon a second offense, the licensee shall have its retailer of alcoholic liquor license suspended for a minimum of three (3) days and a maximum not to exceed one (1) year.

- (3) Upon a third or subsequent offense, the licensee shall have its retailer of alcoholic liquor license revoked and such licensee shall not be eligible for a new license for a period of one (1) year.
 - (4) For the purpose of determining whether a violation of this section is a first, second, third or subsequent offense in this section, the governing body shall only consider those prior offenses occurring within a five (5) year period of time from the date of the offense in question.
 - (5) For the purpose of determining whether a conviction of an employee or agent of a licensee has occurred in this section:
 - a. Conviction includes being convicted of a violation of section 62-2(5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2); or
 - b. Conviction includes entering into a diversion in lieu of further criminal proceedings on a complaint alleging a violation of section 62-2(5.2) or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2).
 - (6) In the event the licensee is an individual, corporation, limited liability company, limited partnership or other type of entity wherein the individual or entity has more than one (1) store location in the city, the penalties provided in this section shall only apply to the specific location where the employee's or agent's offense occurred.
 - (7) Prior to any suspension or revocation of licensee's retailer of alcoholic liquor license, licensee shall be entitled to notice as enumerated pursuant to section 6-137(c).
 - (8) The penalties created by this section are cumulative in nature and may be exercised in addition to any other right, or action available to the city. The exercise of any right, remedy, or action made available to the city shall not be deemed to be a waiver of any other right, remedy, or action available to the city.
- (c) Prior to revoking or suspending any license, the city shall give ten (10) days written notice to a person holding a retailer of alcoholic liquor license, of the intent of the city to revoke or suspend a license. The licensee receiving notice from the city of an intent to revoke or suspend a license shall be entitled to a public hearing before the governing body. The notice of intent to revoke or suspend a license shall include the date and time of the public hearing. The hearing shall be at the next regularly scheduled meeting of the governing body which is at least ten (10) days from the date of the written notice. At any hearing, the licensee may be represented by counsel, and the licensee may introduce such witnesses and evidence as is deemed necessary and proper by the parties. The hearing need not be conducted according to the formal rules of evidence. Upon conclusion of the hearing, the governing body shall enter its decision as to whether the license in issue should be revoked, suspended, or allowed to remain in full force and effect.

Section 2. That Section 6-160 of the Code of Ordinances for the City of Garden City, Kansas, is hereby amended, to read as follows:

Section 6-160. Revocation; suspension; repeated violations.

- (a) The governing body may permanently revoke or cause to be suspended for any period of time the license of a person holding a class A or B club license under section 6-157, for any one of the following reasons, or for any violation of any provision or section of this article:
- (1) Repeated violations of the noise ordinance of the city by a licensee or any employee of a licensee. For purposes of this section, repeated violations shall be five or more complaints during a calendar year which result in five or more convictions of a licensee or an employee for a violation of section 62-9 of this Code.
 - (2) Permitting or allowing persons, either intentionally, through omissions, or lack of supervision to commit those acts prohibited by section 62-14 of this Code or sections 9.1, 10.1, 10.2, 10.3.1 and 10.5 of the Uniform Public Offense Code for Kansas Cities, as adopted by the city from time to time, within or upon any premises licensed under this article, to such an extent that the operation of the licensed premises injures or endangers the public health, safety or welfare.
- (b) The governing body shall take the following action in the event any employee or agent of a licensee under this section, while acting in their capacity as an employee or agent, is convicted of a violation of section 62-2 (5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2 (5.2):
- (1) Upon the first offense, the licensee, at the discretion of the governing body, may have its class A or B club license, issued pursuant to section 6-157 of this article, suspended for a period not to exceed three (3) days.
 - (2) Upon a second offense, the licensee shall have its class A or B club license, issued pursuant section 6-157 of this article, suspended for a minimum of three (3) days and a maximum not to exceed one (1) year.
 - (3) Upon a third or subsequent offense, the licensee shall have its class A or B club license, issued pursuant to section 6-157 of this article, revoked and such licensee shall not be eligible for a new license for a period of one (1) year.
 - (4) For the purpose of determining whether a violation of this section is a first, second, third or subsequent offense in this section, the governing body shall only consider those prior offenses occurring within a five (5) year period of time from the date of the offense in question.
 - (5) For the purpose of determining whether a conviction of an employee or agent of a licensee has occurred in this section:
 - a. Conviction includes being convicted of a violation of section 62-2(5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2); or

- b. Conviction includes entering into a diversion in lieu of further criminal proceedings on a complaint alleging a violation of section 62-2(5.2) or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2).
- (6) In the event the licensee is an individual, corporation, limited liability company, limited partnership or other type of entity wherein the individual or entity has more than one (1) store location in the city, the penalties provided in this section shall only apply to the specific location where the employee's or agent's offense occurred.
- (7) Prior to any suspension or revocation of licensee's class A or B club license, licensee shall be entitled to notice as enumerated pursuant to section 6-160(c).
- (8) The penalties created by this section are cumulative in nature and may be exercised in addition to any other right, or action available to the city. The exercise of any right, remedy, or action made available to the city shall not be deemed to be a waiver of any other right, remedy, or action available to the city.
- (c) Prior to revoking or suspending any license, the city shall give ten (10) days written notice to a person holding a class A or B club license, of the intent of the city to revoke or suspend a license. The licensee receiving notice from the city of an intent to revoke or suspend a license shall be entitled to a public hearing before the governing body. The notice of intent to revoke or suspend a license shall include the date and time of the public hearing. The hearing shall be at the next regularly scheduled meeting of the governing body which is at least ten (10) days from the date of the written notice. At any hearing, the licensee may be represented by counsel, and the licensee may introduce such witnesses and evidence as is deemed necessary and proper by the parties. The hearing need not be conducted according to the formal rules of evidence. Upon conclusion of the hearing, the governing body shall enter its decision as to whether the license in issue should be revoked, suspended, or allowed to remain in full force and effect.

Section 3. That Section 6-180 of the Code of Ordinances for the City of Garden City, Kansas, is hereby amended, to read as follows:

6-180. Revocation; suspension; repeated violations.

- (a) The governing body may permanently revoke or cause to be suspended for any period of time the license of a person holding a drinking establishment license under section 6-177, for any one of the following reasons, or for any violation of any provision or section of this article:
 - (1) Repeated violations of the noise ordinance of the city by a licensee or any employee of a licensee. For purposes of this section, repeated violations shall be five or more complaints during a calendar year which result in five or more convictions of a licensee or an employee for a violation of section 62-9 of this Code.

- (2) Permitting or allowing persons, either intentionally, through omissions, or lack of supervision to commit those acts prohibited by section 62-14 of this Code or sections 9.1, 10.1, 10.2, 10.3.1 and 10.5 of the Uniform Public Offense Code for Kansas Cities, as adopted by the city from time to time, within or upon any premises licensed under this article, to such an extent that the operation of the licensed premises injures or endangers the public health, safety or welfare.
- (b) The governing body shall take the following action in the event any employee or agent of a licensee under this section, while acting in their capacity as an employee or agent, is convicted of a violation of section 62-2 (5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2 (5.2):
- (1) Upon the first offense, the licensee, at the discretion of the governing body, may have its drinking establishment license, issued pursuant to section 6-177 of this article, suspended for a period not to exceed three (3) days.
 - (2) Upon a second offense, the licensee shall have its drinking establishment license, issued pursuant to section 6-177 of this article, suspended for a minimum of three (3) days and a maximum not to exceed one (1) year.
 - (3) Upon a third or subsequent offense, the licensee shall have its drinking establishment license, issued pursuant to section 6-177 of this article, revoked and such licensee shall not be eligible for a new license for a period of one (1) year from the date of the revocation.
 - (4) For the purpose of determining whether a violation of this section is a first, second, third or subsequent offense in this section, the governing body shall only consider those prior offenses occurring within a five (5) year period of time from the date of the offense in question.
 - (5) For the purpose of determining whether a conviction of an employee or agent of a licensee has occurred in this section:
 - a. Conviction includes being convicted of a violation of section 62-2(5.2) of the Code of Ordinances of the City of Garden City, Kansas, or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2); or
 - b. Conviction includes entering into a diversion in lieu of further criminal proceedings on a complaint alleging a violation of section 62-2(5.2) or a law of the state of Kansas which is in substantial conformity with section 62-2(5.2).
 - (6) In the event the licensee is an individual, corporation, limited liability company, limited partnership or other type of entity wherein the individual or entity has more than one (1) store location in the city, the penalties provided in this section shall only apply to the specific location where the employee's or agent's offense occurred.
 - (7) Prior to any suspension or revocation of licensee's drinking establishment license, licensee shall be entitled to notice as enumerated pursuant to section 6-180(c).

- (8) The penalties created by this section are cumulative in nature and may be exercised in addition to any other right, or action available to the city. The exercise of any right, remedy, or action made available to the city shall not be deemed to be a waiver of any other right, remedy, or action available to the city.
- (c) Prior to revoking or suspending any license, the city shall give ten (10) days written notice to a person holding a drinking establishment license, of the intent of the city to revoke or suspend a license. The licensee receiving notice from the city of an intent to revoke or suspend a license shall be entitled to a public hearing before the governing body. The notice of intent to revoke or suspend a license shall include the date and time of the public hearing. The hearing shall be at the next regularly scheduled meeting of the governing body which is at least ten (10) days from the date of the written notice. At any hearing, the licensee may be represented by counsel, and the licensee may introduce such witnesses and evidence as is deemed necessary and proper by the parties. The hearing need not be conducted according to the formal rules of evidence. Upon conclusion of the hearing, the governing body shall enter its decision as to whether the license in issue should be revoked, suspended, or allowed to remain in full force and effect.

SECTION 4. That Sections 6-160 and 6-180 of the Code of Ordinances of the City of Garden City, Kansas, as previously existing and amended, be and the same are hereby repealed, to be replaced as specified in this ordinance.

SECTION 5. That these ordinances be given full force and effect from and after October 1, 2013, and following its publication, in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 17th day of September, 2013.

DAN FANKHAUSER, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Counselor



COMMUNITY
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Memo

To: Planning Commission
From: Kaleb Kentner
CC: File
Date: August 14, 2013
Re: Amending Article 23 "Signs and Outdoor Advertising" for Upright Banners and Pennant Flags or Ribbon Stringers

ISSUE: Amending Article 23 "Signs and Outdoor Advertising" for Upright Banners and Pennant Flags or Ribbon Stringers.

BACKGROUND: Staff was approached by various business owners about the regulations for Upright Banners and Pennant Flags or Ribbon Stringers. Currently Upright Banners are allowed but are limited to a total height of ten feet (10') and the banner is limited in size to six feet by three feet (6'x3') and Pennant Flags or Ribbon Stringers are required to be placed so that they are eight feet (8') above the lowest adjacent grade.

Upright Banners are increasingly popular for use as temporary advertisements for promotions, etc. Staff has made visits to various businesses around the City in response to complaints about these banners being placed in violation of the regulations, either placing more than are permitted or not obtaining permits, etc. consistently these banners are also larger than the regulations permit. Upon further research staff has determined that these signs range in size from less than four feet (4') in height to just over seventeen feet (17') in height. (See attached image.)

Pennant Flags or Ribbon Stringers are popular among car dealerships which frequently prefer to arrange them so that they slope from a car's antennae or a pole to the ground. Various dealerships have requested amending the regulations to permit this type of arrangement.

The proposed amendment would permit Upright Banners up to eighteen feet (18') in height and eliminate the requirement for Pennant Flags and Ribbon Stringers to be placed at least eight feet (8') above the lowest adjacent grade.

Upright Banners and Pennant Flags or Stringers are and would continue to be required to be placed in such a manner as to conform to the placement requirements, e.g. not encroach on the public right-of-ways.

Alternatives: The Planning Commission may recommend:

1. Adoption of the amendment as presented.
2. Against adoption of the amendment.
3. Adoption of the amendment with changes.

Recommendation: Staff recommends adoption of the amendment as presented.

Planning Commission Recommendation: Approved.

Present: 7

Yea: 7

Nay: 0



COMMUNITY
DEVELOPMENT
DEPARTMENT
SERVING
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CITY ADMINISTRATIVE

CENTER

301 N. 8TH

P.O. Box 998

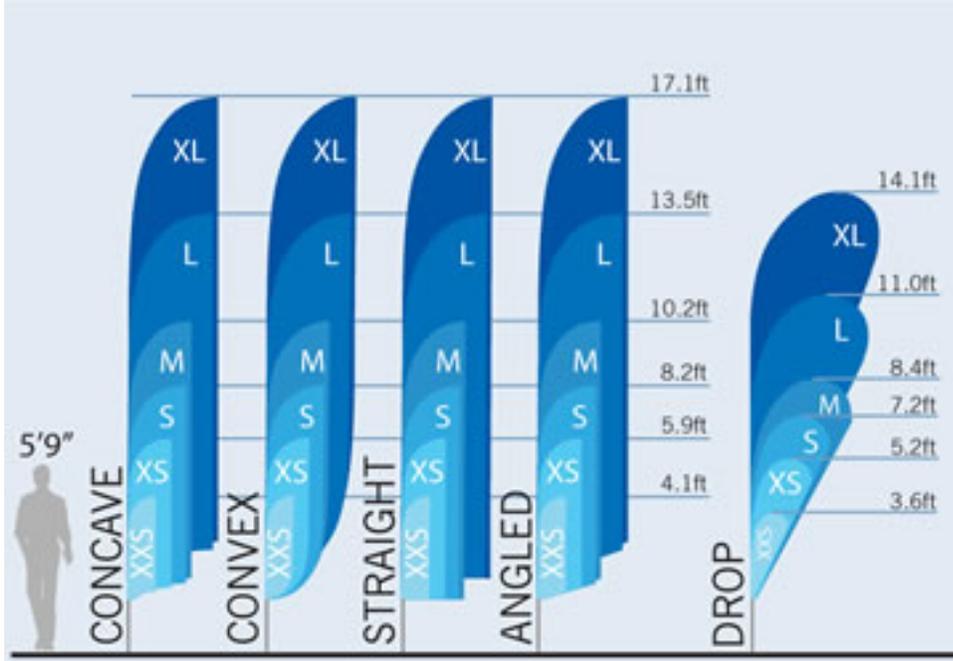
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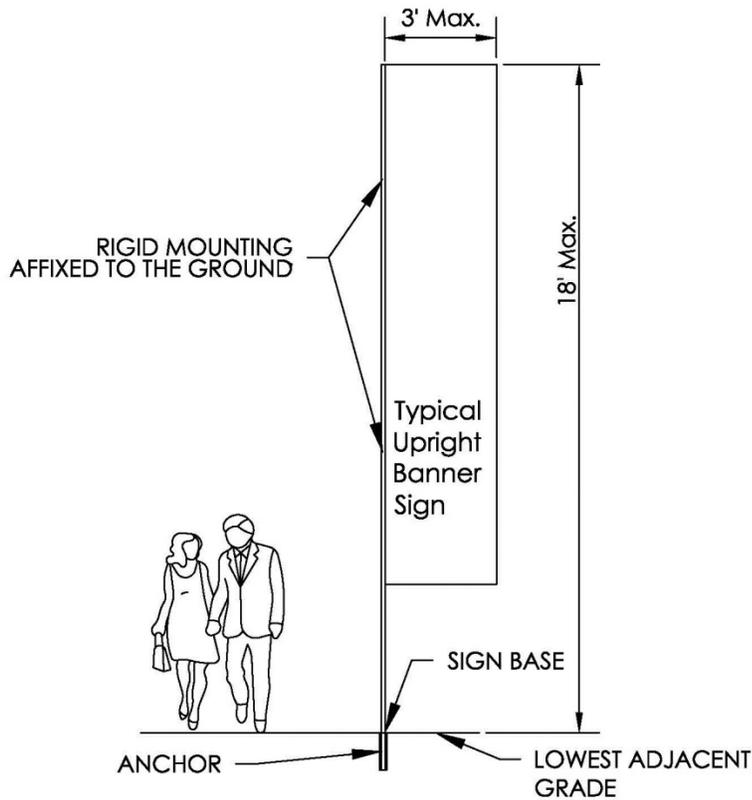
620.276.1170

FAX 620.276.1173

www.garden-city.org



Example of Upright Banner Sizes



New Illustration for Article 23

ORDINANCE NO. _____-2012

AN ORDINANCE AMENDING THE ZONING REGULATIONS FOR THE CITY OF GARDEN CITY, KANSAS; ADOPTING NEW ZONING REGULATIONS TO REGULATE SIGNS AND OUTDOOR ADVERTISING; AMENDING ZONING REGULATION ARTICLE 23; REPEALING IN ITS ENTIRETY CURRENT ZONING REGULATION ARTICLE 23; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

SECTION 1. Article 23 of the Zoning Regulations for the City of Garden City, Kansas, is hereby amended to read as follows:

ARTICLE 23

SIGNS AND OUTDOOR ADVERTISING

SECTIONS:

- 23.010 Purpose and Intent
- 23.020 Definitions
- 23.030 General Requirements
- 23.040 Location Standards
- 23.050 Exceptions
- 23.060 Temporary Signs
- 23.070 Special Purpose Signs
- 23.080 Signs Permitted In Residential Districts
- 23.090 Signs Permitted In Commercial and Industrial Districts – for “C-O”, “C-I”, “C-2”, “I-1”, “I-2” & “I-3” Districts
- 23.100 Signs Permitted in the Central Business District - “C-3” District
- 23.110 Signs Prohibited
- 23.120 Nonconforming Signs

23.010 PURPOSE AND INTENT. It is the intent of this regulation to control the construction, size, and uses of signs and outdoor advertising to prevent the needless cluttering of the appearance and skyline of the City by unreasonable number, location, size, and illumination of signs. The purpose of this Article is to further the goals of enhancing the aesthetics and improving traffic safety in the City.

23.020 DEFINITIONS. The following words and phrases whenever used in this Title shall be construed as defined in this Section. Where there is a question as to the interpretation of a term, word, classification or definition of a sign, the Planning and Community Development Director (Director) or his/her designee shall make the final determination on the term, category, classification, and/or definition applicable.

- (A) Billboard – Any sign with a board or panel greater than sixty-four (64) square feet in area which is erected, constructed, or maintained for the purpose of displaying advertising for a

business, commodity, service, or entertainment conducted, sold, or offered at a location other than on the property on which the sign is erected.

- (B) Electronic Message Boards (EMB) – A sign with a fixed or changeable display composed of a series of lights or composed of electronically illuminated segments that may be changed through electronic means.
- (C) Flashing – When artificial light is not maintained stationary or constant in intensity and/or color at all times, i.e. any revolving, moving, sequential, animated or intermittent sign shall be considered flashing.
- (D) Immediate Adjacent Grade – the established final grade of the ground surface at the base of the sign within one and a half (1.5) times the radius of the sign length. This area shall be no steeper than a 3% grade.

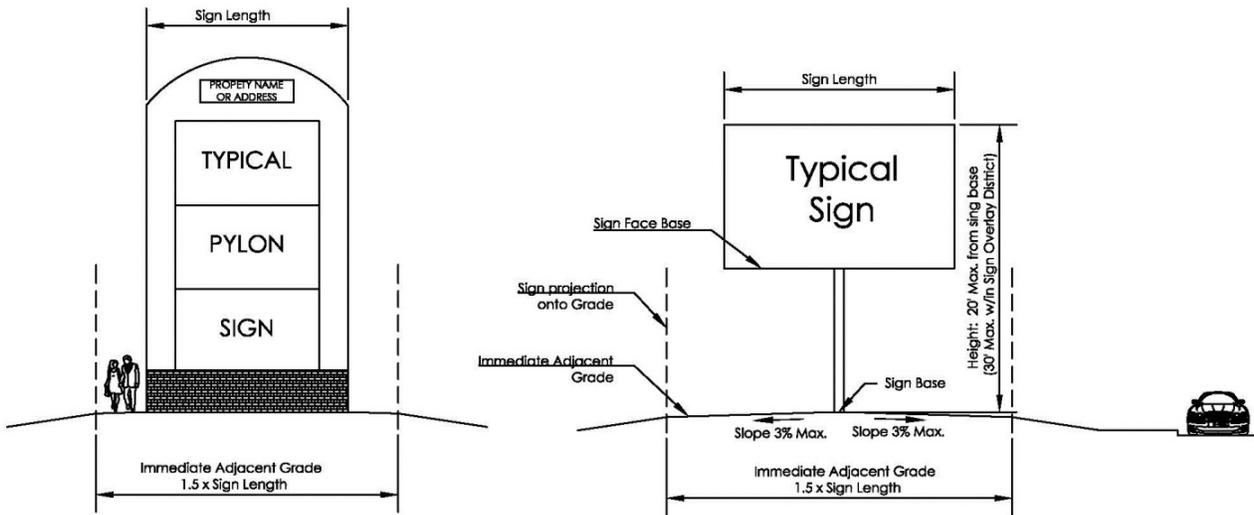


Figure 23.020 (D) – Immediate Adjacent Grade

- (E) Intense Illumination – Illumination to an extreme degree which may materially or practically tend to create traffic hazard as determined by the City.
- (F) Sight Triangle (Also, Vision Clearance Area) – A triangular area on a corner lot, which is formed by the street property lines and a line connecting them at points, twenty-five (25) feet from the intersection of the street lines, as defined in Section 2.030.115 of these zoning regulations.

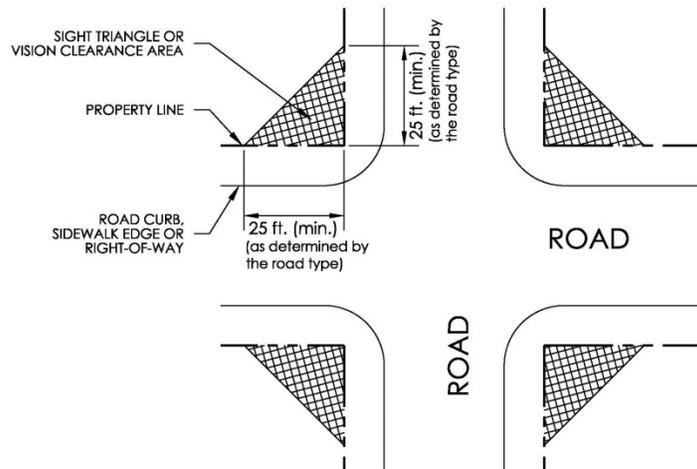


Figure 23.020 (F) – Sight Triangle

- (G) Sign – A communication device, structure, or fixture that incorporates words, lettering, parts

of letters, figures, numerals, phrases, sentences, devices, design, picture, trade names or trademarks, graphics by which anything is made known, used to designate a firm, an association, a corporation, a profession, a business, a service, commodity or product, an event, or any type of publicity or propaganda, whether placed on the ground, rocks, trees, stumps, or other natural objects, or on a building wall, roof, frame, support, fence, or other manmade structure, which are visible from any public street, public highway, or public road right-of-way. For purpose of this Title, the term “sign” does not include the flag, pennant, or insignia of any nation, state, city, or other political unit, or of a nonprofit organization. It shall not include any official notice issued by any court, public body or officer or directional warning, information sign, or structure required or authorized by law.

- (1) Sign, “A” Frame – Any portable sign or structure composed of two (2) sign faces mounted or attached back to back in such a manner as to form a basically triangular vertical cross section through the faces, consisting of two (2) panels of equal size or a two (2) sided single paneled display, made of painted, decay-resistant wood, marker-board or chalkboard which are placed on the ground so as to be self-supporting and properly weighted for the wind loads in the area.



Figure 23.020.G (1) – Typical “A” Frame Signs

- (2) Sign, Abandoned – Any sign that advertises an activity, business, product, or service no longer conducted or available on the premises on which the sign is located.
- (3) Sign, Animated – Any sign, or any portion thereof which changes physical characteristics, position or depicts visual perception of movement which is set in motion or that gives the impression of movement whether it be by mechanical, thermal, pneumatic, electrical or by any other force or physically moves back and forth, or rotates, revolves, spins, whirls or turns.
- (4) Sign, Back-to-back - Signs constructed back-to-back with faces on parallel planes not more than twenty-four (24) inches apart from face-to-face surface shall count as a single sign both as to the number and to area. Thus, only one (1) side of such signs shall be counted in computing the sign area.
- (5) Sign, Banner – A sign composed of lightweight, all weather material, enclosed or not enclosed in a rigid frame, secured or mounted so as to allow movement of the sign caused by movement of the atmosphere. Banner signs shall be considered temporary, except if it meets the following conditions:
 - (a.) Fixed Banner – shall firmly affixed or secured to the side of a building within a wooden or metal frame, or with eyelets, or may be placed in a wooden or metal frame permanently affixed to the ground as to allow for minimal movement of air behind the banner.
 - (i) One fixed banner sign may be permitted per frontage.
 - (ii) No fixed banner shall be considered permanent if it is less than thirty-two (32) square feet in area.

- (iii) On wall mounted banner signs, the eyelet support cables shall not exceed 12 inches in length, and shall be firmly tight.

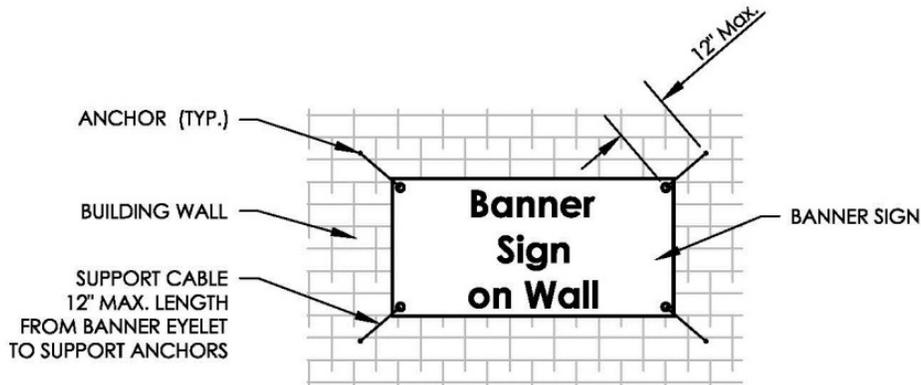


Figure 23.020.G (5.a) – Wall Mounted Banner Sign

- (b.) Upright Banner shall be firmly affixed to at least one (1) side of a rigid mounting permanently affixed to the ground.
 - (i.) Interchangeable upright banners shall be allowed.
 - (ii.) The upright banner mounting and location shall be permanently affixed to the ground, and shall be approved by the Community Development Director or his/her designee, prior to any signs erected.
 - (iii.) Upright Banners shall not be more than three (3) feet wide or taller than eighteen (18) feet from the base to the highest point of the sign.
 - (iv.) Upright Banners may only be permitted in the “C-1”, “C-2”, “I-1”, “I-2” and “I-3” districts.
 - (v.) Two (2) permanent free standing upright banners may be permitted per property.
 - (vi.) No upright banner sign may be located closer than twenty-five (25') feet from another upright banner sign, free standing sign or any temporary sign.

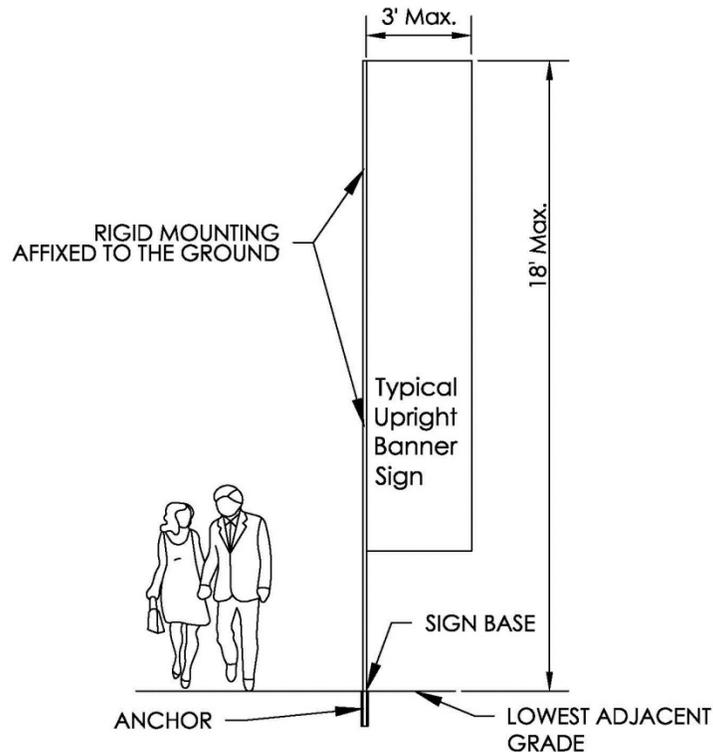


Figure 23.020.G (5.b) - Typical Upright Banner Sign

- (6) Sign, Construction Project – A temporary sign indicating the names of architects, engineers, landscape architects, contractors, and similar artisans involved in the design and construction of structures or projects only during the construction period and only on the premises on which the construction is taking place.
- (7) Sign, Directional – Any sign which serves exclusively to direct pedestrian or vehicular traffic flow. Directional signs shall not exceed six (6) square feet in area.
- (8) Sign, Identification – A sign giving the name and address of a building, business, development or establishment on the premises where the sign is located or to which it is affixed. Such signs may be wholly or partly devoted to a readily recognized symbol.
- (9) Sign, Illuminated – Any sign designed to give forth artificial light, or designed to reflect such light deriving from any source which is intended to cause such light or reflection.
 - (a.) All electrical components shall be enclosed within the sign structure.
 - (b.) Illuminated signs shall be properly grounded.
 - (c.) Illuminated awning signs may be permitted.
 - (d.) All electrical components and/or lighting equipment shall be labeled and rated for outdoor use.
 - (e.) Ceilings (soffits) are required and may consist of “egg crate,” mesh fabric or solid plastic material. Removable panels may be provided to allow access for service and cleaning.
 - (f.) Minimum clearance to grade shall be eight (8) feet unless projecting over a vehicular right-of-way in which case minimum clearance must be sixteen (16) feet.
- (10) Sign, Metal – Any sign constructed of metal.
- (11) Sign, Monument – A free standing sign, permanently affixed to the ground, supported primarily by an internal structural framework or other solid structural

feature, which may be integrated into the landscape. The maximum height from the immediate adjacent grade to the highest point of the structure shall not exceed fifteen (15) feet. The maximum width of the sign shall not exceed thirty (30) feet.

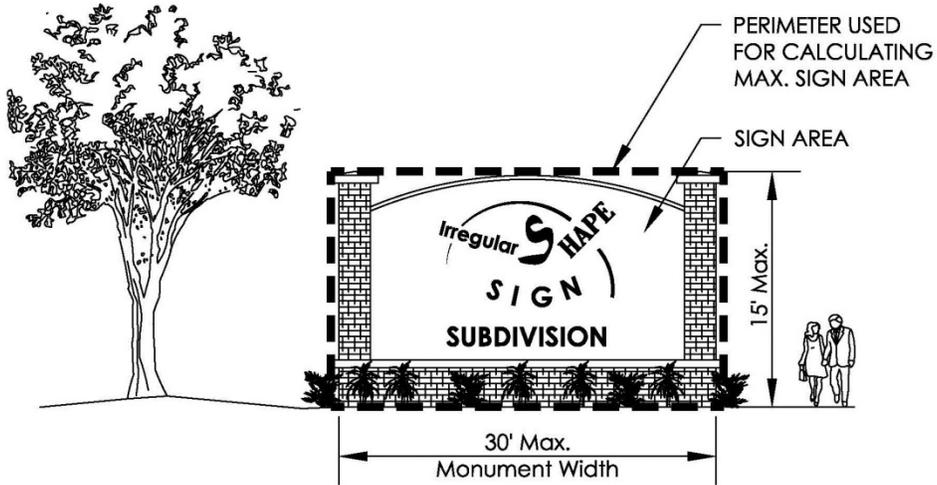


Figure 23.020.G (11) – Monument Sign

- (12) Sign, Non-conforming – A sign lawfully erected and maintained prior to the adoption or amendment of this ordinance that does not conform, or fails to comply with the requirements set herein.
- (13) Sign, Pole – A sign that is mounted on a freestanding pole. No pole sign shall have a height greater than twenty (20) feet above the curb, except those signs within the “Sign Overlay Zone”. Pole signs are limited to one (1) per lot regardless of the number of businesses or professions on the lot. Minimum clearance to grade shall be eight (8) feet unless projecting over a vehicular right-of-way in which case minimum clearance must be sixteen (16) feet. The minimum distance between pole signs shall be fifty (50) feet from other monument or pole signs.

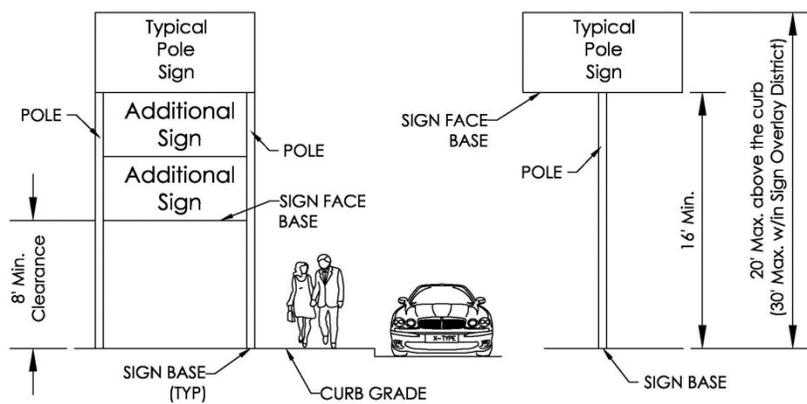


Figure 23.020.G (13) – Typical Pylon Sign

- (14) Sign, Pylon – A free standing vertical sign, permanently affixed to the ground, typically supported by two columns or similar structures and independent of support from any building(s). The maximum height (H) shall be twenty (20) feet from the immediate adjacent grade, except those signs within the “Sign Overlay Zone”, and the base (B) shall be at least one third the height ($1/3 H$). Each column shall be at least one fourth the base ($1/4 B$) of the structure. Pylon signs are limited to two (2) per lot regardless of the number of businesses or professions on the lot. The minimum distance between pylon signs shall be one thousand (1000) feet from other

pylon signs, and one-hundred (100) feet from other pole or monument signs; and shall not be placed within the sight distance triangle area.

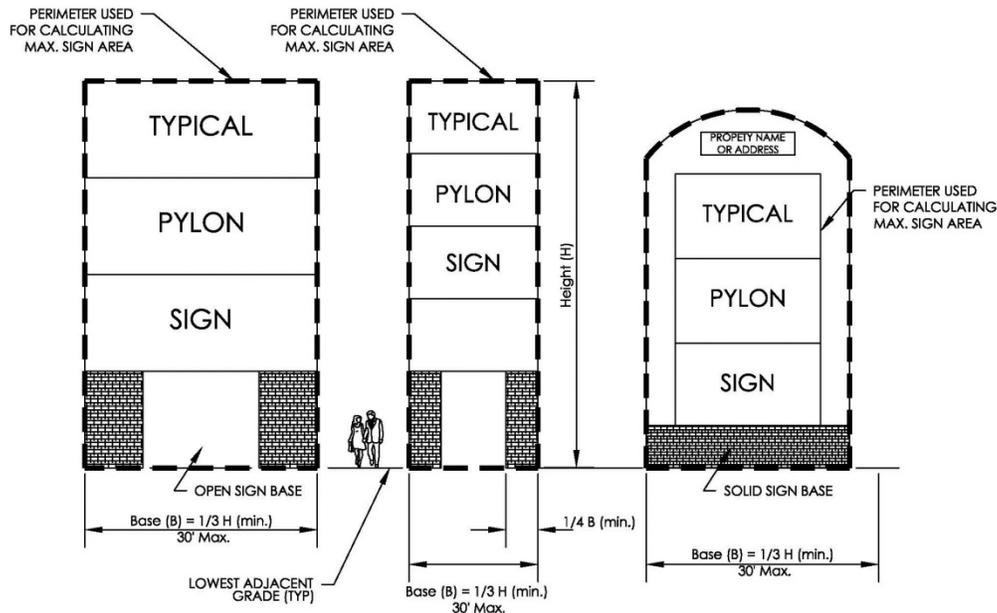


Figure 23.020.G (14) – Typical Pylon Sign

- (15) Sign, Projecting – Any sign attached to a building or structural wall and extending horizontally outward from such wall more than twelve (12) inches.
- (16) Sign, Prohibited – Any sign not expressly permitted by this chapter or as stated by each district is prohibited. For more information regarding prohibited signs, refer to Section 23.110 in this article.
- (17) Sign, Public Service Information – Any sign intended primarily to promote items of general interest to the community such as time, temperature, date, atmospheric conditions, news, traffic control, etc.
- (18) Sign, Real Estate – A temporary sign that relates to the sale, lease or rental of the property or building or a portion thereof, or to construction activities directly related to the property on which it is located. These signs do not include subdivision signs and are used solely for the purpose of displaying the property for sale, lease, or rent.
- (19) Sign, Roof – Any sign that is erected upon or over the roof or over a parapet of any building or structure shall not exceed six (6) inches above the roofline or parapet.

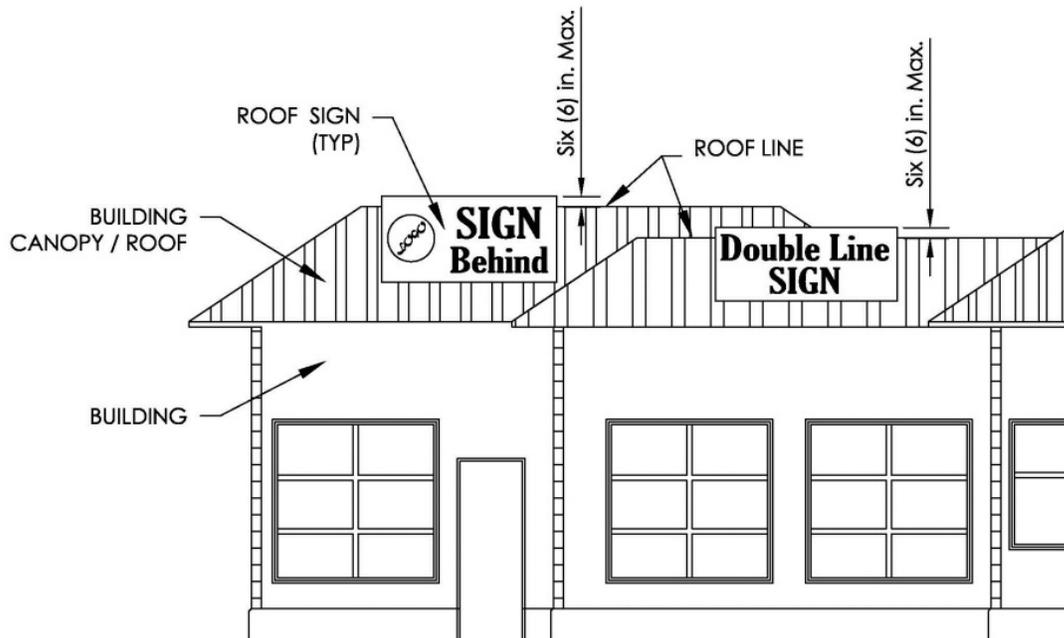


Figure 23.020.G (19) – Roof Sign

- (20) Sign, Off-Site Advertising – A sign which directs attention to a business, commodity, service, or entertainment conducted, sold, or offered at a location other than at the property on which the sign is erected.
- (21) Sign, Off-Site Directional – A sign that assists in locating the access point to a business, a building or group of buildings, which do not have direct access to an arterial road, at a location other than at the property on which the sign is erected. These types of signs shall not exceed six (6) square feet in area.

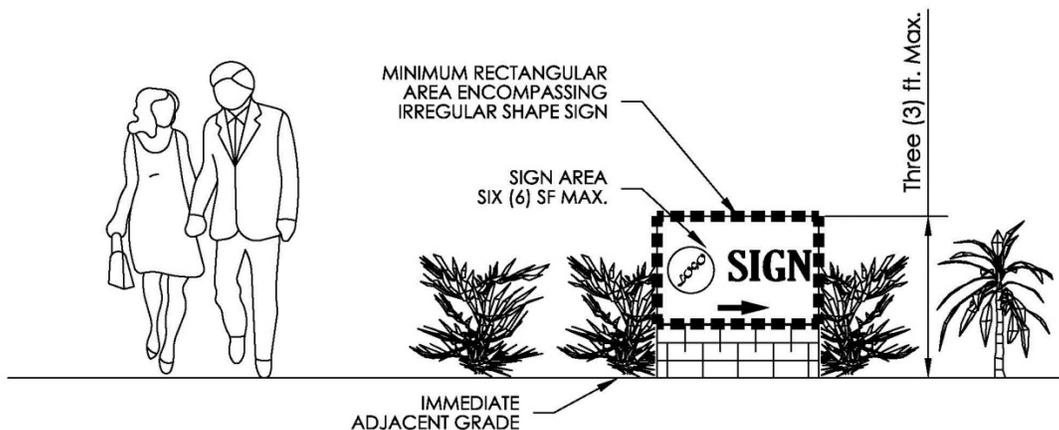


Figure 23.020.G (21) – Off-Site Directional Sign

- (22) Sign, On-Site Advertising – A sign which directs attention to a business, commodity, service, or entertainment conducted, sold, or offered at the premises on which the sign is located or to which it is affixed.
- (23) Sign, Temporary – Any sign constructed of paper, cloth, canvas, or other similar light weight or expendable material with or without frames, or either nailed, clamped, or attached to a pole or other structure and intended to be displayed for thirty (30) days or less. Search lights, balloons or other gas filled objects or portable signs may also be considered temporary signs.
- (24) Sign, Vehicle – Shall apply to signs mounted upon or painted upon vehicles or

trailers which are parked for a period of three (3) or more days expressly and exclusively for the purpose of calling attention to or advertising a specific business establishment or product, i.e. the principal use of the equipment, as determined by the Planning and Community Development Director, is advertising.

(25) Sign, Wall – Any sign posted or painted upon, suspended from or otherwise affixed to a building, wall, fascia, canopy, or marquee in an essentially vertical position or with exposed face of the sign plane approximately parallel with the wall or fascia upon which it is attached.

(H) Sign Area – Sign area shall mean and be determined as follows:

(1) Integral background areas: the area of a sign containing a clearly defined background area. The area as defined herein shall be expressed as the area of the smallest standard geometric shape capable of encompassing the perimeter of the background area of the sign, including the frame. In the case of signs in which multiple background areas are separated by open space, the sign area shall be expressed as the sum of each individual background area, calculated as referenced above, but without regard for any open space between the separate background areas.

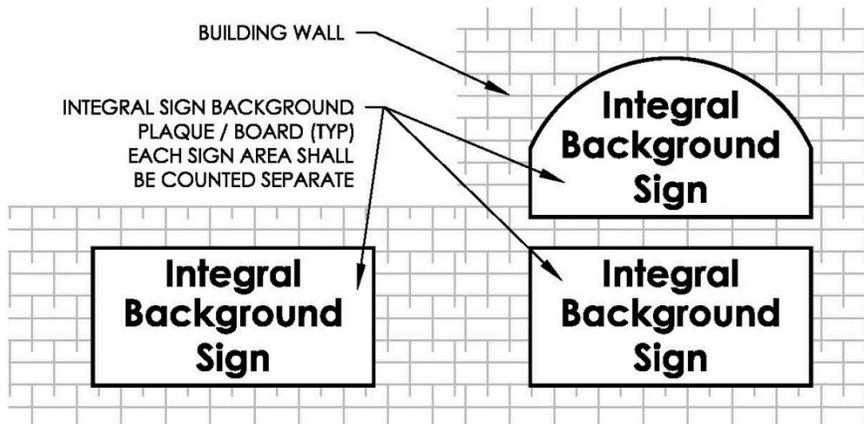


Figure 23.020.E (1) Integral Background Signs

(2) Signs without integral background area; consist of individual, a combination of elements such as letters, symbols, graphic objects or other forms of representations that are painted, attached to, or otherwise affixed to a surface such as a wall, window, canopy, architectural projection, or to any surface not specifically designed to serve as a sign background. The sign area shall be expressed as the sum of the individual areas of the smallest geometric shapes capable of encompassing the perimeters of the individual elements comprising the sign. Where the lettered or illustrated material is composed either vertically, horizontally, diagonally, or otherwise, essentially in the form of a rectangle, parallelogram, or any basic shape thereof shall be considered as the sign area; except where the distance between the sign elements (D) exceeds the average height or width of the sign elements (A) by one and one-half times ($D > 1.5A$), then the area of the elements shall be measured separately, as provided in figure 23.020.E (2) below.

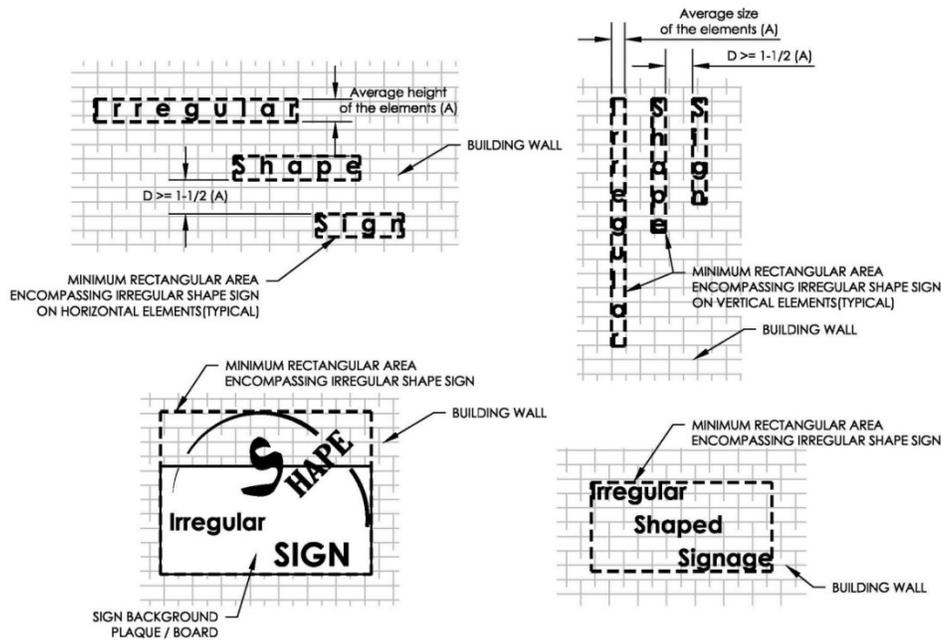


Figure 23.020.E (2) - Irregular Shaped Signs

- (3) Time and temperature devices will not be included in determining sign area if said devices do not contain advertising materials. Advertising signs attached to such devices, however, shall be counted in determining permitted sign area.
- (I) Sign Overlay Zone – An area depicted on the Land Use Map within five hundred (500) feet of the intersection of public right-of-ways adjacent to major intersections where the high-speed highways would predicate taller signage. Within the overlay zone, Pylon Signs may be granted a maximum total height of forty (40') feet, and Pole Signs a maximum sign height of thirty (30') feet, measured from the immediate adjacent grade of the sign base. The placement of signage shall meet all City, State and Federal regulations and requirements.
- (J) Sign resurfacing – Shall mean the repairing or replacement of defective parts, painting, or repainting, cleaning, and other acts required for the maintenance of the sign face.
- (K) Time and Temperature Device – Any mechanism that displays the time and/or temperature but does not display any commercial advertising or identification.
- (L) Window Area – The area of transparent surface, door, window or transom that is continuous and not separated by more than four (4) inches of non-transparent material.
- (M) Window Sign – A sign affixed to the interior or exterior of a window, or placed behind a window pane up to three (3) feet, so as to attract the attention of the public. This definition does not include merchandise in a window display.

23.030 GENERAL REQUIREMENTS. The following general requirements shall apply to all signs and outdoor advertising structures erected within the City of Garden City, unless otherwise provided by this Zoning Regulation.

- (A) PERMITS - No persons shall erect, alter, construct, rebuild, remodel, relocate, resurface, or expand any sign or outdoor advertising structure in the City of Garden City without first obtaining a sign permit from the City in accordance with the provisions of the Building Code and these regulations.
- (1) Electrical permits shall be obtained for electric signs.

- (2) No permit shall be issued by the Planning and Community Development Director until an application has been filed showing the plans and specifications, and materials and details of conditions, locations, and method of anchoring the proposed sign.
- (3) Sign resurfacing shall require a sign permit.
- (4) Permit Fees. In addition to fees for electrical and other permits, any person, firm or corporation designing a sign permit which is required under the provisions of this Article shall at the time of receiving such permit pay to the City a fee as follows:
 - (a.) For all Permanent signs: \$75.00
 - (b.) For temporary signs: 10 Days or Less: \$25.00
11 to 30 Days: \$35.00
 - (c.) For sign resurfacing: No fee required.
- (B) SIGNS ON PREMISES - Except as provided within the provisions of the respective zoning districts, and unless otherwise expressly provided in this Article, no signs shall be permitted which are not used exclusively to advertise the ownership, sale, or lease of property upon which said sign is placed, or to advertise a business conducted, services rendered, or goods produced or sold upon such premises or to advertise or identify any other lawful activity conducted upon such premises, except as specified in these zoning regulations.
- (C) MAINTENANCE AND REPAIR - Any sign erected in Garden City shall be maintained in a safe, presentable, and sound structural condition at all times, including the replacement of defective parts, painting, or repainting, cleaning, and other acts required for the maintenance of said sign. The Planning and Community Development Director or his/her designee shall require compliance with all standards of this Article. If the sign is not made to comply with adequate safety standards, the Planning and Community Development Director shall require its removal in accordance with this Section.

23.040 LOCATION STANDARDS. All signs and outdoor advertising structures shall comply with the following location requirements:

- (A) FIRE ESCAPES, ETC. - No sign shall be erected in such a manner that any portion of the sign or its support will interfere with the use of any fire escape, exit, or standpipe, or obstruct any required stairway, door, ventilator, or window.
- (B) TRAFFIC, ILLUMINATION, SIGHT TRIANGLE CLEARANCE –
 - (1) No signs shall be erected to obstruct vision within the sight triangle at any intersection improved for vehicular traffic.
 - (2) No sign may obscure or physically interfere with an official traffic control sign, signal device, decorative light pole or district banner.
 - (3) Where a sign is illuminated, the light sources shall be shielded from all adjacent buildings and streets.
 - (4) Illuminated signs in direct vision of traffic shall not be of red, green or amber illumination.
 - (5) No signs shall be erected within the City which are so designed and operated to have rotating parts, flashing or sequence lighting, or create an illusion of movement, or that will materially or practically tend to create a traffic hazard.
- (C) TREES AND POLES - No sign shall be attached to a tree or utility pole whether on public or

private property, except for official municipal signage.

- (D) UTILITY LINES - NO SIGN shall be erected or maintained which has less horizontal or vertical clearance from communication lines and energized electrical power lines than that prescribed by the laws of the State of Kansas or rules and regulations duly promulgated by agencies thereof.

23.050 EXCEPTIONS. The following signs shall be exempt from the requirements of this Article:

- (A) The display of official notices used by any court, or public body or official, or the posting of notices by any public officer in the performance of a duty, or by any person giving legal notice.
- (B) Any official flag pennant or insignia of any nation, state, city, or other political unit, civic, educational, or religious organization.
- (C) Barber poles not to exceed three (3) feet in height located on private property and bearing no advertising copy or message.
- (D) Any sign of a noncommercial nature when used to protect the health, safety, or welfare of the general public or to provide direction, warning, or information of a public or semi-public nature that is directed and maintained by an official body or public utility. (e.g. railroad crossing, no dumping, no parking, etc.)
- (E) Small signs, not exceeding five (5) square feet each in area, displayed on private property for the convenience of the public, including signs to identify entrance and exit drives, parking areas, one-way drives, rest rooms, freight entrances, and the like.
- (F) Political or campaign signs on behalf of candidates for public office or measures on election ballots provided that said signs are subject to the following regulations:
 - (1) Said signs may be erected not earlier than sixty (60) days prior to said election and shall be removed within ten (10) days following said election.
 - (2) No sign shall be located within or over the public right-of-way.
- (G) Address numerals and other signs required to be maintained by law or governmental order, rule, or regulation, provided that the content and size of the signs do not exceed the requirements of such law, order, rule, or regulation.
- (H) Scoreboards in athletic stadiums.

23.060 TEMPORARY SIGNS. Within a calendar year, permits for temporary signage may be issued with the following frequency:

- (A) If displayed less than ten (10) days – ten (10) times per year.
- (B) If displayed between eleven (11) and thirty (30) days – four (4) times per year.

23.070 SPECIAL PURPOSE SIGNS. In addition to any other permitted sign or signs, signs for special purposes set forth in this section shall be permitted as provided herein.

- (A) REAL ESTATE SIGNS – For Sale, Rent, or Lease Signs in all zoning districts, signs may be erected to advertise the sale, rent, or lease of property upon which said signs are placed. Said signs may be limited to one (1) sign per one hundred feet of frontage per street face, unless otherwise provided by the zoning provisions, and shall not exceed an area of six (6) square feet in residential zones or thirty-two (32) square feet in non-residential zoning districts. Said signs shall be exempt from site plan approval. No sign shall be located within or over the public right-of-way, and shall be removed within fifteen (15) days after the date of closing.
- (B) OPEN HOUSE SIGNS – Open house signs advertising real estate open for inspection for a prospective sale may be placed on private property in all districts with the consent of the owners, lessee, or occupant. Such signs may state the name of the person or firm sponsoring the open house. Such signs shall not exceed six (6) square feet in area and shall be exempt from the Site Plan Approval. No sign shall be located within or over the public right-of-way.
- (C) CONSTRUCTION PROJECT SIGNS – Signs may be erected in conjunction with construction projects and used for the purpose of publicizing the future occupants of the building, the architects, the engineers, and construction organizations participating in the project, and such other information as may be approved by the Site Plan Review Committee. In residential districts no such signs shall exceed thirty-two (32) square feet in area. In other districts no such sign shall exceed an area of sixty (60) square feet and no freestanding signs shall exceed ten (10) feet in height. All such signs shall be removed before the Building Inspector grants a final inspection.
- (D) CHURCH AND QUASI-PUBLIC ORGANIZATIONS SIGNS – In all districts a church or quasi-public organization may erect up to three hundred (300) square feet of wall or monument signage. Any sign combination exceeding three hundred (300) square feet of signage will be required to obtain a Conditional Use Permit as outlined in Article 29 of these zoning regulations.
- (E) APARTMENT HOUSE IDENTIFICATION SIGNS – Apartment houses of five (5) or more dwelling units may erect one (1) sign on the premises to identify only the name of the apartment complex and to indicate a vacancy.
- (F) NURSERY, REST HOMES/ASSISTED LIVING FACILITIES (approved and licensed by the State of Kansas), HOSPITAL AND MEDICAL CLINICS (for people only) - In approved districts may erect signage in accordance with Commercial District Sign Regulations on Article 23.090.
- (G) DEVELOPMENT PROMOTIONAL and DIRECTIONAL SIGNS - In all residential zones one development promotional sign may be placed on the premises of each subdivision or planned development having five (5) or more lots or approved dwelling unit sites. Said promotional sign may have an area of sixty (60) square feet, plus five (5) additional square feet for each lot or dwelling unit in said development in excess of five (5), up to a maximum area of one hundred (100) square feet.
- (H) PENNANT FLAGS or RIBBON STRINGERS - may be used if they are located eight (8) feet above the lowest adjacent grade
- (I) PROMOTIONAL SIGNS - in Commercial or Industrial Districts temporary promotional signage shall be limited to the windows or in “framed areas” located on the building exterior

walls. Sales signage in the form of small “teepee” types located on top of fuel pumps or banners under roofed areas will be authorized as long as they do not cause movement that would draw attention to passing drivers to the property causing a traffic safety issue. These are not considered temporary signs.

23.080 SIGN PERMITTED IN RESIDENTIAL DISTRICTS - “R-1”, “R-2”, “R-3”, “R-C”, “ZL”, “P-F”, “MHP” and “MHS”.

Signs in the “R-1”, “R-2”, “R-3”, “R-C”, “ZL”, “P-F”, “MHP” and “MHS” Districts are subject to sign construction regulations set forth in the Building Code, other City ordinances and this article. All sign types may be considered permitted signs, except where listed under the SIGNS PROHIBITED section in the “R-1”, “R-2”, “R-3”, “R-C”, “ZL”, “P-F”, “MHP” and “MHS” District, or where prohibited by these regulations.

(A) NUMBER OF SIGNS ALLOWED:

- (1) Only one (1) permanent sign shall be allowed per street frontage.
- (2) Only one (1) temporary sign shall be allowed per property, as outlined in these zoning regulations.

(B) SIZE:

(1) For Non-Residential Uses:

- (a.) The gross surface area of signs in square feet, including all signs, on a lot shall not exceed three (3) times the lineal feet of frontage of the lot.
- (b.) The total area of wall signs shall not exceed five (5) percent of the wall or face of the building to which they are attached or twenty (20) square feet in area whichever is greater, unless specified otherwise in section 23.080 (F) SPECIAL SIGN TYPES ALLOWED.

(2) For Residential Uses:

- (a.) The gross surface area of signs on a lot shall not exceed six (6) square feet.

(C) HEIGHT:

- (1) No sign shall exceed twenty (20) feet in height, or unless specified otherwise on section 23.080 (F) SPECIAL SIGN TYPES ALLOWED.

(D) LOCATION: For general location standards refer to section 23.040 LOCATION STANDARDS.

- (1) No sign shall be constructed or located in the vision clearance area or obstruct the vision of motorists in any way.

(E) SIGN DESIGN:

- (1) Signs shall be affixed to the principal building, flat against the wall.
- (2) Signs shall only show the name and or address of the occupant.
- (3) No sign shall attract attention as to become a traffic hazard (no obtrusive designs or colors).
- (4) No sign shall be illuminated.

(F) SPECIAL SIGN TYPES ALLOWED in “R-1”, “R-2”, “R-3”, “R-C”, “ZL”, “P-F”, “MHP” and “MHS” the Districts:

- (1) ELECTRONIC MESSAGE BOARDS (EMB): EMB may be allowed as a conditional use in “R-1” Single Family Residential, “R-2” Single Family Residential, “R-3” Multiple Family Residential and “P-F” Public Facilities Districts with the following conditions:

- (a.) EMB may not be used for offsite advertising.
- (b.) EMB may not be placed on a lot which is less than one half (.5) acre in area,
- (c.) EMB may not be placed on a lot which has been platted for a single family residence or multifamily development.

- (d.) EMB may only be operated during the hours of 7:30 a.m. to 6:00 p.m.
- (e.) EMB shall be monument signs only, and may not exceed a twenty-five (25) square feet display area.
- (f.) A limit of one (1) stagnant, non-animated message change every sixty (60) seconds.
- (2) MONUMENT SIGNS:
 - (a.) There shall be no more than two (2) Monument Sign per subdivision frontage.
 - (b.) There shall be no more than one (1) Monument Sign per property.
- (3) NAMEPLATE or IDENTIFICATION SIGNS:
 - (a.) There shall be no more than one (1) Nameplate or Identification Sign for each dwelling unit.
 - (b.) No sign shall exceed one (1) square foot in area.
 - (c.) Sign shall only indicate the name or address, or both, of a building or tenant.
- (4) FENCE SIGNS - Signs may be placed upon fences when they have been approved on temporary basis with a sign permit or when they have been approved as permanent signs by a Conditional Use Permit, except in "R-1" and "R-2" Single Family Residential Districts.
- (G) SIGNS PROHIBITED: Signs prohibited in "R-1", "R-2", "R-3", "R-C", "ZL", "P-F", "MHP" and "MHS" Districts, include but are not limited to:
 - (1) "A" Frame Signs.
 - (2) Banner Signs.
 - (3) Billboards.
 - (4) Pole Signs.
 - (5) Pylon Signs.
 - (6) See also Section 23.110 SIGNS PROHIBITED.

23.090 SIGNS PERMITTED IN COMMERCIAL DISTRICTS - "C-O", C-1", AND "C-2" AND INDUSTRIAL DISTRICTS "I-1", "I-2", and "I-3". Signs in the "C-O", "C-1", "C-2", "I-1", "I-2" and "I-3" District are subject to sign construction regulations set forth in the Building Code, other City ordinances and this article. All sign types may be considered permitted signs, except where listed under the SIGNS PROHIBITED in this section, or where prohibited by these regulations.

(A) NUMBER OF SIGNS ALLOWED:

- (1) Where a property abuts more than one street, each side of the lot may be considered a separate frontage and signs may be located on each additional frontage of the lot, except for additional free standing EMB, pole or pylon signs.
- (2) Only one (1) free standing EMB, pole or pylon sign may be permitted per property.
- (3) Only one (1) temporary sign shall be allowed per property, as outlined in these zoning regulations.

(B) SIZE:

- (1) Each side of a lot which abuts upon a street shall be considered as a separate frontage, the gross surface area of all signs in square feet on a lot shall not exceed three (3) times the total lineal feet of frontage of the lot.
- (2) For Wall Signs: The total permitted area of all wall signs shall be calculated based on ten (10%) percent of the area of the building façade on which the signs are proposed to be affixed.
- (3) For Window Signs: The gross surface area shall not exceed twenty-five percent (25%) of the window area on which it is located or attached.
- (4) On corner lots the number of wall signs on the building shall be in character with the size and scale of the building.

(C) HEIGHT:

- (1) No sign shall have a height greater than twenty (20) feet above the immediate adjacent grade, except those signs within the "Sign Overlay Zone".

- (D) LOCATION: For general location standards refer to section 23.040 LOCATION STANDARDS.
- (1) Signs shall not be placed in the right-of-way.
- (2) Any sign located within three (3) feet of a driveway, or within fifty (50) feet of the intersection of two (2) or more streets shall have its lowest elevation at least ten (10) feet above curb level, or a maximum height of four (4) feet above the curb and no part of its means of support shall have a single or joined horizontal dimension exceeding twelve (12) inches as to maintain clearance within the sight distance triangles.
- (3) No sign may be located closer than fifty (50) feet from another sign.
- (E) SIGN DESIGN:
- (1) All signs shall be permanently affixed to the ground, buildings, or other permanent structures.
- (2) Individual elements with no background shall be measured by the minimum rectangular area necessary to encompass such elements and by a combination of rectangles as are necessary to encompass irregular shapes and dimensions.
- (3) Sign copy shall be limited to the primary name of the business, trademark, logo, slogan, and street address number.
- (4) Where multiple-tenants exist, sign copy shall be limited to one (1) primary name of the business complex or shopping center and may list individual uses and tenants provided such lettering for the listing is a maximum of one (1) foot in height, limited to the name of the businesses, trademarks, logos, and slogans.
- (5) Changeable sign copies shall be limited to advertising events, items, pricing, announcements, specials and slogans directly related to the business.
- (F) OFF-SITE ADVERTISEMENT: A lot or parcel of land may have one (1) off-site advertising sign as long as it meets the following:
- (1) The lot shall not contain any existing structures.
- (2) The lot shall have a minimum of two hundred (200) lineal feet of street frontage on the side that the off-site advertising sign is located.
- (3) Off-site advertising signs shall be located no closer than thirty (30) feet from any side yard or front yard.
- (4) Off-site advertising signs shall not be permitted if the lot or parcel of land has an existing pole sign, free-standing sign or an on-site advertising sign.
- (5) No more than one (1) off-site advertising sign shall be permitted on any specific lot or parcel of land.
- (6) Off-site advertising signs shall be removed upon development of the lot or parcel.
- (7) Off-site advertising signs shall not exceed sixty-four (64) square feet in size.
- (G) OFF-SITE DIRECTIONAL SIGN: An off-site directional sign may be permitted for a lot or parcel not having direct access to a principal arterial right-of-way and is located within five hundred fifty (550) feet from said principal arterial right-of-way being advertised upon, as long as it meets the following criteria:
- (1) Only one (1) off-site directional sign shall be allowed per business which does not have direct access to a principal arterial right-of-way.
- (2) Only one (1) off-site directional sign shall be allowed per property, on lots or parcels allowing off-site directional signs for another property. This type of sign shall not be allowed on frontages along Main Street and Highway 50/83/400 bypass. Written permission signed by the owner of the lot or parcel where the off-site directional sign shall be located shall be submitted with the sign permit application.
- (3) The off-site directional sign shall be located within five-hundred-fifty (550) feet of the lot or parcel for which it advertises.
- (4) The maximum size of the off-site directional sign shall be six (6) square feet in area.
- (5) The maximum height of the off-site directional signs shall be three (3) feet, as measured from the immediate adjacent grade to the highest point of the sign.
- (6) Off-site directional signs may be internally illuminated, as outlined in these zoning regulations.
- (H) ELECTRONIC MESSAGE BOARDS (EMB): In "C-O", "C-1", "C-2", "I-1", "I-2" and "I-3" District

EMBs are subject to the following restrictions:

- (1) Limit of one (1) free standing sign per property, and one (1) wall sign per unit frontage.
- (2) Display area may not exceed fifty (50) square feet.
- (3) EMB may be mounted only on monument, wall, pylon, or pole signs.
- (4) All plans for proposed EMB monument, pylon, and pole signs must include a landscaping plan. Minimum landscaping requirements for all EMB pole and monument signs must have at least a five (5) foot radius around the sign reserved for a landscaping bed, to include native species of trees, shrubs, and grasses.
- (5) A limit of one (1) stagnant, non-animated message change every fifteen (15) seconds.
- (I) FENCE SIGNS - Signs may be placed upon fences when they have been approved on temporary basis with a sign permit or when they have been approved as permanent signs by a Conditional Use Permit.
- (J) SIGNS PROHIBITED: Signs prohibited in "C-O", "C-1", "C-2", "I-1", "I-2" and "I-3" District, include but are not limited to:
 - (1) Billboards.
 - (2) Vehicle Signs.
 - (3) See also Article 23.110 SIGNS PROHIBITED.

Figure 23.090 – Wall Signs in Commercial Districts

23.100 SIGNS PERMITTED IN THE CENTRAL BUSINESS DISTRICT "C-3".

Signs in the "C-3" District are subject to sign construction regulations set forth in the Building Code, other City ordinances and this article. Signs may be considered permitted signs, except where listed under the SIGNS PROHIBITED section in the "C-3" District, or where prohibited by these regulations. The "C-3" District has a vital historical and nostalgic impact on the community. All signage shall be subject to design review by the Garden City Downtown Vision prior to application of a required City sign permit.

- (A) In the "C-3" District where buildings or structures are established or are hereafter established on the property line; advertising and business signs shall conform to the following requirements:
 - (1) NUMBER OF SIGNS ALLOWED:
 - (a.) See SPECIAL SIGN TYPES ALLOWED this section.
 - (2) SIZE:
 - (a.) See SPECIAL SIGN TYPES ALLOWED this section.
 - (3) HEIGHT:
 - (a.) No sign shall exceed twenty-five (25') feet in height measured from the immediate adjacent grade to the top of any sign.
 - (b.) See SPECIAL SIGN TYPES ALLOWED this section.
 - (4) LOCATION: For general location standards refer to section 23.040 LOCATION STANDARDS.
 - (a.) Signs shall not be placed in the right-of-way.
 - (b.) Any sign located within three (3') feet of a driveway, or within fifty (50') feet of the intersection of two (2) or more streets or alleys shall maintain clearance within the sight distance triangles.
 - (c.) No free standing or projecting sign may be located closer than twenty-five (25') feet from another free standing or projecting sign.
 - (d.) Signs within fifty (50') feet of a residential district shall be affixed to or be a part of a building.
 - (e.) A sign may be permitted for a rear entrance of a building.
 - (5) SIGN DESIGN:
 - (a.) All signs shall be permanently affixed to the ground, buildings, or other permanent structures.
 - (b.) Individual letters with no background shall be measured by the minimum rectangular area necessary to encompass such letter and by a combination of rectangles as are necessary to encompass irregular shapes and dimensions.

(c.) Sign copy shall be limited to the primary name of the business, trademark, logo, slogan, and street address number.

(d.) Where multiple-tenants exist, sign copy shall be limited to one (1) primary name of the business complex or shopping center and may list individual uses and tenants provided such lettering for the listing is a maximum of one (1') foot in height, limited to the name of the businesses, trademarks, logos, and slogans.

(e.) Where signs are affixed to awnings, canopies, or marquees, the awning, canopy or marquee shall be constructed and maintained in accordance to the adopted Codes of Garden City, Kansas.

(f.) No signs shall be erected within the City which are so designed and operated to have rotating parts, flashing or sequence lighting, or create an illusion of movement, or that will materially or practically tend to create a traffic hazard.

(g.) No sign may obscure or physically interfere with an official traffic control sign, signal device, decorative light pole or district banner.

(h.) Where a sign is illuminated, the light sources shall be shielded from all adjacent buildings and streets.

(i.) Illuminated signs in direct vision of traffic shall not be of red, green or amber illumination.

(6) SPECIAL SIGN TYPES ALLOWED:

(a.) "A" FRAME SIGNS shall be prohibited along Main street right-of-ways, or within any sight triangle or on any street corner as defined in these zoning regulations and may be permitted as follows:

(i) One (1) "A" frame sign shall be permitted per business or per building, whichever is less.

(ii) Maximum sign width shall be two (2) feet.

(iii) Maximum sign height shall be four (4) feet.

(iv) Signs shall not be placed in front of an adjoining property not advertised on the sign. Such display shall be considered off-site advertisement and shall not be permitted.

(v) Signs must be set back a minimum of four (4) feet from the back of curb.

(vi) No "A" frame sign may be located closer than twenty-five (25) feet from another "A" frame sign.

(vii) Signs shall be moved off the right-of-way after business hours.

(viii) "A" frame signs or sandwich board signs are considered to be portable signs and shall be securely anchored or properly weighted for the wind loads in the area.

(ix) No changeable lettering on tracks shall be permitted.

(x) No attention attracting devices, including but not limited to balloons, flags, lights, streamers, moving parts or other similar devices, shall be attached to "A" frame signs.

(b.) NAME PLATE SIGNS –

(i) No more than one (1) name plate sign per building front shall be permitted.

(ii) Shall have a maximum of one (1) square foot in area.

(iii) Shall only indicate the name or address, or both, of a building.

(iv) The square footage of this sign shall not be counted towards the gross surface area of signs allowed, when it meets these parameters.

(c.) PROJECTING SIGNS -

(i) No more than one (1) projecting sign per store front shall be permitted.

(ii) Shall have a maximum of six (6) square feet per sign face.

(iii) Shall maintain eight (8) feet clearance measured from finished elevation or sidewalk surface.

(iv) Shall not project or extend within three (3) feet of the back of curb.

(v) Internally lit projecting signs are prohibited.

(d.) WALL SIGNS –

(i) No more than three (3) individual wall signs shall be permitted on the exterior area of the building which the tenant owns, rents or leases.

(ii) The gross surface area of signs allowed (in square feet) of a wall sign shall be determined by the gross retail area as follows:

- a. Gross retail area is less than or equal to two-thousand five hundred (2,500) square feet = Thirty (30) Square feet of total wall signage.
- b. Gross retail area is between two-thousand five hundred (2,500) Square feet and five thousand (5,000) Square feet = Forty (40) Square feet of total wall signage.
- c. Gross retail area greater than five thousand (5,000) square feet = Fifty (50) Square feet of total wall signage.

(e.) WINDOW SIGNS –

(i) A sign affixed to the interior or exterior of a window, or placed immediately behind a window pane, so as to attract the attention of the public, may be posted, painted, placed, attached or affixed in or on a window, or may sit behind the window up to three (3) feet, exposed to public view, but excludes merchandise in a window display.

(ii) The gross surface area shall not exceed twenty-five percent (25%) of the window area on which it is located or attached.

(iii) Shall be displayed within the window area.

(f.) FENCE SIGNS - Signs may be placed upon fences when they have been approved on temporary basis with a sign permit or when they have been approved as permanent signs by a Conditional Use Permit

(B) In District “C-3” where buildings have observed a setback of twenty-five (25) feet or more from the property line, advertising and business signs shall conform to the following requirements:

(1) NUMBER OF SIGNS ALLOWED:

(a.) Only one (1) permanent sign shall be allowed per street frontage.

(b.) Only one (1) temporary sign shall be allowed per property, as outlined in these zoning regulations.

(c.) See SPECIAL SIGN TYPES ALLOWED in this section.

(2) SIZE:

(a.) The gross surface area in square feet of business signs, including any free standing sign on a lot shall not exceed three (3) times the lineal feet of frontage of the lot. Each side of a lot which abuts a street shall be considered as a separate frontage, and the gross surface area of all signs located on each side of a lot, structure, or street shall not exceed three (3) times the lineal feet in the separate frontage.

(b.) See SPECIAL SIGN TYPES ALLOWED in this section.

(3) HEIGHT:

(a.) No sign shall exceed twenty-five (25) feet in height measured from grade to the top of any sign.

(4) LOCATION: For general location standards refer to section 23.040 LOCATION STANDARDS.

(a.) Signs shall not be placed in the right-of-way.

(b.) No sign shall overhang the public sidewalk, street, or street right-of-way.

(c.) Any sign located within three (3) feet of a driveway, or within fifty (50) feet of the intersection of two (2) or more streets or alleys shall maintain clearance within the sight distance triangles.

(d.) No free standing sign may be located closer than fifty (50) feet from another free standing sign.

(e.) Signs within fifty (50) feet of a residential district shall be affixed to or be a part of a building.

(f.) A sign may be permitted for a rear entrance of a building.

(5) SIGN DESIGN:

(a.) All signs shall be permanently affixed to the ground, buildings, or other permanent structures.

(b.) Individual letters with no background shall be measured by the minimum rectangular area necessary to encompass such letter and by a combination of rectangles as are necessary to encompass irregular shapes and dimensions.

(c.) Sign copy shall be limited to the primary name of the business, trademark, logo, slogan, and street address number.

(d.) Where multiple-tenants exist, sign copy shall be limited to one (1) primary name of the business complex or shopping center and may list individual uses and tenants provided such lettering for the listing is a minimum of one (1) foot in height, limited to the name of the businesses, trademarks, logos, and

slogans.

(e.) Where signs are affixed to awnings, canopies, or marquees, the awning, canopy or marquee shall be constructed and maintained in accordance to the adopted Codes of Garden City, Kansas.

(f.) No signs shall be erected within the City which are so designed and operated to have rotating parts, flashing or sequence lighting, or create an illusion of movement, or that will materially or practically tend to create a traffic hazard.

(g.) No sign may obscure or physically interfere with an official traffic control sign, signal device, decorative light pole or district banner.

(h.) Where a sign is illuminated, the light sources shall be shielded from all adjacent buildings and streets.

(i.) Illuminated signs in direct vision of traffic shall not be of red, green or amber illumination.

(6) SPECIAL SIGN TYPES ALLOWED:

(a.) NAME PLATE SIGNS –

(i) No more than one (1) name plate sign per building front shall be permitted.

(ii) Shall have a maximum of one (1) square foot in area.

(iii) Shall only indicate the name or address, or both, of a building.

(iv) The square footage of this sign shall not be counted towards the gross surface area of signs allowed, when it meets these parameters.

(b.) WALL SIGNS – The gross surface area of signs allowed (in square feet) of a wall sign shall be determined by the gross retail area as follows:

(i) Gross retail area is less than or equal to two-thousand five hundred (2,500) square feet = Thirty (30) Square feet of total wall signage.

(ii) Gross retail area is between two-thousand five hundred (2,500) Square feet and five thousand (5,000) Square feet = Forty (40) Square feet of total wall signage.

(iii) Gross retail area greater than five thousand (5,000) square feet = Fifty (50) Square feet of total wall signage.

(c.) WINDOW SIGNS –

(i) A sign affixed to the interior or exterior of a window, or placed immediately behind a window pane, so as to attract the attention of the public, may be posted, painted, placed, attached or affixed in or on a window, or may sit behind the window up to three (3) feet, exposed to public view, but excludes merchandise in a window display.

(ii) The gross surface area shall not exceed twenty-five percent (25%) of the window area on which it is located or attached.

(iii) Shall be displayed within the window area.

(d.) FENCE SIGNS - Signs may be placed upon fences when they have been approved on temporary basis with a sign permit or when they have been approved as permanent signs by a Conditional Use Permit.

(C) SIGNS PROHIBITED: Signs prohibited in the “C-3” District, include but are not limited to:

(1) Electronic Message Boards (EMB).

(2) Billboards.

(3) Pole Signs.

(4) Banner Signs.

(5) Vehicle Signs.

(6) See also Article 23.110 SIGNS PROHIBITED.

23.110 SIGNS PROHIBITED. The following signs shall be strictly prohibited in all districts (This is not an all-inclusive list, and whenever there is doubt as to the classification of a use not specifically listed or mentioned in these regulations the determination shall be made by the Planning and Community Development Director within a reasonable time, but not to exceed thirty (30) days.):

(A) Abandoned Signs.

- (B) Animated or Intensely Lighted Signs.
- (C) Billboards.
- (D) Movable Free Standing Signs.
- (E) Searchlights, balloons or other gas filled objects, or portable signs shall not be used on permanent basis.
- (F) Signs which have visible moving parts or any portion of which moves or gives the illusion of motion including but not limited to Swinging or Twirling Signs.
- (G) Sound - No signs shall be designed for the purpose of emitting sound.
- (H) Vehicle Signs.
- (I) Other signs also prohibited are those that incorporate elements which:
 - (1) Affect traffic safety in any manner.
 - (2) Are attached to a tree or utility pole.
 - (3) Emit an odor.

23.120 NONCONFORMING SIGNS.

- (A) No nonconforming sign shall be in any manner enlarged, altered, reconstructed, or moved without being made to comply in all respects with the provisions of this Article provided, however, that nothing herein shall prohibit the normal maintenance and repair, painting or repairing of the face, or the replacement of a removable face of said nonconforming sign.
- (B) Permits shall be required to replace a nonconforming sign with a sign that conforms to current regulations, however all fees normally associated shall be waived.

SECTION 15. This ordinance shall be in full force and effect from and after its publication, or a publication of a summary, in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 17th day of July, 2012.

DAVID D. CRASE, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Counselor



COMMUNITY
DEVELOPMENT
DEPARTMENT
SERVING
GARDEN CITY
HOLCOMB
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Memo

To: City Commission
From: Kaleb Kentner
CC: File
Date: September 19, 2013
Re: GC2013-62, Amend Art. 1.090 Building Permits – (Site Plan Required)

ISSUE: An amendment to Article 1.090 Building Permits – (Site Plan Required) Regulations.

BACKGROUND: As previously directed by the Planning Commission, Staff currently performs site plan reviews of developments inside the City Limits. An update of the approved site plans is delivered regularly at the Planning Commission meetings as a part of the General Staff Report. The Zoning Regulations do not clearly establish what is required for a site plan. At this time the regulations state that:

“All applications for building permits shall be accompanied by a site plan to scale showing the actual dimensions of the lot to be built upon, the size and location of existing buildings, buildings to be erected, and other information as outlined as contained herein. All applications for building permits shall be accompanied by an approved site plan.” (Art. 1.090)

Non-conforming properties are required to obtain approval by the Board of Zoning Appeals to authorize any improvements that exceed 10% of the value of the property or \$2500.00, whichever is greater (Art. 21.100).

If the Secretary of the Planning Commission determines that the proposed densities in a site plan are higher than those allowed by the Zoning Regulations or the proposed uses may have compatibility issues with adjacent properties, then the Secretary may require the site plan be reviewed for approval by the Planning Commission. If such a site plan is not submitted at least ten (10) days prior to a Planning Commission meeting, it is held until the next regularly scheduled meeting.

In order to make site plan requirements less ambiguous, Staff recommends amending the current Zoning Regulations Art. 1.090. The proposed text for the amendment is attached and outlines the information required to be submitted on all site plans, the manner in which the site plan is to be submitted, time line of the review process, project compatibility and time limitations.

ALTERNATIVES: The Planning Commission may recommend

1. Approval of the amendment as presented.
2. Approval of the amendment with changes.
3. Against approval of the amendment.

STAFF RECOMMENDATION: Staff recommends approval of this amendment.

PLANNING COMMISSION RECOMMENDATION: Approved.

Present- 7

Yea- 7

Nay- 0

ORDINANCE NO. _____-2013

AN ORDINANCE REGULATING BUILDING PERMITS AND SITE PLANS FOR THE CITY OF GARDEN CITY, KANSAS; AMENDING THE ZONING REGULATIONS FOR THE CITY OF GARDEN CITY, KANSAS; AMENDING ZONING REGULATION ARTICLE 1; REPEALING IN ITS ENTIRETY CURRENT ZONING REGULATION ARTICLE 1; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF GARDEN CITY, KANSAS:

SECTION 1. Article 1 of the Zoning Regulations for the City of Garden City, Kansas, is hereby amended to read as follows:

ARTICLE 1

GENERAL PROVISIONS

SECTIONS:

1.010	Title
1.020	Purpose
1.030	Intent
1.040	Conflicting Provisions
1.050	Licenses to Conform
1.060	Not a Licensing Regulation
1.070	Building Permits Required
1.080	Permits to Comply With the Zoning Regulations
1.090	Building Permits - Site Plan Required
1.100	Permitted Uses
1.110	Conditional Uses
1.120	Determination of Uses Not Listed
1.130	Lot Size Requirements
1.140	Yard Requirements
1.150	Use Limitations
1.160	Accessory and Temporary Structures or Uses
1.170	Home Occupations
1.180	Signs and Outdoor Advertising
1.190	Off Street Parking and Loading

1.010 TITLE. This Zoning Regulation and attached District Zoning Map shall be known and may be cited as the Zoning Regulation and District Zoning Map for Garden City, Finney County, Kansas.

1.020 PURPOSE. The regulations and restrictions contained herein are adopted and enacted for the purpose of promoting the health, safety, morals, convenience, and general welfare of the present and future inhabitants of the City of Garden City, and

- (A) To encourage and facilitate the orderly growth and development of the City.

- (B) To provide adequate open space for light and air, to prevent overcrowding of the land, and to lessen congestion on the streets.
- (C) To secure economy in municipal expenditures, to facilitate adequate Provisions for transportation, water, sewerage, schools, parks, and other public facilities and services.
- (D) To increase the security of home life and preserve and create a more favorable environment for citizens and visitors of Garden City.
- (E) To secure safety from fire, panic, and other dangers.
- (F) To stabilize and improve property values.
- (G) To enhance the economic and cultural wellbeing of the inhabitants of Garden City.
- (H) To promote the development of a more wholesome, serviceable and attractive city resulting from an orderly, planned use of resources.

1.030 INTENT. The intent of the regulations set forth herein shall be to further the purpose of the title and promote the objectives and characteristics of the respective zones.

1.040 CONFLICTING PROVISIONS. The regulations shall not nullify the more restrictive provisions of other private covenants and agreements, or other laws or general Ordinances of the City, but shall prevail and take precedence over such provisions which are less restrictive.

1.050 LICENSES TO CONFORM. All Departments, Officials, and Employees of Garden City which are vested with the duty or authority to issue permits and licenses shall conform to the provisions of these regulations and shall issue no permit or license for a use, building, or purpose where the same would be in conflict with the provisions contained herein.

1.060 NOT A LICENSING REGULATION. Nothing contained in these regulations shall be deemed to be a consent, license, or permit to use any property or to locate, construct, or maintain any structure or facility or to carry on any trade, industry, occupation, or activity.

1.070 BUILDING PERMITS REQUIRED. No building or structure shall be constructed, altered, or moved, nor shall the use of land be changed except after the issuance of a permit for the same by the Building Inspection Department.

1.080 PERMITS TO COMPLY WITH THE ZONING REGULATIONS. Permits shall not be granted for the construction or alteration of any building or structure, or for the moving of a building onto a lot, or for the change of the use in any land, building, or structure, if such construction, alteration, moving, or change in use would be a violation of any of the provisions of these regulations. No sewer service line no water line, no electrical, gas, or telephone utilities shall be installed to serve such premises if such use will be in violation of the regulations contained herein.

1.090 BUILDING PERMITS - (SITE PLAN REQUIRED.) All applications for building permits shall be accompanied by an approved site plan.

- (A) Site Plan Requirements: The Site Plan submittal of three (3) sets of hard copy plans and applicable planning documents and one (1) set of electronically submitted plans and documents shall contain the following information as outlined on the Site Plan Review Application:
- (1) A legal description and site address (available from the City Engineer, County or GIS).
- (2) A Title Block including the Date of the submittal, Name and Contact information, North Arrow indicator, Scale of drawing and Key or Vicinity Map.
- (3) Lot dimensions.
- (4) Location and size of existing and proposed structure(s) on the site (with sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the site plan), and Building Elevations. Include a Building Code Footprint where applicable [(K.A.R) 22-1-7].
- (5) Identification of setbacks.
- (6) Location and layout of parking areas- denote handicapped parking and curb stops, including parking calculations.
- (7) Location of ingress and egress. A traffic impact study may be required where applicable.
- (8) Location and size of sign(s), including elevations (attach additional concept drawing with dimensions).
- (9) Location and size of Accessory Building(s).
- (10) Landscape Plans (see Article 36).
- (11) Utility easements conforming to all applicable zoning, fire and building codes (Show all recorded easements on drawing).
- (12) Location of utility service lines and meter sizes servicing the structure(s) on the lot.
- (13) Solid waste pickup locations with associated screening.
- (14) Drainage in conformance with subdivision drainage plan (use arrows to indicate direction of proposed drainage for minor plans or present a detailed drainage plan for major development, City Engineer to review and approve). SWPPP plans and documentation maybe required, to meet City and KDHE standards.
- (15) Additional documents may be required (e.g. Elevation Certificate, Development Agreement, , Parking Lot Lighting or other additional permits as required on a case by case basis with respect to the development of the property).
- (B) Site plans for all commercial, industrial and multi-family units (larger than a Duplex) shall be stamped by an architect or engineer registered in the State of Kansas; and at the discretion of the Planning Commission Secretary shall be submitted to the Planning Commission at least ten (10) days prior to the Planning Commission meeting whereby review and approval is requested.
- (C) The Site Plan Review procedure in no way relieves the applicant from compliance with or approval under the provisions of the Zoning Regulations, Subdivision Regulations, Building Codes, and/or other regulations which pertain to or govern the proposed development. No Site Plan will be approved unless it is in compliance with all pertinent code, ordinances and regulations.
- (D) Process Timeline. Planning Staff will determine the completeness, accuracy, and sufficiency of the application. A typical site plan review process is seven to fourteen (7-14) days, and may be longer dependent upon the complexity of the development proposal.
- (E) Approvals. Building permits for the project will not be issued until a site plan has been approved.
- (F) Time Limitations on Approvals. If the owner has obtained preliminary site plan approval, but fails to obtain a building permit within one (1) year from the date of approval of the site

plan, the site plan approval shall be deemed to have expired, and the owner shall be required to resubmit a new plan for approval.

(G) **Adjacency Compatibility:** Staff will review site plans for compatibility with adjacent properties.

(H) **Electronic Submittals.** The submitted site plans are electronically distributed to various city departments and public utility companies and then convene for review and comment. The planner assigned to the project will contact the applicant to discuss the review comments and suggest any revisions which may be needed before the site plan can be processed for administrative action.

1.100 PERMITTED USES. No structure shall hereafter be built, moved, or remodeled and no structure or land shall hereafter be used, occupied or designed for use or occupancy except for a use that is permitted within the zoning district in which the structure or land is located.

1.110 CONDITIONAL USES. No use of a structure or land that is designed as a conditional use in any zoning district shall hereafter be established and no existing conditional use shall hereafter be changed to another conditional use in such district unless a Conditional Use Permit is secured in accordance with the provisions of Article 29 in this Zoning Regulation.

1.120 DETERMINATION OF USES NOT LISTED. Whenever there is doubt as to the classification of a use not specifically listed or mentioned in these regulations the determination shall be made by the Planning Commission within a reasonable time, but not to exceed thirty (30) days. Such determination shall state the districts in which the proposed use will be permitted and whether it is a permitted use, a special use, or conditional use in keeping with the intent of these regulations. The determination of the proposed use shall be effective immediately and the Building inspector shall use such determination in issuing permits. Application for determination shall be made in writing. No specific form is required.

1.130 LOT SIZE REQUIREMENTS. No structure, or part thereof, shall hereafter be built, moved, or remodeled and no structure or land shall hereafter be used, occupied or arranged, or designed for use of occupancy on a lot which is:

- (A) Smaller in area than the minimum area on minimum lot area per dwelling unit, required in the zoning district in which the structure or land is located;
- (B) Narrower than the minimum lot width required in the zoning district in which the structure or land is located; or
- (C) Shallower than the minimum lot depth required in zoning district in which the structure or land is located.
- (D) No existing structure shall hereafter be remodeled as to conflict or further conflict, with the lot area per dwelling unit requirements for the zoning district in which the structure is located.

1.140 YARD REQUIREMENTS. No structure, or part thereof, shall hereafter be built, moved, or remodeled and all structures or land shall not be hereafter used, occupied or designed for use of occupancy;

- (A) So as to exceed the maximum lot coverage percentage, or the maximum structure height specified for the zoning district in which the structure is located; or

- (B) So as to provide any setback or front, side or rear yard that is less than that specified for the zoning district in which such district or use of land is located or maintained; or
- (C) So that no side yard is smaller than five (5) feet, except when zero lot line development is permissible.

All yard requirements set forth herein are expressed in terms of maximum structure height, maximum lot coverage, and minimum setbacks.

1.150 USE LIMITATIONS. No permitted or conditional use hereafter established, altered, modified, or enlarged shall be operated or designed so as to conflict with the use limitations for the zoning district in which such use is, or will be, located. No permitted or conditional use already established on the effective date of this Zoning Regulation shall be altered, modified, or enlarged so as to conflict, or further conflict with; the use limitations for the zoning district in which such use is located.

1.160 ACCESSORY AND TEMPORARY STRUCTURES AND USES. No accessory or temporary structures or uses as defined in Article 21 shall hereafter be built, established, moved, remodeled, altered, or enlarged unless such uses are permitted by Article 21 of this Zoning Regulation.

1.170 HOME OCCUPATIONS. No home occupations as defined in Article 26 shall hereafter be established, altered, or enlarged in any residential district unless such home occupation is permitted, and complies with the conditions set forth in Article 26 of this Zoning Regulation.

1.180 SIGNS AND OUTDOOR ADVERTISING. No signs shall hereafter be built, and no existing signs shall be moved or remodeled unless such sign complies, or will thereafter comply, with the conditions set forth in Article 23.

1.190 OFF-STREET PARKING AND LOADING. No structure shall hereafter be built or moved and no structure or land shall hereafter be used, occupied or designed for use or occupancy unless the minimum off-street parking and off-street loading spaces are provided as required by Article 24. No structure or use already established on the effective date of these regulations shall be enlarged unless the minimum off-street parking and loading spaces, which would be required by Article 24, are provided for the whole structure or use as enlarged.

SECTION 2: The Zoning Regulations for the City of Garden City, Kansas, Article 1 as previously existing, is hereby repealed, to be replaced as specified in this ordinance. All Zoning Regulation Sections not specifically amended or deleted herein shall remain in full force and effect.

SECTION 3. This ordinance shall be in full force and effect from and after its publication in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 15th day of October, 2013.

DAN FANKHAUSER, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Counselor

STAFF REPORT
GC2013-65 and 72: Comprehensive Plan Amendment and
Rezone 3285 E. Fulton from “C-2” General Commercial to
“I-1” Light Industrial District, Garden City, KS

GENERAL INFORMATION

Date:	August , 2013	Jurisdiction:	Garden City
Owner:	Quang Nguyen		
Applicant:	Quang Nguyen		
Requested Action:	Comprehensive Plan Amendment and Rezoning from “C-2” to “I-1” District		
Purpose:	Rezone to Build Storage Units		
Location address:	3285 E. Fulton		
Comprehensive Plan:	Proposed land use is inconsistent with the Comprehensive Plan		
Sites Existing Zoning:	“C-2” General Commercial District		
Surrounding Zoning:	North “I-1”Light Industrial District South “I-3” Heavy Industrial District (County) East “G-C” General Commercial District (County) West “C-2” General Commercial District		
Land Area:	Contains 1.49acres +/-		
Notice Date:	This project was published and noticed by mail as required by code.		

COMMENTS & REQUIRED IMPROVEMENTS

1. The applicant would like to build a self-storage facility on his lot at 3285 E. Fulton Street. Self-storage is not a permitted use in the “C-2” General Commercial District.
2. Self-storage is a permitted use in the “I-1” Light Industrial District.
3. There is an “I-1” District immediately to the north of the applicant’s property; however, the Comprehensive Plan of the City shows this area as Commercial Potential, not Industrial Potential therefore the Comprehensive Plan should be amended prior to consideration of a rezoning request.
4. Therefore, the applicant also requests consideration of a Comprehensive Plan amendment to show this area as Industrial Potential. The area immediately south of this location is marked for Industrial or Commercial Potential. Staff recommends amending the Comprehensive Plan to show the parcel in question as the same potential.
5. There appears to be a sign on the property that will either need to be updated with the new business or removed so that the parcel will be in compliance with the sign regulations.

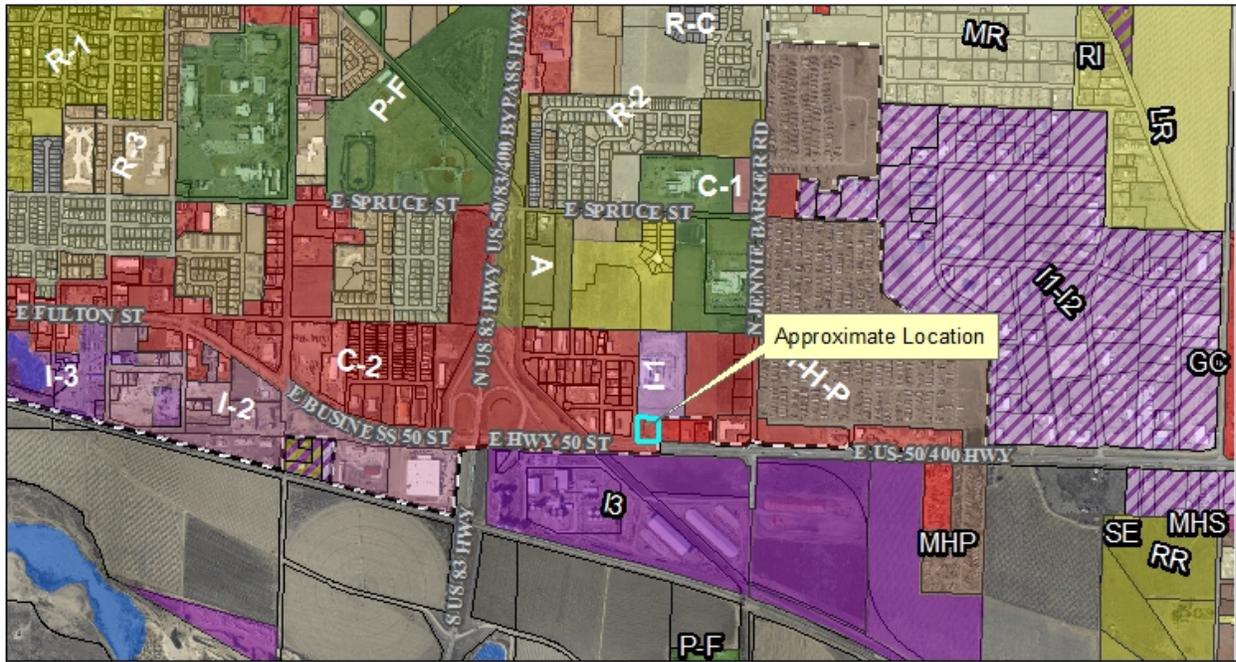
RECOMMENDATION

Staff is unable to recommend approval of the request.

PLANNING COMMISSION RECOMMENDATION: Voted to deny Comprehensive Plan change, therefore, no need to move forward with rezoning.

Present- 7

Comprehensive Plan	Rezoning
Yea - 5	Yea – NA
Nay - 2	Nay -NA



Case Number: GC2013-65
 Applicant: Quang Nguyen
 Address: 3285 E. Fulton
 Request: Rezone from "C-2" to "I-1"





View of Property West of Site



View of Property North of Site



View of Site from the Southwest



View of Site from the Southeast



View of Site from the West



View of Property South of Site



View of Property to the East of the Site

ORDINANCE NO.

AN ORDINANCE APPROVING THE REZONING OF LAND FROM "C-2" GENERAL COMMERCIAL DISTRICT TO "I-1" LIGHT INDUSTRIAL DISTRICT; AMENDING THE ZONING ORDINANCE, THE COMPREHENSIVE PLAN OF THE CITY, AND THE DISTRICT ZONING MAP OF THE CITY; AND REPEALING THE CURRENT ZONING ORDINANCE, COMPREHENSIVE PLAN, AND DISTRICT ZONING MAP; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED by the Governing Body of the City of Garden City, Kansas:

SECTION 1. The Zoning Ordinance of the City of Garden City, Kansas, adopted by Ordinance No. 2528-2011 with all amendments thereto, is hereby amended and shall read as follows:

The boundary of the "I-1" Light Industrial District is hereby amended to include the following described real property:

Commencing at the Southeast Corner of Section 16, Township 24 South, Range 32 West, thence West along the South section line of Section 16 a distance of 1067.89 feet, thence North at an angle of 90°10'30" a distance of 50.0 feet to the point of beginning; thence West at an interior angle of 90°10'30" along the North right-of-way line of U.S. 50 Highway a distance of 250.51 feet, thence North at an interior angle of 89°49'30" a distance of 293.07 feet, thence East at an interior angle of 90°10'30" a distance of 250.51 feet, thence South at an interior angle of 89°49'30" a distance of 293.07 feet to the point of beginning.

SECTION 2. The "Future Land Use Map" of the City of Garden City, Kansas, adopted by Ordinance No. 2469-2010 with all amendments thereto, is hereby amended as follows:

The boundary of the Light Industrial District Potential overlay is hereby amended to include the following described real property:

Commencing at the Southeast Corner of Section 16, Township 24 South, Range 32 West, thence West along the South section line of Section 16 a distance of 1067.89 feet, thence North at an angle of 90°10'30" a distance of 50.0 feet to the point of beginning; thence West at an interior angle of 90°10'30" along the North right-of-way line of U.S. 50 Highway a distance of 250.51 feet, thence North at an interior angle of 89°49'30" a distance of 293.07 feet, thence East at an interior angle of 90°10'30" a distance of 250.51 feet, thence South at an interior angle of 89°49'30" a distance of 293.07 feet to the point of beginning.

SECTION 3. The "Future Land Use Map" adopted by Ordinance No. 2469-2010, as previously existing and amended, be and the same is hereby amended, to be replaced and continue hereafter as amended in this ordinance.

SECTION 4. The District Zoning Map referred to in the Zoning Regulations Article 3, Section 3, of the Garden City, Kansas, adopted by Ordinance No. 2528-2011, as previously existing and amended, be and the same is hereby amended, to be consistent with the amendments set forth herein.

SECTION 5. The current Zoning Ordinance and District Zoning Map of the City of Garden City, Kansas, as previously existing and amended, be and the same hereby are repealed, to be replaced as specified in this ordinance.

SECTION 6. That this ordinance shall be in full force and effect from and after its publication in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 15th day of October, 2013.

DAN FANKHAUSER, Vice -Mayor

ATTEST:

Celyn N. Hurtado,
City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL,
City Counselor

STAFF REPORT
GC2013-69 and 70: Comprehensive Plan Amendment and
Rezone 1706 and 1802 E. Spruce from “C-2” General Commercial to
“P-F” Public Facilities District, Garden City, KS

GENERAL INFORMATION

Date:	August , 2013	Jurisdiction:	Garden City
Owner:	GCCC		
Applicant:	GCCC		
Requested Action:	Comprehensive Plan Amendment and Rezoning from “C-2” to “P-F” District		
Purpose:	Rezone to Build Temporary Housing Units		
Location address:	1706 and 1802 East Spruce		
Comprehensive Plan:	Proposed land use is inconsistent with the Comprehensive Plan		
Sites Existing Zoning:	“C-2” General Commercial District		
Surrounding Zoning:	North “P-F” Public Facilities District South “R-3” Multiple Family Residential District East “R-3” Multiple Family Residential District West “R-2” Single Family Residential District		
Land Area:	Contains 3.30 acres +/-		
Notice Date:	This project was published and noticed by mail as required by code.		

COMMENTS & REQUIRED IMPROVEMENTS

1. The College purchased this property and would like it rezoned to “P-F” Public Facilities District to reflect that uses there will be consistent with the College.
2. The Comprehensive Plan for the City shows this area as Commercial Potential, therefore the Plan should be amended prior to rezoning the property.
3. Any current Environmental Code issues on the property should be resolved prior to rezoning.

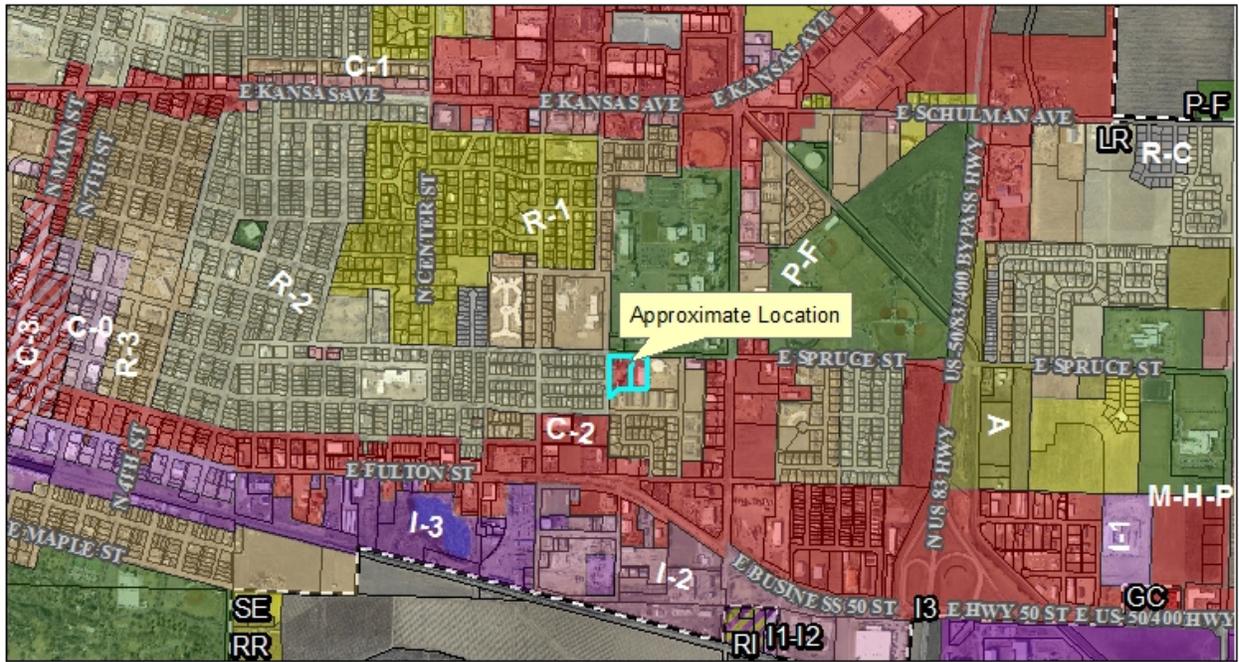
RECOMMENDATION

Staff recommends approval of the Comprehensive Plan amendment request and approval of the rezoning request subject to the approval of the Comprehensive Plan amendment request.

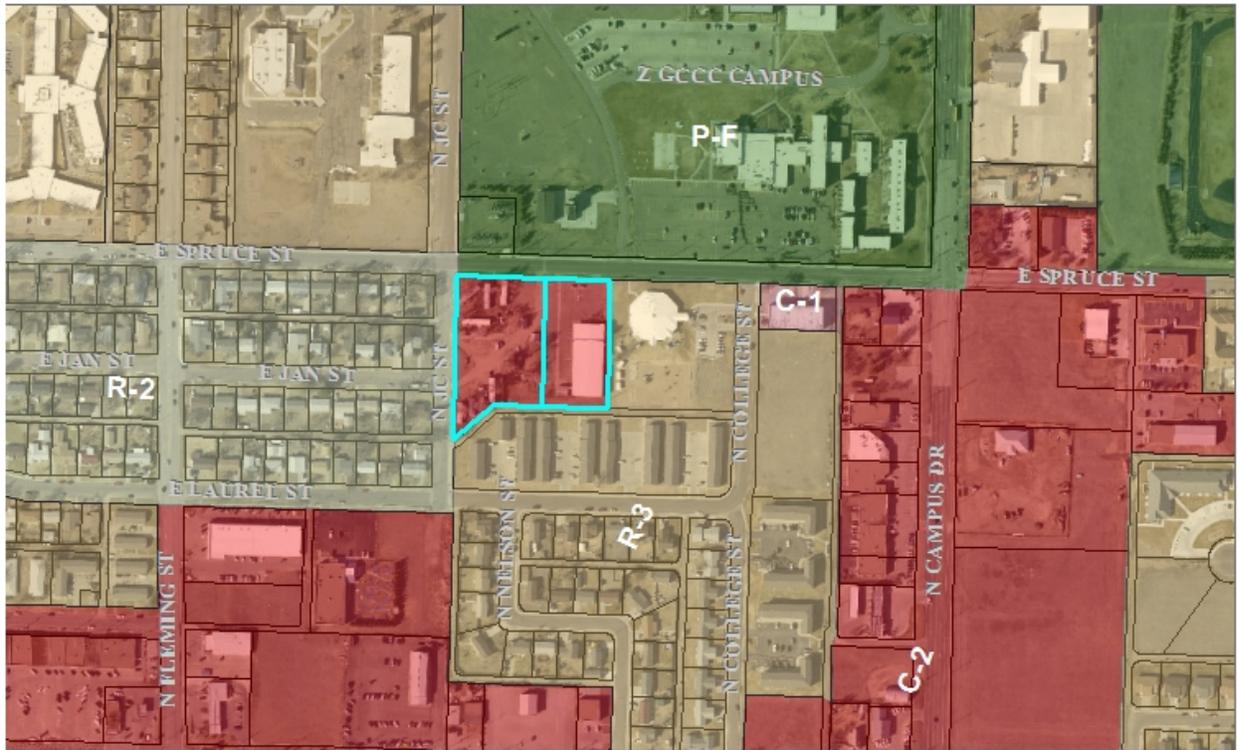
PLANNING COMMISSION RECOMMENDATION: Approved.

Present: 6

Comp Plan Amendment	Rezoning Request
Yea – 6	Yea – 6
Nay - 0	Nay – 0



Case Number: GC2013-70
 Applicant: Garden City Community College
 Address: 1706 & 1802 E. Spruce
 Request: Rezone from "C-2" to "PF"





View of Site from Northwest



View of Property North of Site



View of Property North and West of Site



View of Property West of Site



View of the East side of the Site



View of Site from the Northeast



View of Property East of Site

Environmental Issues on the Property



ORDINANCE NO.

AN ORDINANCE APPROVING THE REZONING OF LAND FROM "C-2" GENERAL COMMERCIAL DISTRICT TO "P-F" PUBLIC FACILITIES DISTRICT; AMENDING THE ZONING ORDINANCE, THE COMPREHENSIVE PLAN OF THE CITY, AND THE DISTRICT ZONING MAP OF THE CITY; AND REPEALING THE CURRENT ZONING ORDINANCE, COMPREHENSIVE PLAN, AND DISTRICT ZONING MAP; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED by the Governing Body of the City of Garden City, Kansas:

SECTION 1. The Zoning Ordinance of the City of Garden City, Kansas, adopted by Ordinance No. 2528-2011 with all amendments thereto, is hereby amended and shall read as follows:

The boundary of the "C-2" General Commercial District is hereby amended to include the following described real property:

The East One Hundred Seventy Feet (E.170') of Skater's Addition to the City of Garden City, Finney County, Kansas.

And

A tract of land located in the North Half of the Northeast Quarter of the Southeast Quarter (N/2NE/4SE/4) of Section Seventeen (17), Township Twenty-four (24) South, Range Thirty-two (32) West of the 6th P.M., in Garden City, Finney County, Kansas, more particularly described as follows: Beginning at a point Thirty (30) feet South of the Northwest corner of the Northeast Quarter of the Southeast Quarter (NE/4SE/4) of said Section Seventeen (17), thence East on a line Thirty (30) feet South of the East/West half section line and parallel to said half section line for a distance of 232.76 feet, more or less, said point being the Northwest corner of Skater's Addition, thence South 00°00'00" East along the West line of said Skater's Addition for a distance of 339.35 feet to a point on the South line of said Skater's Addition, thence Westerly along the South line of said Skaters Addition a distance of 127.24 feet to the Southwest corner of said Skater's Addition, thence Southwesterly on a line bearing South 48°06'45" West for a distance of 141.24 feet to a point on the West line of the North Half of the Northeast Quarter of the Southeast Quarter (N/2NE/4SE/4) of said Section Seventeen (17), a distance of 433.37 feet, more or less, to the point of beginning. The above includes a portion of Skaters Addition lying West of the East One Hundred Seventy (170) feet thereof.

SECTION 2. The "Future Land Use Map" of the City of Garden City, Kansas, adopted by Ordinance No. 2469-2010 with all amendments thereto, is hereby amended as follows:

The boundary of Public Facilities District Potential overlay is hereby amended to include the following described real property:

The East One Hundred Seventy Feet (E.170') of Skater's Addition to the City of Garden City, Finney County, Kansas.

And

A tract of land located in the North Half of the Northeast Quarter of the Southeast Quarter (N/2NE/4SE/4) of Section Seventeen (17), Township Twenty-four (24) South, Range Thirty-two (32) West of the 6th P.M., in Garden City, Finney County, Kansas, more particularly described as follows: Beginning at a point Thirty (30) feet South of the Northwest corner of the Northeast Quarter of the Southeast Quarter (NE/4SE/4) of said Section Seventeen (17), thence East on a line Thirty (30) feet South of the East/West half section line and parallel to said half section line for a distance of 232.76 feet, more or less, said point being the Northwest corner of Skater's Addition, thence South 00°00'00" East along the West line of said Skater's Addition for a distance of 339.35 feet to a point on the South line of said Skater's Addition, thence Westerly along the South line of said Skaters Addition a distance of 127.24 feet to the Southwest corner of said Skater's Addition, thence Southwesterly on a line bearing South 48°06'45" West for a distance of 141.24 feet to a point on the West line of the North Half of the Northeast Quarter of the Southeast Quarter (N/2NE/4SE/4) of said Section Seventeen (17), a distance of 433.37 feet, more or less, to the point of beginning. The above includes a portion of Skaters Addition lying West of the East One Hundred Seventy (170) feet thereof.

SECTION 3. The "Future Land Use Map" adopted by Ordinance No. 2469-2010, as previously existing and amended, be and the same is hereby amended, to be replaced and continue hereafter as amended in this ordinance.

SECTION 4. The District Zoning Map referred to in the Zoning Regulations Article 3, Section 3, of the Garden City, Kansas, adopted by Ordinance No. 2528-2011, as previously existing and amended, be and the same is hereby amended, to be consistent with the amendments set forth herein.

SECTION 5. The current Zoning Ordinance and District Zoning Map of the City of Garden City, Kansas, as previously existing and amended, be and the same hereby are repealed, to be replaced as specified in this ordinance.

SECTION 6. That this ordinance shall be in full force and effect from and after its publication in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 15th day of October, 2013.

DAN FANKHAUSER, Vice -Mayor

ATTEST:

Celyn N. Hurtado,
City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL,
City Counselor



COMMUNITY
DEVELOPMENT
DEPARTMENT
SERVING
GARDEN CITY
HOLCOMB

AND
FINNEY COUNTY
620-276-1170

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Memo

To: City Commission
From: Kaleb Kentner
CC: File
Date: September 19, 2013
Re: GC2013-71: Consideration of an Amendment to the "P-F" Public Facilities District Conditional Use Regulations

ISSUE: Consideration of an amendment to the "P-F" Public Facilities District Conditional Use regulations.

BACKGROUND: Staff has been approached by the Community College about working together to create temporary housing for students until a new dormitory can be built. Staff reviewed the Regulations for the "P-F" District and determined the best course of action would be to amend the Regulations for Conditional Uses to include "Temporary Accessory Uses" so that the Board of Zoning Appeals would be able to set time limitations and other conditional restrictions on the scope and duration of such uses. Otherwise it may be interpreted that such uses may fall under the classification of "Accessory structures and uses to the above listed uses" (Art. 12.020(K)) and the City would not be able to limit the duration of the "temporary" accessory use.

Staff submits the following amendment to Section 12.030 of the Garden City Zoning Regulations:

(D) Temporary Accessory Uses.

Alternatives: The Commission may recommend:

1. Approval of the amendment.
2. Against approval of the amendment.

Recommendation: Staff recommends approval of the amendment.

Planning Commission Recommendation: Approved.

Present: 6

Yea: 6

Nay: 0

ORDINANCE NO. _____-2013

AN ORDINANCE REGULATING THE PUBLIC FACILITIES DISTRICT OF THE ZONING REGULATIONS OF THE CITY OF GARDEN CITY, KANSAS; AMENDING THE ZONING REGULATIONS FOR THE CITY OF GARDEN CITY, KANSAS; AMENDING ZONING REGULATION ARTICLE 12; REPEALING IN ITS ENTIRETY CURRENT ZONING REGULATION ARTICLE 12; ALL TO THE CODE OF ORDINANCES OF THE CITY OF GARDEN CITY, KANSAS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF GARDEN CITY, KANSAS:

SECTION 1. Article 12 of the Zoning Regulations for the City of Garden City, Kansas, is hereby amended to read as follows:

ARTICLE 12

“P-F” PUBLIC FACILITIES DISTRICT

Sections:

- 12.010 Purpose and Intent**
- 12.020 Permitted Uses**
- 12.030 Conditional Uses**
- 12.040 Lot Size Requirements**
- 12.050 Yard Requirements**
- 12.060 Parking Requirements**
- 12.070 Sign Regulations**
- 12.080 Supplemental Development Standards**

12.010 PURPOSE AND INTENT. The Public Facilities District is established for the purpose of providing areas for the location of public and quasi-public uses which utilize relatively large tracts of land. This district is intended to provide recognition of such areas upon the Official District Zoning Map of the City and to reduce the affect which these facilities may have upon zoning and land use statistics in Residential, Commercial, or Industrial Districts.

12.020 PERMITTED USES. Those uses or categories of uses as listed herein, and no others, are permitted in the “P-F” District:

- (A) Community Colleges.
- (B) Recreational activities (Public Only).
- (C) Parks.
- (D) Golf courses.
- (E) Fairgrounds.
- (F) Cemeteries.
- (G) Schools.
- (H) Zoos.

- (I) Governmental services.
- (J) Public libraries, museums, or similar public buildings.
- (K) Accessory structures and uses to the above listed uses.
- (L) Towers.

12.030 CONDITIONAL USES. The following uses and structures may be permitted in the “P-F” District only after they have been reviewed and approved as required by Article 29.

- (A) Mining and quarrying.
- (B) Heliports.
- (C) Private parks (over 5 acres).
- (D) Temporary accessory uses.

12.040 LOT SIZE REQUIREMENTS. Any caretaker dwelling established in conjunction with a permitted use shall have a land area of at least five thousand (5,000) square feet.

12.050 YARD REQUIREMENTS.

- (A) Front Yard. Each lot shall have a twenty-five (25) foot setback, except those lots or parcels adjacent to Residential Districts along the same street frontage shall conform to the requirements of the Residential District.
- (B) Side Yard. There shall be no requirements, except when the lot in the “P-F” District abuts the side or rear yard of a lot in a Residential District, in which case the side yard shall be a minimum of five (5) feet. Corner lots and double frontage lots require front yard setbacks off all adjoining streets.
- (C) Rear Yard. There shall be no requirements, except when the lot in the “P-F” District abuts the side or rear yard of a lot in a Residential District, in which case the rear yard shall be a minimum of twenty (20) feet.

12.060 PARKING REQUIREMENTS. See Article 24.

12.070 SIGN REGULATIONS. See Article 23.

12.080 SUPPLEMENTAL DEVELOPMENT STANDARDS. See Article 22.

SECTION 2. The Zoning Regulations for the City of Garden City, Kansas, Article 12 as previously existing, is hereby repealed, to be replaced as specified in this ordinance. All Zoning Regulation Sections not specifically amended or deleted herein shall remain in full force and effect.

SECTION 3. This ordinance shall be in full force and effect from and after its publication in the Garden City Telegram, the official city newspaper.

APPROVED AND PASSED by the Governing Body of the City of Garden City, Kansas, this 15th day of October, 2013.

DAN FANKHAUSER, Mayor

ATTEST:

CELYN N. HURTADO, City Clerk

APPROVED AS TO FORM:

RANDALL D. GRISELL
City Counselor

Old Business

MEMORANDUM

TO: GOVERNING BODY

FROM: Steve Cottrell

DATE: 10 October 2013

RE: AMERICAN LEGION BUILDING

ISSUE

At the October 1st meeting, the City Commission heard a request from Jeffery Weeast, on behalf of Garden City Arts, concerning an offer to acquire the American Legion Building. A written proposal has been submitted for Governing Body consideration.

BACKGROUND

The RFP process undertaken the latter part of 2012 and early 2013 ended with no decision on use or disposition of the property. That process had some deficiencies which became apparent over time. Last June, staff was directed to have the building appraised to set a value for outright sale of the building. On September 6th, the Governing Body set the listing price of the building at \$60,000.

Community Development staff has shown the building to several interested parties, but no other formal offers have been submitted.

During the Public Comment portion of your last regular meeting, Jeffery Weeast, representing the Garden City Arts, made a presentation on use of the building for an art gallery, and requested Governing Body consideration of accepting \$1.00 for the property. They were asked to submit a written proposal, which has been submitted for Governing Body consideration.

ALTERNATIVES

- 1) The Governing Body may accept the proposal from Garden City Arts.
- 2) The Governing Body may make a counter offer to Garden City Arts.
- 3) The Governing Body may reject the Garden City Arts proposal and continue marketing the property for sale at the \$60,000 price previously determined.
- 4) The Governing Body could defer action until a later date.

RECOMMENDATION

Staff requests direction from the Governing Body regarding this matter.

FISCAL

The fiscal impact to the City could be positive from revenues received from the sale the property, and from the avoidance of further expense in maintenance.



Engineering Department

Steven F. Cottrell, P.E.,
City Engineer

C.W. Harper, P.E.
Assistant City Engineer

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**Garden City Arts Proposal to the
City of Garden City for the
Purchase of the Former American Legion Building**

SUMMARY

Garden City Arts, a 501(c)(3) art organization, makes the offer to the City of Garden City to purchase the former American Legion Building for the price of \$1.00. Garden City Arts intends to assist in the revitalization of Garden City Downtown by creating an artistic center in an underutilized building near the hub of Downtown. Garden City Arts initially intends to renovate the upstairs of the building for use as a Gallery. ADA compliance issues for the public space will be addressed in the first stages of the renovation. In the future, Garden City Arts will maximize and repurpose the downstairs to allow for staff office space, workshop areas and studios for artists in residence.

Garden City Arts is committed to the integrity of the building. Garden City Arts will seek nomination to the Historic Register to assist in the renovation of the building and preserving the spirit of the building.

Garden City Arts intends to have the Gallery open to the public within 3-6 months of acquiring the building.

HISTORY OF GARDEN CITY ARTS

**The mission of the Garden City Arts is to enrich lives and encourage creativity
through the arts.**

Founded in 1989, Southwest Arts & Humanities Council (SAHC) came about after approximately a year of community discussion and a perceived need for an arts council with a non-profit status. The community recognized the value of several arts entities, including the Sandhills Arts Association, the Piano Guild, Skip Mancini at GCCC, Southwest Kansas Live on Stage, a small gallery at GCCC, and the recreation commission — very much the same as today. What was lacking was a central organizational group or structure to pull the organizations together to assist each other.

Out of the early meetings and initial community needs assessments, the council has enhanced our city in the following ways:

- ❖ Initiated an arts “Calendar” for the community. This calendar included events in Liberal, Dodge City and smaller communities in Southwest Kansas, and was distributed to many of our local businesses and mailed to the membership and other communities in Southwest Kansas.
- ❖ An Artist in Residency Program was initiated. This program began after noting a lack of elementary art education in Garden City. Grants were written and matching funds were procured by USD 457 and a new program developed. Without SAHC it is doubtful that our children would be experiencing art, for it is now being taught in all grade levels in

USD 457. Thanks to this organization this was a major life enhancing project for this community.

- ❖ Lon and Donna Wartman, along with Bonnie Talley and Dave Sweley worked to initiate the inaugural Tumbleweed Festival. The Southwest Arts and Humanities Council stayed with that group for about one year. The Tumbleweed Festival remains a strong, vital community event for the city.
- ❖ The Banner Art Auction was initially created by SAHC before being passed on to Bev Glass at Downtown Vision.
- ❖ In 2001, the group opened its Main Street gallery, the ArtsCenter on Main. Last year, marked the 10th anniversary and our 11th year has seen growth in activities, traffic and funding .
- ❖ Over the years, the sculpture committee has worked to fund and install seven public art displays, six of which are sculptural with one mural. These installments have added to the aesthetic value of our downtown area.
- ❖ Each year the organization's film committee selects 10 films to show in their Second Friday Film series. The movies would otherwise not be seen in Garden City and are made available to the public free of charge.

Most recently, Southwest Arts & Humanities Council changed its name to Garden City Arts. Our mission remains, to enrich lives and encourage creativity in the arts. While the organization has dealt with recession and elimination of state funding, it maintains its vision to improve our community. We have a vision for a vibrant, thriving arts district in Downtown Garden City, one that bring visitors willing to shop with our local retailers.

PRESENT AND FUTURE OF GARDEN CITY ARTS

Garden City Arts is proud of the bright future ahead. While we look at a diversity of events to bring to Garden City, we know we can do more.

Garden City Arts is currently led by its Executive Director, Laurie Chapman, and a volunteer Board of Directors which includes: Lara Bors, President; Nancy Harness, Vice-President; Elizabeth Baker, Secretary; Risa DeVaney, Treasurer; Juliann Morland DaVee, Corresponding Secretary; Jeffrey Weeast, Past President; Deb Huber, Dominic Varricchio, Julie Nelson, Caitlyn Hanneman, and Katy Hopson as Board Members.

Below, is the calendar for Garden City Arts for the next six months – with no facility changes:

October

- 8, 15, 22, 29 - Garden on the Gogh (workshop for at-risk students)
- 10, 17, 24 - Walls & Halls workshop (students between 4th and 12th grade)
- 12 - Coffee at the Gallery in conjunction with multi-cultural conference
- 17 - Third Thursday - reception for Shift Center
- 18, 24, 25 - Art Days (all-day workshop for students on district in-service days)
- 25 Latino Writer's Collective student poetry workshop & public reading

November

- 1 - VIP reception for Day of the Dead 5:30 p.m., exhibit reception 6 to 8
- 2 - Dia de los Muertos/Day of the Dead Arts & Culture Festival 3-11 p.m.
- 3 - Exhibit at Finney County Historical Society from 1:30 - 3 p.m.
- 5, 12, 19 - Garden on the Gogh student workshop - *class size limited to 25*
- 7, 14, 21 - Walls & Halls student workshop - *class size limited to 25*
- 16 - Becoming VanGogh - program for Girl Scouts - *limited to 30 girls*
- 21 - Third Thursday - artist workshop - *class size limited to 12*

December

- 3 and 10 - Garden on the Gogh student workshop
- 5 and 12 - Walls & Halls student workshop
- 7 - artist reception from 4 to 6 p.m.
- 14 - Inocente - documentary screening, student art reception/fundraiser
- 19 - Third Thursday - artist workshop

January

- 6 - Art Days - *Class is limited to 20 students*
- 14, 21, 28 - Garden on the Gogh student workshops
- 16, 23, 30 - Walls & Halls student workshops
- 17 & 18 - Mystery at the Gallery - Girl Scout sleep over event - *limited to 30*
- 21 - Annual meeting
- 24 - Art Days

February

- 4, 11, 18, 25 - Garden on the Gogh student workshop
- 6, 13, 20 - Walls & Halls student workshop
- 15 - Amore - Funding for the arts
- 21, 27, 28 - Art Days
- 23 - Night with Oscar - dinner to coincide with Academy Awards - *limit 20*

March

- 4, 11, 18, 25 - Garden on the Gogh student workshop
- 6, 13, 20, 27 - Walls & Halls student workshop

Oh, but what Garden City Arts could do with a larger facility to accommodate this and much more. Should the City of Garden City agree with this proposal, below is what Garden City Arts believes it can do in the next six months:

October

- 8, 15, 22, 29 - Garden on the Gogh (workshop for at-risk students)
- 10, 17, 24 - Walls & Halls workshop (students between 4th and 12th grade)
- 12, 19, 26 - *Early stART (workshop for younger children, ages 3-6)***
- 12 - Coffee at the Gallery in conjunction with multi-cultural conference
- 17 - Third Thursday - reception for Shift Center

18 - Wine, Women & Watercolors - learn to paint workshop

18, 24, 25 - Art Days (all-day workshop for students on district in-service days
25 Latino Writer's Collective student poetry workshop & public reading

November

1 - VIP reception for Day of the Dead 5:30 p.m., exhibit reception 6 to 8
2 - Dia de los Muertos/Day of the Dead Arts & Culture Festival 3-11 p.m.
3 - Exhibit at Finney County Historical Society from 1:30 - 3 p.m.
5, 12, 19 - Garden on the Gogh student workshop - **3 classes of 20**
7, 14, 21 - Walls & Halls student workshop - **3 classes of 20**
9, 16, 23 - Early stART (workshop for younger children, ages 3-6)
15 - Wine, Women & Watercolors workshop - **class of up to 40**
16 - Becoming VanGogh - program for Girl Scouts - **could register 60 girls**
21 - Third Thursday - Fireside concert
22 - artist workshop - **class for 40-50**

December

3 and 10 - Garden on the Gogh student workshop
5 and 12 - Walls & Halls student workshop
7, 14, 21 - Early stART (workshop for younger children, ages 3-6)
7 - artist reception from 4 to 6 p.m.
14 - Inocente - documentary screening, student art reception/fundraiser
19 - Third Thursday - Fireside concerts
20 - artist workshop

January

6 - Art Days - **Class is limited to 50 students**
11, 18, 25 - Early stART (workshop for younger children, ages 3-6)
14, 21, 28 - Garden on the Gogh student workshops
16, 23, 30 - Walls & Halls student workshops
16 - Third Thursday - Fireside concerts
17 & 18 - Mystery at the Gallery - Girl Scout sleep over event - **limited to 60**
21 - Annual meeting
24 - Art Days

February

4, 11, 18, 25 - Garden on the Gogh student workshop
6, 13, 20 - Walls & Halls student workshop
15 - Amore - Funding for the arts
21, 27, 28 - Art Days
23 - Night with Oscar - dinner to coincide with Academy Awards - **limit 50**

March

4, 11, 18, 25 - Garden on the Gogh student workshop
6, 13, 20, 27 - Walls & Halls student workshop

FUTURE HOME OF GARDEN CITY ARTS

Garden City Arts is poised to take on the renovation of the former American Legion Building through funds currently in its coffers and significant fundraising efforts and grants. We hope to also begin a capital campaign to recognize those who support the revitalization effort. The process will occur in several phases, but most importantly, keep the integrity of the building.

PHASE ONE:

Estimated Completion Time: 3-6 months

Anticipated Costs: \$7,000 plus labor

Project Goals: On the main floor: remove current flooring, unnecessary items such as bar, partitions near restrooms; remove shelving in basement; clean up exterior landscaping and debris; paint interior of main floor with the possibility of painting lower level; replace missing ceiling tiles; install new lighting; make restroom and entrance ADA compliant.

PHASE TWO:

Estimated Completion Time: one year after Gallery opening

Anticipated Costs: \$20,000 to \$50,000 plus labor

Project Goals: New flooring in Gallery and lower level; additional landscaping outside; revitalize historical importance of building exterior; set up and construct workshop areas in lower level; set up and construct Artist in Residence studios; address ADA compliance for lower level; updates to water heater and HVAC units if necessary.

PHASE THREE:

Estimated Completion Time: Second year after Gallery opening

Anticipated Costs: \$10,000 to \$25,000 plus labor

Project Goals: Continued revitalization of building exterior; Upgrades to Gallery such as lighting upgrades, permanent art installations in, around or on the building.

PHASE FOUR:

Estimated Completion Time: Third year after Gallery opening

Anticipated Costs: \$10,000 to \$30,000 plus labor

Project Goals: Finishing touches to the Gallery, workshops and studios.

COMMUNITY SUPPORT

The Garden City Telegram's weekly poll beginning October 2, 2013, is with regard to this proposal. As of October 3, 2013, almost 70% of those polled support the proposal of Garden City Arts. Attached are letters of support from the Downtown Businesses also supporting the proposal of Garden City Arts.

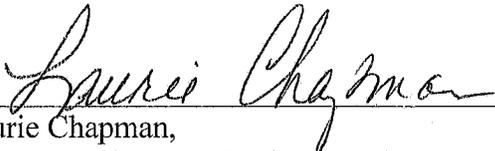
PROPOSAL

Garden City Arts hereby offers to the City of Garden City to purchase the former American Legion building for the purchase price of \$1.00 subject to the property passing inspection.

WHY GARDEN CITY ARTS?

The former American Legion Building is an incredible asset to Garden City – one that will hopefully be enjoyed not only by the residents of Garden City, but residents of Southwest Kansas and beyond. This move will be a tremendous asset to the booming economy that Garden City is enjoying. By approving this proposal, you will have the legacy of seeing Garden City with an Arts Center that many of us have only dreamed about – not only for visual arts but for the performing arts, literature and so much more. Placing this building in the hands of a stable, long-standing arts group will benefit the community for generations to come.

Thank you for your consideration.



Laurie Chapman,
Executive Director, Garden City Arts



Lara Bors,
President, Garden City Arts

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Edward L. Drumick



We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,



*owner Mark's Garage Inc
509 N. Main*

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in cursive script that reads "Kim D Robinson".

Kim D Robinson
Robinson Alignment Inc

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,



Jon Craig
Attorney at Law

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in cursive script, reading "Annett Weigelt". The signature is written in black ink and is positioned below the word "Sincerely,".

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in cursive script, reading "Rosi Sina". The signature is written in black ink and is positioned below the word "Sincerely,".

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,


Bors Properties

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,



G. Edward Jones



William Brown, Bergner & Douglas

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in black ink, appearing to read "L. C. Adams". The signature is written in a cursive style with a large initial "L" and a long horizontal stroke at the end.

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

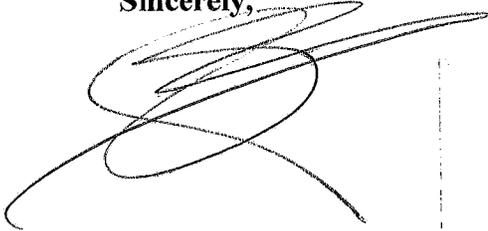
A handwritten signature in cursive script, appearing to read "Paul M. Lewis", with a horizontal line extending from the end of the signature.

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,



Quality Bikes, Parts, Service & Accessories



Randy Bartel

207 N. Main (620) 275-8580
Garden City, KS 67846 1-800-953-8580
Email: sales@thebikerackinc.com

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

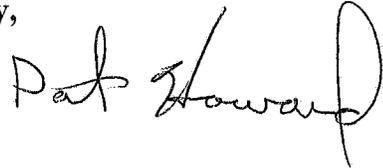
Melissa Gallegos
Western Kansas Community Foundation

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in cursive script that reads "Pat Howard". The letters are fluid and connected, with a prominent loop at the end of the word "Howard".

Pat Howard

Paraclete

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

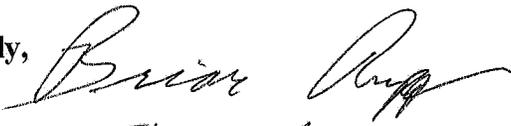
Sincerely,

*John Rybak
(Rybak & Barber shop)*

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely, 
The Good Sport

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in black ink, appearing to read "Joshua A. White". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Exclusive Barber Shop + Spa

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Marla Linenberger
Jeff

Linenberger Jewelry
404 N. Main

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

*Coleen Rupp
Coleen's Trophies + Gifts*

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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Sincerely,

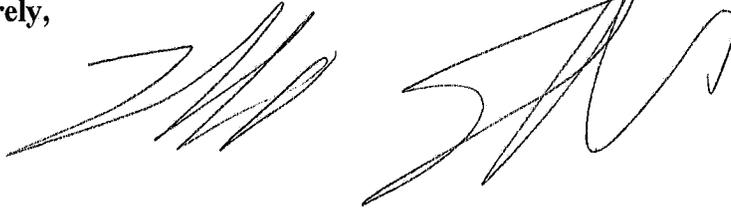
*R. J. Sporting Goods - I am in favor -
Mary Beth Spellman*

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Two handwritten signatures in black ink. The first signature is on the left and the second is on the right, both appearing to be cursive and somewhat stylized.

Mo Silva

MJ Barber Shop

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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Sincerely,

Bill Nelson

B&J Collectibles

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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Sincerely,

Heather Davis Davis Designs 

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We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Mike Regan
Mike Regan
Regan & Co. Real Estate
10/3/13

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Melissa Blair
MAIN ST. SALON + SPA

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We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

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Sincerely,

Richard A. Gerber
Gerber Commodities

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GC Arts plan to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Joan Lohmeyer
The Family Bookhouse

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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Sincerely,

Preciosa Fashion
Maria alvarado

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

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We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

A handwritten signature in cursive script, appearing to read "Louie Alterations", written in black ink. The signature is fluid and connected, with a long horizontal stroke extending from the end of the word.

Louie Alterations

October 3, 2013

We, as members of the Garden City business community and neighbors of the former American Legion Building, support the Garden City Arts in its proposal to acquire the building for a nominal fee.

We support the GCA plans to open the building as a gallery and future space for art workshops and activities.

We encourage the City Commission to accept the Garden City Art's proposal.

Sincerely,

Kathleen L. Kunney Kunney Glass Inc.
Linda D. Bull FCEDC
Roxanne Morgan



318 North Main Street
Garden City, KS 67846
620.260.9700
gardencityarts@gmail.com
<http://gardencityarts.wix.com/gallery>
www.facebook.com/GardenCityArts


*The mission
of the
Garden City Arts is
to enrich lives and
encourage creativity
through the arts.*


**2013 BOARD
OF DIRECTORS:**

Lara Bors, *president*
Nancy Harness, *vice-president*
Elizabeth Baker, *secretary*
Risa DeVaney, *treasurer*
Juliann Morland-DaVee,
corresponding secretary
Jeffrey Weeast,
past president

Members
Deb Huber
Dominic Varricchio
Julie Nelson
Caitlyn Hanneman
Katy Hopson

Laurie Chapman,
executive director
Alberto Hernandez-Martinez,
part-time gallery attendant

New Business



To: City Commission
From: Rachelle Powell
Date: October 11, 2013
RE: Airport Advisory Board Appointments

Issue

The Airport Advisory Board has three appointees with terms expiring 12/31/2013.

Background

The three appointees are Ken Frey, Charlie Robinson, and Darin Germann. All three appointees requested to be reappointed on the Airport Advisory Board for a second (3-year) term.

Staff hasn't received any new applications, but has two applications on file for Edward Ziegler and Matt Kirchoff.

Alternatives

The City Commission shall consider the following alternatives:

1. Reappointment of Ken Frey, Charlie Robinson and Darin Germann
2. Deny reappointments of Ken Frey, Charlie Robinson and Darin German
3. City Commission recommendation of appointments and/or reappointments

Recommendation

The Airport Advisory Board met on October 10th and provided the following recommendations:

1. Recommendation to the City Commission to reappoint Ken Frey, Charlie Robinson, and Darin Germann with terms 01/01/2014 – 12/31/2017.

Fiscal Note

None

MEMORANDUM

TO: City Commission
FROM: James R. Hawkins, Chief of Police
DATE: October 1, 2013
SUBJECT: Police / Citizen Advisory Board Recommendation



I am recommending Brandon Neeb be accepted to serve as a new member of the Police/Citizen Advisory Board to represent the Schools.

The board would welcome Mr. Neeb as a new member. Brandon is currently employed at Victor Ornelas as a fourth grade teacher.

If approved the Police/Citizen Advisory Board would be left with nine vacancies; GCCC Student, High School Student, Senior Citizen, Homemaker, Religious Community, Business, School, African American and Hispanic Representatives.

Your thoughtful consideration is appreciated.

James R. Hawkins
Chief of Police

Consent Agenda

MEMORANDUM

TO: GOVERNING BODY

FROM: Steve Cottrell

DATE: 8 October 2013

RE: 2014 CRACK SEALING BIDS

ISSUE

Bids were received today for the 2014 Crack Filling project. The bid summary is attached.

BACKGROUND

The work is for crack filling the streets which will be sealed next year. The streets covered under this project are in Cycle 1 and are shown on the attached map.

This is a budgeted item in 2014. The low bidder, Circle C Paving & Construction, LLC, Goddard, is a new contractor to Garden City; however, they have been doing crack filling for several years. The \$165,715.20 cost is under the budgeted amount. The unit cost of \$0.959 per pound compares to \$0.92 per pound for 2013.

ALTERNATIVES

The Governing Body may accept the bid and award the contract or reject the bid.

RECOMMENDATION

Staff recommends awarding the contract to Circle C Paving & Construction, LLC, Goddard, in the amount of \$165,715.20, and authorizing the Mayor and City Clerk to execute the contracts when the Contractors have provided all documents.

FISCAL

The funding for this work is included in the 2014 Special Trafficway Budget.

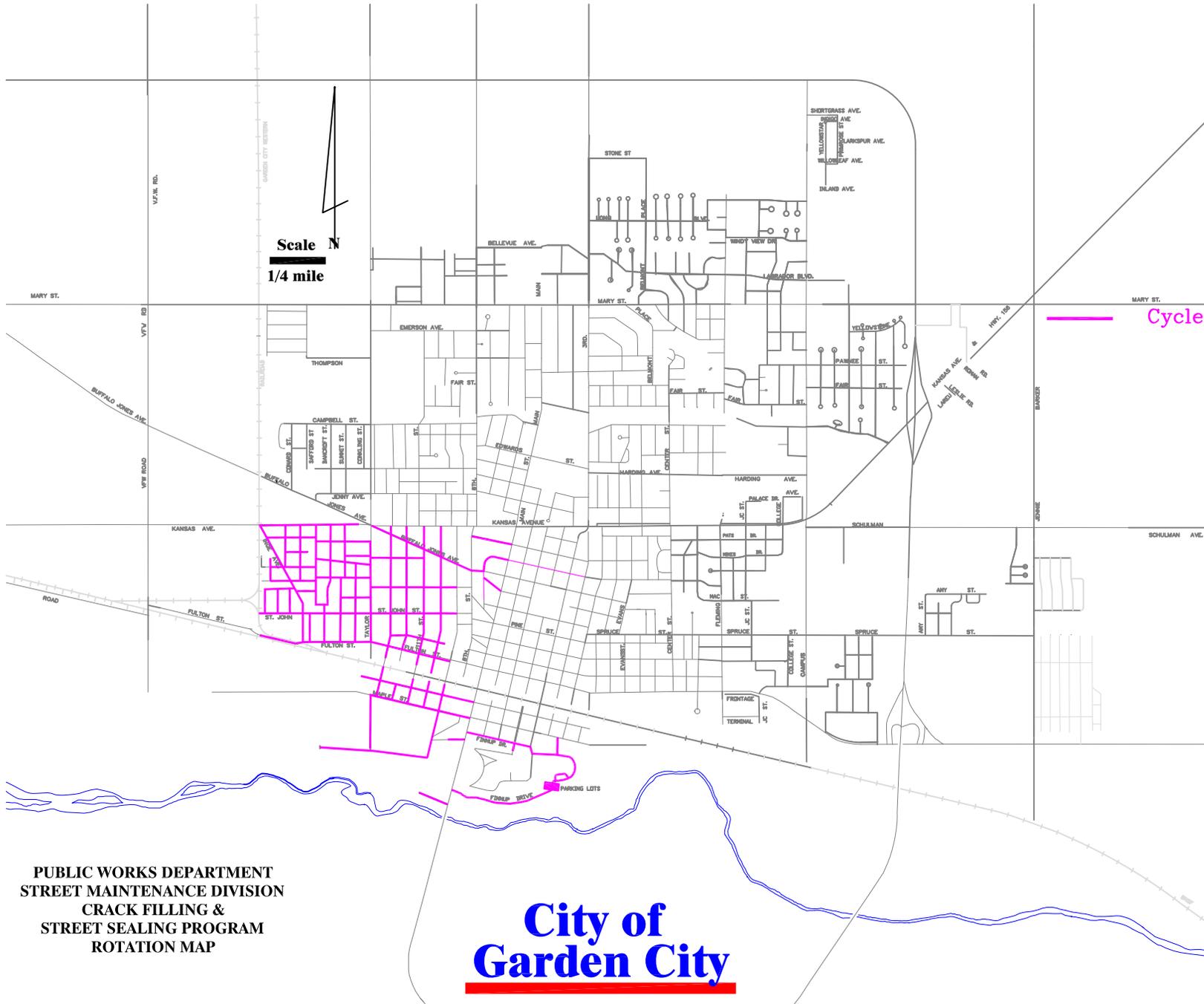


Engineering Department

Steven F. Cottrell, P.E.,
City Engineer

C.W. Harper, P.E.
Assistant City Engineer

CITY ADMINISTRATIVE
CENTER
301 N. 8TH
P.O. BOX 998
GARDEN CITY, KS
67846-0998
620.276.1130
FAX 620.276.1137
www.garden-city.org



**PUBLIC WORKS DEPARTMENT
STREET MAINTENANCE DIVISION
CRACK FILLING &
STREET SEALING PROGRAM
ROTATION MAP**

**City of
Garden City**

**Crack Sealing 2014 Project
 Cycle 1**

BIDDER	Unit Cost Per Pound	Total Cost 172,800 Pounds	COMMENT
Circle C Paving & Construction LLC Goddard	\$ 0.96	\$ 165,715.20	LOW
B&H Paving, Inc. Scott City	\$ 0.99	\$ 170,899.20	
Scodeller Construction Lee's Summit MO	\$ 1.23	\$ 212,544.00	
American Pavemtn Solutions, Inc. Green Bay WI	\$ 1.39	\$ 240,192.00	



MEMORANDUM

TO: Governing Body

THRU: Matt Allen, City Manager

FROM: Mike Muirhead, Public Utilities Director

DATE: October 7, 2013

RE: IDEATEK Services Agreement

ISSUE:

The Electric utility requires a communications link (fiber optics) from the following facilities to ensure proper operation and reporting; the Wastewater Treatment Plant (WWTP), The Jameson Energy Center (JEC), Substations #10 and #11, the Electrical Service Center and City Hall (IT Department)

BACKGROUND:

With the development of the Electrical Divisions' Supervisory Control and Data Acquisition System (SCADA), it is necessary to electronically connect several facilities together to report the data to the SCADA Master Station located at the Electrical Service Center. Staff has been working with the Information Technology (IT) Department to evaluate the most effective system to install, or have installed and lease. It has been determined that the lease approach with a 5 year term with IDEATEK is the most cost effective and electronically reliable system for the needs of the utility. It also has the capability for future expansion should it be determined to be necessary.

ALTERNATIVES:

Approve the Service Level Agreement with IDEATEK
Do not approve the Service Level Agreement with IDEATEK

RECOMMENDATION:

Staff recommends approval of the Service level Agreement with IDEATEK

FISCAL NOTE:

Funding for the installation (\$39,500) and the monthly fee (\$500) is covered within the 2013 electrical fund budget.

CITY COMMISSION

DAN FANKHAUSER,
Mayor

ROY CESSNA

MELVIN DALE

JANET DOLL

CHRIS LAW

MATTHEW C. ALLEN
City Manager

MELINDA A. HITZ, CPA
Finance Director

RANDALL D. GRISELL
City Counselor

CITY ADMINISTRATIVE
CENTER
301 N. 8TH
P.O. Box 998
GARDEN CITY, KS
67846-0998
620.276.1160
FAX 620.276.1169
www.garden-city.org



IDEATEK

www.IdeaTek.biz

Terms and Conditions and Service Level Agreement
IdeaTek Systems, Inc.

1. **Payment** Customer shall pay for all monthly service charges. Unless stated otherwise herein, monthly charges for Services shall begin upon installation. Provider shall notify customer when installation / activation of Service is complete. Any amount not received by the due date shown on the applicable bill will be subject to interest or a late charge at the maximum rate allowed by law. Customer shall pay the monthly fees specified in the "General Agreements" section of this contract for the use of the Services. Taxes will be separately stated on the Customer's invoice. If Customer is tax-exempt under Federal or state law, Customer may submit to Provider a tax-exempt certificate which is valid with the appropriate taxing authority and Provider will not assess the applicable tax to Customer. Customer shall notify Provider if Customer's tax-exempt status changes during the term of this Agreement. No interest will be paid on deposits.
2. **Use** Customer may use the Services for any lawful purpose, provided that such purpose does not interfere with or impair service or the privacy of any communication over any of the facilities and equipment comprising the Provider networks.
3. **Service Date and Term** This Agreement shall be effective upon execution by the parties. Services shall be provided for the applicable term specified in the "General Agreements" section of this contract. Provider shall use reasonable efforts to make the Services available by the requested service date in this Agreement. Provider shall not be liable for any damages whatsoever resulting from delays in meeting any service dates due to delays resulting from normal construction or for reasons beyond its control. If Service is provided on a month-to-month basis, Service shall continue until cancelled in writing by Customer. If Service is provided for a specific term as set forth in this Agreement, then Customer may terminate Service by providing 30 day advanced written notice to Provider, however, Customer may be subject to a termination liability as set forth in Section 8 of this Agreement unless the termination is due to default or breach of this Agreement by Provider. This contract shall automatically renew for subsequent one year terms once after the first renewal period expires unless either party notifies the other in writing 90 days prior to the subsequent termination date.
4. **Customer Responsibilities** Customer is responsible for arranging all necessary rights of access within the Service premises, including space for cables, conduits, and equipment as necessary for Provider-authorized personnel to install, repair, inspect, maintain, replace or remove any and all facilities and equipment provided by Provider. Such access shall include provision for 24/7 access to said equipment and facilities and, if necessary, temporary provisioning of cable and electronic equipment. Customer shall provide a secured space with electrical power, climate control and protection against fire, vandalism, and other casualty for Provider's equipment. Customer shall use the Services in compliance with all applicable laws and ordinances, as well as applicable leases and other contractual agreements between Customer and third parties.
5. **Equipment** Customer agrees that Provider shall retain all rights, title and interest to facilities and equipment installed by Provider thereunder and that Customer shall not create or permit to be created any liens or encumbrances on such equipment. Upon disconnection of the Services, Provider shall remove its equipment and shall have the right, but not the obligation, to remove all other Provider owned facilities from any applicable premises. Provider shall use reasonable efforts to maintain the Services at no cost to Customer provided, however, that Provider shall have no responsibility for the maintenance or repair of facilities and equipment it does not furnish and Provider may assess Customer a charge for any service call when no trouble is found in Provider's facilities.
6. **Default** If Customer fails to comply with any material provision of this Agreement, including, but not limited to failure to make payment as specified, and if such failure continues for ten (10) days after Provider gives written notice to Customer of same, then Provider, at its sole option, may elect to pursue one or more of the following courses of action: (i) terminate this Agreement whereupon all sums then due and payable shall become immediately due and payable, (ii) suspend all or any part of Services, and/or (iii) pursue any other remedies as may be provided at law or in equity, including the applicable termination liabilities in Section 8. Provider shall be in Default under this Agreement if it fails to comply with the terms of this Agreement and such failure continues for ten (10) days after Customer gives written notice to Provider.

7. **Limitations of Liability** If the Service is unavailable, interrupted, degraded, or experiences a service interruption or outage for any reason, Customer’s sole and exclusive remedy shall be the credit allowances in Section 9 or its right to terminate this Agreement as provided herein. Provider shall not be liable for any damages for services or equipment of others or for any act or omission of any entity furnishing to customer services or equipment used with the services. Provider shall be entitled to take and shall have no liability for any action necessary, including disconnection, to bring the services into conformance with any governmental mandate. In no event shall Provider be liable for any special, consequential, indirect, exemplary or punitive damages as a result of its performance or nonperformance of this Agreement.

8. **Termination** Customer, at its sole option, may terminate this Agreement for any reason, provided, however, that all sums for Services rendered shall become immediately due and payable. If Services are subject to a specific term as set forth in this Agreement, Customer shall be liable for a termination liability which shall be equal to all charges for Services rendered to date of termination; plus the monthly recurring charge (MRC) for Services for the remaining term selected by Customer. Termination of service must be in writing and provided at least 30 days ahead of requested termination date.

9. **Service Interruptions/Credit Allowances** Service Interruption is a loss of Services or a degradation of signal to the Customer that adversely affects the ability of Customer to use the Services. A credit allowance will be given when the Service is interrupted, except as specified below. A Service Interruption is not a Default under this Agreement but may entitle Customer for credit allowances as provided herein. An interruption period begins when Customer reports an interruption in Service to Provider. Credit allowances shall not apply to interruptions: (i) caused by Customer and/or its employees, contractors, subcontractors, vendors or agents, (ii) due to failure of power or other equipment provided by Customer or others; (iii) during any period in which Provider is not allowed access to the Service premises; (iv) due to maintenance and repair operations scheduled in advance with Customer; (v) caused by fiber cuts or other wiring cuts on the premises of Customer (unless caused by Provider); (vi) caused by an outage in Customer’s internal network, internal wiring, Private Branch Exchange (PBX) or multiplexers; (vii) caused by an outage in Customer’s long distance provider’s network or switching equipment; or (viii) force majeure.

<u>Interruption Length</u>	<u>MRC Credit</u>
Minimum 1 hour	1 day credit
More than 1 hours	1/2 day of credit for each 3 hours

The Service Interruption Credit amount will be based upon the MRC for the Services affected by the Service Interruption as reasonably determined by Provider. For an example, if the Customer has a multi-site network and experiences a loss of service for more than 1 hour to one site on that network, Customer will be issued a credit, as described above, based upon the MRC applicable to the affected site only. All credits for Service Interruptions must be requested by Customer within 10 business days of Service Interruption and request must be made to Provider’s Customer Service Department. Please include your Trouble Ticket number for credit verification. In no event shall the Credit allowance to Customer in any thirty (30) day period exceed one month’s MRC.

10. **Indemnity**. Provider, its affiliates, and each of their respective owners, directors, employees, officers and agents shall be indemnified, defended and held harmless by Customer against all claims, suits, proceedings, expenses, losses, liabilities or damages (collectively “Claims”) arising from use of Services pursuant to this Agreement involving: (i) Claims of third parties, including patrons or end users of Customer, arising out of, resulting from, or related to the Customer’s resale or attempted resale of the Services; (ii) Claims for libel, slander, invasion of privacy, or any infringement of copyright or other intellectual property rights arising from any communication using the Services; (iii) claims arising out of any act or omission of Customer, or end users of Customer, in connection with the Services made available to Customer. Customer agrees to defend Provider against any such Claims and to pay, without limitation, all litigation costs, reasonable attorneys’ fees and court costs, settlement payments, and any other damages awarded or resulting from any such Claims to the extent allowed by law.

11. **Assignment** Either party may assign this Agreement to any entity merging with a party, or to any entity acquiring substantially all of the assets of a party upon prior notice to the other party, and provided that the assignee shall agree to be bound by the terms and conditions of this Agreement. Except as otherwise provided in this Section 11, neither party may assign any of the rights, privileges or obligations conveyed under this Agreement without first obtaining the written consent of the other party, which consent shall not be unreasonably withheld.

12. **Warranties** There are no agreements, warranties or representations, express or implied, either in fact or by operation of law, statutory or otherwise, including warranties of merchantability and fitness for a particular purpose, relating to the Services except those expressly set forth herein.

13. **Regulatory Authority-Force Majeure** This Agreement may be subject to filing with the regulatory authority with jurisdiction over the Services. If this Agreement is required to be filed, Customer shall execute such additional forms as are reasonably necessary to permit Provider to make an appropriate filing. In some states, this Agreement may not be effective until approved by such regulatory authority. If this Agreement and/or the related filing documents are not approved by the applicable regulatory authority, Provider may terminate this Agreement. This Agreement and the obligations of the parties shall be subject to modification to comply with all applicable laws, regulations, court rulings, administrative orders, as amended. Additional terms and conditions contained in tariffs on file with regulatory authorities are incorporated herein. In no event shall either party have any claim against the other for failure of performance if such failure is caused by acts of God, natural disasters including fire, flood, or winds, civil or military action, including riots, civil insurrections or acts of terrorists or the taking of property by condemnation.
14. **Network Availability**. The Provider network shall be available for use by Customer with the Services provided under the Agreement at least 99.999% of the available time ("Network Availability"). This parameter is calculated by dividing the number of minutes that the Services are available for Customer's use by the total number of minutes in each calendar month and multiplying by 100. In calculating Network Availability, the reasons or causes set forth in Section 9 of this Agreement shall not be included in determining whether Provider has met the applicable performance standard for Network Availability.
15. **Trouble Reports**. Provider shall maintain an 24 hours a day 7 days a week point-of-contact for staff to report service troubles, outages or service interruptions. Trouble Reports received by Provider will be responded to within one (1) hour after receipt of the Trouble Report. Provider will endeavor to cure the issue addressed in the Trouble Report within two (2) hours after receipt of the Trouble Report.
16. **Service Installation**. Provider shall use commercially reasonable effort to install, provision and make the Services available for Customer's use within time frame estimates provided to customer at time of installation. Service availability shall mean that Provider has completed its obligations to install the Provider equipment and facilities set forth in the Agreement necessary to provide Customer the Services. Installation Delays outside of Provider's control may occur from time to time and in this event Provider will notify customer.
17. **Miscellaneous** This Agreement may be modified, waived or amended only by a written instrument signed by the party against which enforcement thereof is sought, shall be binding upon the parties' respective successors and assigns, and constitutes the entire agreement between Provider and Customer. The rights and obligations of the parties under this Agreement shall be governed by and construed in accordance with the laws of the State of Kansas.
18. **E-Rate Customers** Customers seeking reimbursement under the Federal Universal Service Fund agree that it is the customer's responsibility to file for such reimbursement (E-Rate funding). If E-Rate funding is denied or decreased by the Schools and Libraries Division of USAC, provider may then elect to decrease the level of Services provided, invoice customer for the unpaid balance of this service contract not fulfilled by E-Rate funding, or terminate this agreement at its exclusive option. Customer invoice will be credited at the time of E-Rate reimbursement receipt.
19. **Voice Services** Provider may provide backup battery service for telephone service utilizing a UPS and that UPS will remain the property of Provider. If Provider does not provide backup battery service for Provider services utilizing a UPS, you must provide the backup battery and it will remain your responsibility in all respects. In the event of a power outage, your telephone Service should continue to operate for up to four hours with the backup battery that Provider provides. If the modem that supplies your telephone Service is disconnected or removed and the battery is not charged, Service, including access to E911, will not be available. Provider uses your telephone Service address to identify your location for E911 Service. **Tampering, modifying, or changing any equipment or cabling installed or maintained by Provider IS DANGEROUS and may result in service outages, including outages of emergency 911 service.** You understand that telephone services selected are provided by Wildflower Telecommunications, LLC, or IdeaTek Communications, LLC and that such services may be subject to rates, terms and conditions contained in tariffs on file with, as well as the regulations of, the Kansas State Corporation Commission, and/or the Federal Communications. Wildflower Telecommunications is required to provide service to all reasonable requests in its designated service area(s). Unresolved questions concerning service availability can be directed to the Kansas Corporation Commission's Office of Public Affairs and Consumer Protection department at 800.662.0027 or public.affairs@kcc.ks.gov.
20. **Option Paragraphs** The follow paragraphs are elected by both parties to be included in the contract:
- a. This Agreement may be modified, waived or amended only by a written instrument signed by the party against which enforcement thereof is sought, shall be binding upon the parties' respective successors and assigns, and constitutes the entire agreement between Provider and Customer. The rights and obligations of the parties under this Agreement shall be governed by and construed in accordance with the laws of the State of Kansas.

General Agreements:

Service to be Provided: see attached appendix A

Effective Contract Period: from date of installation

Total Monthly Reoccurring Contract Cost: \$500.00

Contract Term: 5 year, service will automatically renew for an additional 5 year term unless either party notifies the other in writing 365 days prior to the subsequent termination date. After the initial term 5 year term, the monthly pricing will be adjusted by the total CPI increase from the original effective contract date.

Non Reoccurring Cost: \$39,500.00

By signing below, Customer and Provider agree to the terms and conditions of this Agreement.

IdeaTek Systems, Inc. (SPIN 14303174)
("Lessor" or Provider, referenced herein)

("Lessee" or Customer, referenced herein)

Signature:

Signature:

Printed Name: Daniel P. Friesen

Printed Name: _____

Date: October 2, 2013

Date: _____

Title: President

Title: _____

Contract Notifications:
Attn: Daniel P. Friesen, President
IdeaTek
PO Box 258
Buhler, KS 67522

Contract Notifications:

Appendix A

Installation as follows:

1. Aerial starting at Spruce and Jennie Barker existing splice point, following pole line south 2,200 ft
2. Then place 1.25" HDPE duct in shared trench (trenching not included) and pull fiber to both Service Center and pole line west of Harvest and Fulton
3. Go aerial diagonally on poles to RR bore
4. Use shared RR bore (bore not included) to cross tracks
5. Then back aerial 400ft to sub station
6. Then place 1.25" HDPE duct in shared trench (trenching not included) and pull fiber to WWTP
7. Splice Fiber / Test End Points
8. Install Patch Panels at WWTP, Service Station, Admin Buildings
9. Materials include: fiber, duct, handholes, outdoor splice enclosures, pole hardware, other materials for required scope of work.

Monthly service rental:

IRU use and complete fiber maintenance of 1 pair dark fiber including drop off locations at Service Center and from Service Center to WWTP, Substation, and Admin Building.

1. Customer is responsible for providing rack space or wall mount space for patch panel installation.
2. Demarcation point is a provided patch panel at each location
3. Customer provides patch cables and all electronics.
4. Any pole rentals charged by Customer for this installation shall be invoiced back to customer.

RESIDENTIAL LEASE AGREEMENT

THIS RESIDENTIAL LEASE AGREEMENT (Agreement) made and entered into this _____ day of October, 2013, by and between the City of Garden City, Kansas, a municipal corporation (City), and Kenneth Powell and Karen Powell, husband and wife (Tenant).

WITNESSETH:

WHEREAS, City owns the real property described below; and

WHEREAS, City and Tenant mutually desire to enter into a written lease agreement specifying the terms, conditions and provisions governing the leasing of the real property by Tenant.

NOW, THEREFORE, in consideration of the terms and conditions hereinafter set forth, the parties agree as follows:

1. **DESCRIPTION OF LEASED PREMISES.** City does hereby let and lease to Tenant and Tenant does hereby lease from City the following described real property, to-wit:

Residential structure (residence) located at 2321 North Eighth Street, Garden City, Finney County, Kansas, being legally described as the North One Hundred Fifty (150) feet of Block Fourteen (14) in John's Addition to the City of Garden City, Finney County, Kansas (Premises).

2. **TERM.** The term of this Agreement shall be month to month, with the term to begin November 1, 2013, and continue thereafter until terminated by either party.

3. **RENT.** Tenant agrees to pay as rent for the Premises, the sum of Five Hundred Dollars (\$500) per month on or before the 15th day of each month, with such payments to begin November 15, 2013. All rent payments shall be made to the City Clerk, 301 North 8th Street, P. O. Box 998, Garden City, Kansas 67846.

4. **DAMAGE DEPOSIT.** Tenant previously paid Five Hundred Dollars (\$500) as a deposit in conjunction with the execution of a Residential Rental Agreement with Francis D. Gillan, the previous owner of the Premises. This prior deposit was transferred to City upon the closing of a real estate transaction, on October 8, 2013, when the Premises were conveyed to City. The prior deposit of Five Hundred Dollars (\$500), as referenced, shall constitute the damage deposit for this Agreement, the receipt of which is hereby acknowledged by City, as security for any damage caused to the Premises. Such deposit shall be returned to Tenant, without interest, less any set off for damages to the Premises upon the termination of this Agreement.

5. **USE OF PREMISES.** The Premises shall be used and occupied by Tenant and Tenant's immediate family, as a private single family dwelling, and no part of the Premises shall be used at any time during the term of this Agreement by Tenant for the purpose of carrying on any business, profession, or trade of any kind, or for any purpose other than as a private single family dwelling. Tenant shall not allow any other person, other than Tenant's immediate family, to use or occupy the Premises.

6. **CONDITION OF PREMISES.** Tenant stipulates, represents and warrants that Tenant has examined the Premises, and that they are at the time of this Agreement in good order, repair, and in a safe, clean and tenantable condition.

7. **ASSIGNMENT AND SUB-LETTING.** Tenant shall not assign this Agreement, or sub-let or grant any license to use the Premises or any part thereof.

8. **ALTERATIONS AND IMPROVEMENTS.** Tenant shall make no alterations to the residence or improvements on the Premises or construct any building or make any other improvements on the Premises without the prior written consent of City. Any and all alterations, changes, and/or improvements built, constructed or placed on the Premises by Tenant shall, unless otherwise provided by written agreement between City and Tenant, be and become the property of City and remain on the Premises at the expiration or earlier termination of this Agreement.

9. **HAZARDOUS MATERIALS.** Tenant shall not keep on the Premises any item of a dangerous, flammable or explosive character that might unreasonably increase the danger of fire or explosion on the Premises or that might be considered hazardous or extra hazardous by any responsible insurance company.

10. **UTILITIES.** Tenant shall be responsible for arranging and paying for all utility services required on the Premises.

11. **MAINTENANCE.** Tenant shall be responsible for any and all maintenance necessary to keep the Premises in a clean and neat condition. The Premises shall be kept by Tenant in a neat and orderly fashion, including, but not limited to, mowing of grass and control of weeds. City shall be responsible for maintenance, repair, and replacement of all major items on or at the Premises, including but not limited to, plumbing, heating and air conditioning, exterior paint, windows, roof, and carpeting and flooring; provided, however, Tenant shall be solely responsible for any repair or replacement for damage occurring as a result of the negligence, acts, or omissions of Tenant, their family members or guests.

12. **TENANT'S RESPONSIBILITIES AND DUTIES.** The responsibilities and duties of Tenant, in addition to any other responsibilities and duties set forth in this Agreement, shall be as follows:

- a) Obey all city, state and federal laws applicable to use or occupancy of the Premises;
- b) Not engage in, or allow any guest to engage in, any criminal conduct, including, but not limited to, use or possession of controlled substances; and
- c) Not create any nuisance condition.

13. **DAMAGE TO PREMISES.** In the event the Premises are destroyed or rendered wholly uninhabitable by fire, storm, or other casualty not caused by the negligence of Tenant, this Agreement shall terminate from such time except for the purpose of enforcing rights that may have then accrued hereunder. The rental provided for herein shall then be accounted for by and between City and Tenant up to the time of such injury or destruction of the Premises, Tenant paying rental up to such date and City refunding rental collected beyond such date. Should a portion of the Premises be rendered uninhabitable, City shall have the option of either repairing such injured or damaged portion or terminating this Agreement. In the event that City exercises its right to repair such uninhabitable portion, the rental shall abate in the proportion that the injured parts bears to the whole Premises, and such part so injured shall be restored by City as speedily as practicable, after which the full rent shall recommence and the Agreement continue according to its terms.

14. **INSPECTION OF PREMISES.** City and City's agents shall have the right at all reasonable times during the term of this Agreement to enter the Premises for the purpose of inspecting the Premises, the residence and improvements thereon, and for the purposes of making any repairs, additions or alterations as may be deemed appropriate by City for the preservation of the Premises. City shall further have the right to exhibit the Premises and to display the usual "for sale", "for rent" or "vacancy" signs on the Premises at any time within ten (10) days before the expiration of this Agreement. The right of entry shall likewise exist for the purpose of removing placards, signs, fixtures, alterations or additions, that do not conform to this Agreement or to any restrictions, rules or regulations affecting the Premises.

15. **LIENS AND ENCUMBRANCES.** Tenant covenants and agrees at all times to keep the Premises free from liens and encumbrances of whatever kind or nature arising from, or predicated upon, materials furnished or work or labor performed upon the Premises at Tenant's request or by Tenant's authority.

16. **TAXES.** City agrees to pay any and all taxes or special assessments which may be levied or assessed upon the Premises, or upon City's interest in said Premises. Tenant shall be responsible for any and all taxes or assessments against personal property of Tenant on the Premises

17. **CASUALTY INSURANCE.** City agrees to keep the Premises insured against loss or damage by fire or other casualties, although Tenant shall not be named as loss payees or insureds. Tenant shall be responsible for insurance on their personal property and any and all contents in the residence, or located on the Premises.

18. **TERMINATION.** This Agreement shall be terminable, without cause, upon thirty (30) days written notice served by either party, subject to paragraph 24 of this Agreement.

19. **SURRENDER OF PREMISES.** Upon the expiration of the term hereof, Tenant shall surrender the Premises in as good a state and condition as they were at the commencement of this Agreement, reasonable use and wear and tear thereof and damages by the elements excepted.

20. **ANIMALS.** Tenant shall be entitled to keep no more than two (2) domestic dogs or cats on the Premises. No domestic animal shall be allowed to create a nuisance.

21. **PRIOR LEASES.** This Agreement shall supersede and replace any and all prior leases and rental agreements related to the Premises, including the above referenced Residential Rental Agreement between Tenant and Francis D. Gillan.

22. **QUIET ENJOYMENT.** Tenant, upon payment of all of the sums referred to herein as being payable by Tenant and Tenant's performance of all Tenant's agreements contained herein and Tenant's observance of all rules and regulations, shall and may peacefully and quietly have, hold and enjoy the Premises for the term hereof.

23. **INDEMNIFICATION.** City shall not be liable for damage to any property or any injury or death to Tenant, Tenant's family, guests, invitees, or agents occurring on the Premises, regardless of cause or fault. Tenant hereby agrees to indemnify, defend and hold City harmless from any and all claims or assertions of every kind and nature.

24. **DEFAULT.** If Tenant fails to comply with any of the material provisions of this Agreement, other than the covenant to pay rent, or of any present rules and regulations or any that may be hereafter prescribed by City, or materially fails to comply with any duties imposed on Tenant by statute, City may terminate this lease within thirty (30) days from delivery of written notice to Tenant, unless Tenant remedies such breach within fourteen (14) days after receipt of written notice from City specifying the non-compliance. If Tenant fails to pay rent when due and the default continues for five (5) days thereafter, City may, at City's option, declare the entire balance of rent payable hereunder to be immediately due and payable and may exercise any and all rights and remedies available to City at law or in equity or may immediately terminate this Agreement.

25. **ABANDONMENT.** If, at any time during the term of this Agreement, Tenant abandons the Premises or any part thereof, City may, at City's option, obtain possession of the Premises in the manner provided by law, and without becoming liable to Tenant for damages or for any payment of any kind whatsoever. If City's right of reentry is exercised following abandonment of the Premises by Tenant, then City shall consider any personal property belonging to Tenant and left on the Premises to also have been abandoned, in which case City may dispose of all such personal property in any manner City shall deem proper and City is hereby relieved of all liability for doing so.

26. **GOVERNING LAW.** This Agreement shall be governed, construed and interpreted by, through and under the Laws of the State of Kansas.

27. **SEVERABILITY.** If any provision of this Agreement or the application thereof shall, for any reason and to any extent, be invalid or unenforceable, neither the remainder of this Agreement nor the application of the provision to other persons, entities or circumstances shall be affected thereby, but instead shall be enforced to the maximum extent permitted by law.

28. **BINDING EFFECT.** The covenants, obligations and conditions herein contained shall be binding on and inure to the benefit of the heirs, legal representatives, and assigns of the parties hereto.

29. **DESCRIPTIVE HEADINGS.** The descriptive headings used herein are for convenience of reference only and they are not intended to have any effect whatsoever in determining the rights or obligations of City or Tenant.

30. **CONSTRUCTION.** The pronouns used herein shall include, where appropriate, either gender or both, singular and plural.

31. **NON-WAIVER.** No indulgence, waiver, election or non-election by City under this Agreement shall affect Tenant's duties and liabilities hereunder.

32. **MODIFICATION.** The parties hereby agree that this document contains the entire agreement between the parties and this Agreement shall not be modified, changed, altered or amended in any way except through a written amendment signed by all of the parties hereto.

33. **NOTICE.** Any notice required or permitted under this Agreement or under state law shall be deemed sufficiently given or served if sent by United States certified mail, return receipt requested, addressed as follows:

- (1) If to City: City Manager
301 North Eighth Street
P.O. Box 998
Garden City, Kansas 67846
- (2) If to Tenant: Kenneth and Karen Powell
2321 North Eighth Street
Garden City, Kansas 67846

City and Tenant shall each have the right from time to time to change the place notice is to be given under this paragraph by written notice thereof to the other party.

IN WITNESS WHEREOF, the parties have set their hand and executed this Agreement the day and year first above written.

CITY OF GARDEN CITY, KANSAS

Date

By _____
Dan Fankhauser, Mayor

"City"

ATTEST:

Celyn N. Hurtado
City Clerk

10-5-13
Date

Kenneth Powell
Kenneth Powell

10-5-13
Date

Karen Powell
Karen Powell

"Tenant"

WARRANTY DEED

MOSAIC HOUSING CORP. XX - GARDEN CITY

CONVEYS AND WARRANTS TO

The City of Garden City, Kansas, a municipal corporation,

all of the following described REAL ESTATE in the County of Finney and the State of Kansas, to-wit:

A tract of land lying in the Northeast Quarter (NE ¼) of Section 16, Township 24 South, Range 32 West of the 6th Principal Meridian, all in Finney County, Kansas, for the use of Permanent Road Right of Way, and being more particularly described as follows:

The north ten (10.00) feet of Lot 1, Block 2 of Heritage Place Second Addition.

The above described tract contains 0.06 acres or 2,489 square feet, more or less.

For the sum of \$10.00 and other good and valuable consideration.

RESERVING UNTO the Grantor, its successors and assigns, all vested water rights and rights to appropriate water appurtenant to the above-described property.

EXCEPT AND SUBJECT TO: Easements, restrictions, reservations, and leases of record.

Dated OCTOBER 10, 2013.

MOSAIC HOUSING CORP. XX - GARDEN CITY



Dolores Bangerter, President
Attest:



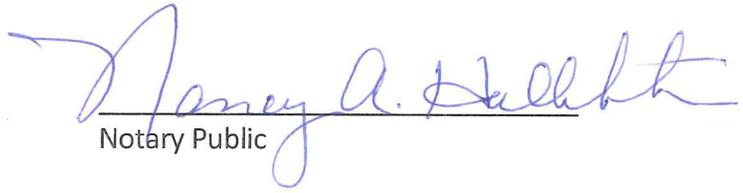
, Secretary

STATE OF NEBRASKA)
) ss.
COUNTY OF DOUGLAS)

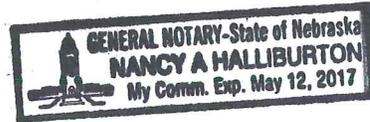
BE IT REMEMBERED, that on the 10th day of October, 2013, before me, a Notary Public in and for the County and State aforesaid, came Dolores Bangerter and Scott Hoffman who are personally known to me to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same.

IN WITNESS WHEREOF, I have subscribed my name and affixed my seal as of the day and year

last above written.


Notary Public

My Commission Expires:
May 12th 2017



Other Entities Minutes



**GARDEN CITY REGIONAL AIRPORT
ADVISORY BOARD MINUTES
SEPTEMBER 12, 2013**

5:30PM MEETING CALLED TO ORDER

MEMBERS PRESENT

Ed Fischer, Charlie Robinson, Ken Frey, Marlo Miller, and Darin Germann

MEMBERS ABSENT

Bill Jones and Mike Scheiman

STAFF PRESENT

Rachelle Powell, Derek Barr, and Miranda Benedict

ITEM 1 PUBLIC COMMENT

No public comment.

ITEM 2 APPROVAL OF AUGUST 8, 2013 MINUTES

Charlie Robinson made a motion to approve the August 8, 2013 Airport Advisory Board minutes. Marlo Miller seconded the motion. The motion passed unanimously.

ITEM 3 CIP COMMITTEE

Staff discussed the Capital Improvement Program with the Airport Advisory Board. Marlo Miller has been the designated Airport Advisory Board representative; Darin Germann volunteered as well.

ITEM 4 LEASE REVIEW

Staff reviewed the following leases with the Airport Advisory Board; FAA Field Sector Office, Napoli's Italian Restaurant, TSA Office, Chanay Aircraft Service and FBO Air (Saker Aviation). Staff explained that the leases increase in rental amounts and are long term with the exception of Napoli's Italian Restaurant. Staff recommended the automatic renewal of all leases. Ed Fischer made a motion to approve the automatic renewal of the leases and Ken Frey seconded the motion. The motion passes unanimously.

ITEM 5 DIRECTOR'S REPORT

Staff discussed the Director's Report with the Airport Advisory Board. Board members expressed their concerns in regards to upcoming runway closures due to

construction; per Part 139 Requirements. Staff explained the details of these closures, as well as, the importance of the project. Staff emphasized the runways would be open within 7 days.

ITEM 6 MONTHLY REPORTS

Staff discussed the monthly reports with the Airport Advisory Board.

ITEM 7 BOARD MEMBER COMMENTS

- A. Ed Fischer – Asked if Mary Shortridge is still hosting fly-in's and inquired about the Christmas fly in. He also requested that staff review and make adjustments to the master plan in the near future.
- B. Charlie Robinson – Happy to hear about the bathroom remodel and encouraged the staff to work with Napoli's on new furniture.
- C. Ken Fry – No Comment
- D. Marlo Miller – Inquired about the over booking of flights. Rebecca Miller with Trego Dugan informed Marlo that American Airlines would be bringing in 50 seat aircraft until the end of the year.
- E. William (Bill) Jones – Absent
- F. Mike Scheiman – Absent
- G. Darin Germann – Inquired about the possibility of air shows. Staff informed him that our airport isn't equipped to host air shows; however, we would consider open houses in the future. He also expressed his gratitude and appreciation to the people of our community.

ITEM 8 ADJOURNMENT

Ken Frey made a motion to adjourn. Darin Germann seconded the motion. The motion passed unanimously.

**Garden City Recreation Commission
Minutes
Monday, August 26, 2013**

I. Call Meeting to Order

Chairperson Maria Hardwick called the meeting to order at 5:15 pm. GCRC Board Members present was Anna Urrutia and David DuVall. GCRC Staff present was Superintendent John Washington, Assistant Superintendent Donna Gerstner, Maintenance Superintendent Brian Knight, Maintenance Custodial Marcia Baird, Recreation Specialist/UIC Travis Neidig and Finance Director Terri Hahn. Guest present was James Hahn.

II. Approval of Agenda

Motion by David DuVall to approve the agenda, seconded by Anna Urrutia. Motion carried with all in favor.

III. Consent Agenda

The following shall stand approved/accepted as presented unless action is taken to remove an item from the consent agenda.

- **Minutes of Regular Meeting Monday, July 29, 2013**
- **Financial Reports for July 2013**
- **Staff Reports August**
- **Participation Reports July**

Motion by David DuVall to approve the consent agenda, seconded by Anna Urrutia. Motion carried with all in favor.

IV. Superintendent Report

- **NRPA Congress and Exposition in Houston, TX, October 07-10, 2013.** – John will be attending the NRPA Congress and Exposition in Houston, TX on October 07-10, 2013. Any Board Member that would like to attend this conference please get with John as soon as possible.
- **Welcome! Travis Neidig from St. John, KS (Recreation Specialist/UIC).** – John introduced Travis Neidig. Travis is the new Recreation Specialist/UIC in the Sports Department.
- **Facility Usage.** –Working on Tangeman agreement. USD 457 has put in \$2000.00, College \$50,000 and the City of Garden City /GCRC has commented to the rest of the amount which totals in excess to 1.3 million dollars. Academy Field is estimated at 1.8 million dollars and growing. The baseball field needs some attention and redesign for maximum use.
- **Clint Lightner & Academy Baseball Field.** – Discussion item under new business.
- **Tangeman Sports Complex.** – City of Garden City will be assisting with seeding the south warm up area. Andy with the Parks Division is nearing completion of the South Warm-Up area with redesigning the irrigation zones, soil amendment, fertilizer and grading. Andy will be hydro-seeding over the next week. GCRC has hired a contractor to install the structure over irrigation booster pump. Waiting on roof trusses, which Menards has lost and will reorder. Golf Course Irrigation Specialist is coming into town to give us recommendation on the existing system. Landscaping still needs to be done around the batting cages and core areas.

V. New Business

1. **2013-2019 Capital Improvement** –Discussions will be developed from our current Master Plans and Staff recommendations for future Recreation Capital Outlay and Recreation Facilities. –Will be making master plans. USD 457, GCCCC and City of Garden City would like to turf the infields of the baseball fields. Which would include Clint Lightner Baseball Field, Academy Baseball Field and Williams Stadium? And possibly by the second meeting turf all the fields. Academy is the largest baseball field in town. They do have concerns on the drainage ditch at the back of the field.

2. **Clint Lightner Stadium Master Plan** – Renovation work to the infield turf, grandstand seats, batting cages, dugouts and lights are the most important part of this facilities renovation but also the most costly. –Some of the simple things like new bleacher seats, backstop and batting cages are some of the least expensive parts of the project and could be expensed out of our capital funding. At a minimum, the poles located on behind the two dugouts will need replaced and moved. Lights and can be split with USD 457 but we would have to purchase the turf.
3. **John is seeking reimbursement for the purchases of supplies during the Babe Ruth Tournaments in the amount of \$120.71 on 08/01/2013.** – Motion by David Duvall to approve the reimbursement for John Washington for \$120.71 for Babe Ruth Tournament supplies. The motion was seconded by Anna Urrutia. Motion carried with all in favor.

Assistant Superintendent Donna Gerstner left at 5:50pm.

VI. Old Business

1. **Approval for \$3,903.21 for floor scrubber purchases. Board would like more information on this purchase.** – Maintenance Supervisor Brian Knight and Maintenance Custodial Marcia Baird demo the new floor scrubber. It will be used at the pool and at the Activity Center. Motion by Anna Urrutia to approve the purchase of the floor scrubber for \$3,903.21, seconded by David DuVall. Motion carried with all in favor.

VII. Executive Session – Recreation Board will go into executive session for the purpose of discussing Real Property and/or Personnel/Contracts at 6pm. The Recreation Board will reconvene into open session upon completion at 6:45 pm.

John asked to go into executive session for thirty-five (35) minutes for the purpose of discussing real property and/or personnel/contracts. Motion by David DuVall to go into executive session, seconded by Anna Urrutia. Motion carried with all in favor.

Went into executive session at 6pm.

Out of executive session at 6:35pm.

No Action Taken.

Garden City Recreation Commission Questions and Comments

David DuVall commented, Good Job on the SWKSR Golf Tournament. He enjoyed playing.

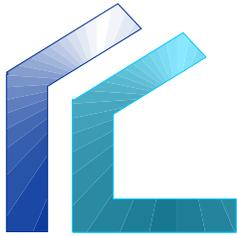
John commented on that there will be no Santa Christmas Carnival this year due to the Finney County remodeling the Exhibitions Building. We have scheduled the building for 2014.

VIII. Adjournment

Motion by Anna Urrutia to adjourn the meeting. Seconded by David DuVall. Meeting adjourned at 6:45pm.

Terri Hahn
Secretary

Approved 10/01/2013



Garden City Recreation

310 N. 6th, Garden City, Kansas 67846 – Phone: 620-276-1200 Fax: 620-276-1203 – email: gcrec@garden-city.org

**AGENDA - Garden City Recreation
Regular Meeting
Tuesday, October 1, 2013, 5:15 p.m.
Garden City Recreation Center, 310 N. 6th Street**

- I. Call Meeting to Order**
- II. Approval of Agenda**
- III. Consent Agenda-The following shall stand approved/accepted as presented unless action is taken to remove an item from the consent agenda.**
 - a. Minutes from August 26, 2013 Meeting
 - b. Financial Reports from August 2013
 - c. Staff Reports from September 2013
 - d. Participation Reports from September 2013
- IV. Superintendent Report**
 - NRPA Congress in Houston, TX October 6-11.
 - 2014-2018 Capital Improvements Schedules
- V. New Business**
 1. 2014-2018 Capital Improvement-Discussions will be developed from our current Master Plans and staff recommendations for future Recreation Capital Outlay and City Recreation Facilities.
 2. Superintendent is requesting for approval for a cash advance in the amount of \$200 for travels expense for the 2013 NRPA Congress Houston, TX.
 3. Brian Knight is request for purchase 9500 lbs. of 4 Way Fescue Blend Turf Seed. This will over seed Clint Lightner, Academy, Garcia and Esquivel. ((18 acre's). Low quote was from Grass Pad Inc. at \$1.19 per/lb. (\$11,305) Wharton's at \$1.65 per lb. (\$15,675).
 4. Meghan McFee (Wellness/Fitness Director) a asking for approval for a Nautilus K2 Vertical Climber for purchase in the amount of \$5,999.
 5. Article 7 Investments pledging increased from \$100,000 to \$250,000 in accordance to federal and state laws.
 6. Artificial Turf Infields at Clint and Academy Baseball Fields
 7. Clint Lightner Field Lighting Renovation.
 8. Change Policy 6.17.1 Probation- Initial Probation, to add Health benefits will be granted at sixty (60) days to satisfy the Health Care Act.
 9. Recreation Commission Board recommendation for replacement of Holly Chandler.
 - 10.
- VI. Old Business**
- VII. Executive Session-Recreation board will go into executive session for the purpose of discussing Real Property and/or Personnel. The Recreation Board will reconvene into open session upon completion.**

Garden City Recreation Commission Questions and Comments
- VIII. Adjournment**

Next Meeting
October 28, 2012 @ 5:15 p.m.
Activity Center
310 N 6th St, Class Room II

**HOLCOMB-GARDEN CITY-FINNEY COUNTY AREA PLANNING COMMISSION
AGENDA**

Thursday, October 17, 2013
9:00 A.M. City Commission Chamber – Garden City, Kansas

Note: If you require any accommodation (i.e. qualified interpreter, large print, reader, hearing assistance) in order to attend this meeting, please notify this office at (620) 276-1170 no later than 48 hours prior to the scheduled commencement of the meeting.

8:30 A.M.	WORKSHOP - AGENDA REVIEW BETWEEN STAFF AND COMMISSION MEMBERS <i>Public Comments/questions are welcome - NO DECISION CAN BE RENDERED.</i>
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- I. CHAIRMAN CALLS REGULAR MEETING TO ORDER
- II. APPROVAL OF MINUTES- September 19, 2013.
- III. PUBLIC COMMENT - Agenda Schedule Allowance: 30 minutes (5 minutes per spokesperson)
- IV. GENERAL STAFF REPORT AND UPDATE
- V. SUBMITTAL OF EXHIBITS FOR THE RECORD
 - A. Finney County Zoning Regulations, Garden City Zoning Regulations and City of Holcomb Zoning Regulations all as amended
 - B. Finney County, City of Garden City, and City of Holcomb Subdivision Regulations all as amended
 - C. Finney County, City of Garden City, and City of Holcomb Comprehensive Plans all as amended
 - D. All Visual Aid Presentations with Aerial Maps, Site Plans, and Plats
 - E. All application files in their entirety including Staff Reports
- VI. BUSINESS
 - o *Staff Report & Applicant Presentation*
 - o *Public Hearing*
 - o *Staff or Applicant Address Public Hearing Comments*
 - o *Commission Action*

NEW BUSINESS:

GC2013-83: To consider a plat of the Smith Trust Addition, 1135 College Drive, at the request of Dwight Smith.

FC2013-78: To consider a plat of the Waterhole Addition, 13105 N. Jennie Barker, at the request of Helen Batchelder.

FC2013-79: To consider rezoning 13105 N. Jennie Barker from “A” Agriculture to “R-R” Rural Residential at the request of Helen Batchelder.

GC2013-76: To consider amending the Garden City Comprehensive plan regarding 202 College Street at the request of Gail Lee, Lee Properties.

GC2013-75: To consider rezoning 202 College Street from “C-2” General Commercial to “R-3” Multi-family Residential at the request of Gail Lee, Lee Properties.

GC2013-81: To consider rezoning 1810 Buffalo Jones from “C-2” General Commercial to “I-2” Medium Industrial at the request of Black Hills Energy Corp.

FC2013-84: To consider rezoning 2104 W. Jones Ave. from “GC” General Commercial to “I-1/I-2” Light-Medium Industrial at the request of Choice Industrial Construction.

FC2013-80: To consider amending the Finney County Zoning Regulations regarding permitted uses in “I-1/“I-2” Light to Medium Industrial Districts.

VII. ADJOURN

MINUTES

HOLCOMB - GARDEN CITY - FINNEY COUNTY AREA
PLANNING COMMISSION

September 19, 2013

The Holcomb-Garden City-Finney County Area Wide Planning Commission scheduled a Public Hearing at 9:00 a.m. Thursday, September 19, 2013 in the City Commission Chambers at the City of Garden City Administrative Center located at 301 North 8th Street, Garden City, Kansas.

I. CALL TO ORDER

Chairman Howard called to order the Area Wide Planning Commission meeting at 9:00 a.m. The following Commission members were present: Chairman Howard, Member Chappel, Member Law, Member Lopez, Member Weber, Member Sheets and Member Lucas. Also present were Secretary Kentner and Staff Henderson.

II. APPROVAL OF MINUTES- August 15, 2013

Member Weber Makes motion to approve the minutes from August 15, 2013. Member Chappel seconds motion. Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion passed.

III. PUBLIC COMMENT- Agenda Schedule Allowance: 30 minutes (5 minutes per spokesperson)

IV. SUBMITTAL OF EXHIBITS FOR THE RECORD

- A. Finney county Zoning Regulations of 1995 as amended
- B. Subdivision Regulations of 1996 as amended
- C. Finney County Comprehensive Plan as amended
- D. All Visual Aid Presentations with Aerial Maps, Site Plans, and Plats
- E. All application files in their entirety including Staff Reports

OLD BUSINESS

FC2013-49/50 East Ridge Addition

MEMBER LUCAS MAKES MOTION TO TABLE DUE TO LACK OF WATER INFORMATION
MEMBER LOPEZ SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion Passed.

FC2013-63 Brookover Addition Plat, Ty Brookover

Staff Henderson reads staff report.
MEMBER LAW MAKES MOTION TO APPROVE PLAT
MEMBER SHEETS SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion passed.

GC2013-77 Stone Creek (Samy) Addition Plat, Amro Samy

Staff Henderson reads staff report.

Member Chappel- Do you know how far this road is from the highway? Will that cause a conflict for people on Spruce Street?

Secretary Kentner- No, it currently barely meets requirements and still has to be approved by KDOT and the City Engineer. From the measurements we originally took, it appears to meet the requirements given by KDOT.

Member Law- Will there be a stop light where it meets Spruce Street?

Secretary Kentner- I doubt there will be a stop light but there would be a stop sign.

Member Chappel- There’s already a stop light at Spruce and the bypass. That’s what I was concerned about was traffic backing up and it gets like Fleming Street.

Secretary Kentner- We were concerned about that as well. The whole project is still subject to the development process as well.

MEMBER SHEETS MAKES MOTION TO APPROVE

MEMBER LUCAS SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Nay	Yea	Yea	Not Present	Yea

Motion passed.

GC2013-65/72 Rezone “C-2” to “I-1”and amend Comp Plan, 3285 E. Fulton

Staff Henderson reads staff report.

Representative for Applicant- Quang wants to put in those 10 x 20 storage sheds and run three of them north to south and enclose them with a chain link fence.

OPEN PUBLIC COMMENT

CLOSE PUBLIC COMMENT

Secretary Howard- Have there been any comments from surrounding property owners concerning this case?

Secretary Kentner- No.

Member Lopez- I have more of an issue with rezoning it than I do the proposed use. We are limiting what could actually go in there in the future. People from the City and County are concerned with the entryways to our town and if we did change the zoning then we couldn’t say this is what you can build here. I don’t think we can make it conditional and I think there might be a better way to approach this.

Member Weber- The current “I-3” to the south, would the future intent be to convert that to a “C-2”?

Secretary Kentner- Actually, the comprehensive plan has that as industrial.

Staff Henderson- Or commercial potential.

Member Weber- What is that there?

Secretary Kentner- That property is currently being leased from TP&L which brings in the wind turbines. That is owned by Folley Construction and their intent is to build their facility there in the future.

Member Weber- And they have the section to the east as well?

Secretary Kentner- The east lot is actually owned by TP&L. Conestoga Grain and Wind River own the other part. South of the road is in the county and is zoned commercial.

MEMBER LOPEZ MAKES MOTION TO DENY COMP PLAN AMENDMENT

MEMBER CHAPPEL SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Nay	Nay	Yea	Yea	Not Present	Yea

Motion passed.

GC2013-61 Amending GC Zoning Regulations regarding banner signs.

Secretary Kentner reads staff report.

OPEN PUBLIC COMMENT

CLOSE PUBLIC COMMENT

Member Weber- Is there not a requirement regarding distance from the street? I’ve seen these on corners and it creates a blind spot.

Secretary Kentner- At intersections, there is a 25’ site triangle that they should stay out of. Unless the bottom of the banner is at least eight feet. That’s what most of the calls we get are about. We visit the owners and let them know that they need to move them.

Member Weber- A lot of times you see them between the sidewalk and the street.

Secretary Kentner- We run into that often. 99% of the time, they move them when we ask. If they refuse to move them and they are in the city right-of-way, the City has the right to remove them because they can be a hazard to traffic and safety. This will help clarify these things. The issue with most of the complaints we get on the banners and stringers, is that many of them are a chain reaction. One dealership will call about another and then that dealership complains about another. We don't see any reason why if it's on their property and their insurance covers that, they could put it at six feet. That's their prerogative and they are taking on that liability themselves.

Chairman Howard- I don't think that the sign issue will ever be fixed but I do think we are going down the right path here.

Member Lopez- You said the wording already exists. This will just make them comply more with industry standards.

Secretary Kentner- Correct.

MEMBER SHEETS MAKES MOTION TO APPROVE AMENDMENT

MEMBER LAW SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion passed.

GC2013-62 Site Plan Amendment, Garden City

Secretary Kentner reads staff reports.

OPEN PUBLIC COMMENT

CLOSE PUBLIC COMMENT

MEMBER LOPEZ MAKES MOTION TO APPROVE

MEMBER CHAPPEL SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion passed.

FC2013-67 Site Plan Amendment, Finney County

OPEN PUBLIC COMMENT

CLOSE PUBLIC COMMENT

MEMBER SHEETS MAKES MOTION TO APPROVE

MEMBER CHAPPEL SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion Passed.

H2013-68 Site Plan Amendment, Holcomb

OPEN PUBLIC COMMENT

CLOSE PUBLIC COMMENT

MEMBER CHAPPELS MAKES MOTION TO APPROVE

MEMBER LAW SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Yea	Yea	Yea	Yea	Not Present	Yea

Motion Passed.

Gc2013-69/70 Rezone 1706 & 1802 Spruce and Amend Comp plan, GCCC

Staff Henderson reads staff report.

Ryan Ruda-

OPEN PUBLIC COMMENT

Jim Howard, recused from vote, states that this would be good for the college and the community.

CLOSE PUBLIC COMMENT

Member Lopez- They haven't actually stipulated what this temporary housing will consist of and it's unnecessary for them to state at what length of time. Is that correct?

Staff Henderson- For this purpose, the particular use is not important. It's just rezoning so that in the future they can use it for uses that are consistent with Public Facilities.

Secretary Kentner- This would make the properties zoning the same as what the campus is already zoned, which is Public Facilities. The temporary housing which we will get to next, has to do with conditional uses. There are accessory uses which are allowed and permanent housing is an allowed use. However, temporary housing is not an allowed use. This is just addressing the existing comprehensive plan and rezoning it.

Member Weber- When it says proposed use is inconsistent with the comp plan, that's only because of how it's zoned. They can build a parking lot if they want to?

Secretary Kentner- Yes. The comprehensive plan was done in 2009 and at that time, the college had not purchased these properties. I'm not sure they knew at that time that they were going to expand campus that direction. The comprehensive plan shows commercial for those lots.

Member Weber- Wasn't there multiple family on this lot?

Secretary Kentner- The trailer park on the property was non-conforming.

Member Weber- It was grandfathered.

Secretary Kentner- Yes. They weren't allowed to move any in or out.

Member Weber- Is a "C-2" consistent with the plan? Not the use but the zone?

Staff Henderson- Yes.

Secretary Kentner- I think with this comprehensive plan amendment, it's the appropriate thing to do since the college does own it.

Member Weber- It could be a parking lot, classroom or office?

Secretary Kentner- Yes.

MEMBER CHAPPEL MAKES MOTION TO APPROVE THE COMP PLAN AMENDMENT

MEMBER ? SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Recused	Yea	Yea	Yea	Not Present	Yea

Motion passed.

MEMBER WEBER MAKES MOTION TO APPROVE REZONING

MEMBER LUCAS SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Recused	Yea	Yea	Yea	Not Present	Yea

Motion passed.

GC2013-71 Amendment regarding accessory uses in "PF"

Staff Henderson reads staff report.

Staff Henderson reads email from Member Rishel who was unable to attend meeting.

Secretary Kentner- The reason we left this open for temporary accessory uses was so the BZA could take the requests on a case-by-case basis. Most of the time, it's 30 days or less. However, temporary can be longer than 30 days. The BZA could limit it to a timeframe or a renewal process. That's up to you if you want to amend it that way. We thought this would be the best route that way the BZA could look at each case individually and put restrictions on them as needed.

Member Lopez- I think while his points are well taken, I don't necessarily agree with his points. I served on the BZA and one thing I always liked was that each case was not one-size-fits-all. I think if someone wanted to have a carnival there, that would be different than what the college is wanting to do there. The BZA allows the community substantial safeguards to make sure it's consistent with what's best for the community.

Staff Henderson- I think it's also important to note that it's broader than temporary housing.

Member Lopez- I doubt that the college is going to set up a tent city but the BZA could specify that.

Secretary Kentner- The definition of temporary is actually not in the zoning regulations. I think that's one reason why we looked at this route. From a legal standpoint, it allows us to look at it as a case-by-case basis. It allows you, the Planning Commission, to define that or the BZA to define that.

Staff Henderson- In temporary uses for the City, a temporary storage container can be used for 90 days so there is already a definition there for that one use. If we defined temporary in the zoning regulations as 30 days or less, it would effect that regulation.

Secretary Kentner- We understand where he's coming from because he is also a member of the BZA.

Member Chappel- Does the college have an idea for what they are going to use the ground for in the future?

Secretary Kentner- The important thing to remember is that this will not only affect the college but all Public Facility districts in the city. We have to remember that. I see his concerns but at the same time, the BZA has the authority to revoke that permit at any time or say that they will issue 90 day permits but at the end of that 90 days, they have to reapply.

Member Lopez- I think it's safe to assume in the case of a community college, that they would approach them with a specific time frame in mind.

Staff Henderson- Currently, with this specific location, they have talked about building a new dormitory on campus which would take approximately three years. Three years is much longer than 30 days but they'd have to submit site plans and the city has building codes that would have to be met. Some of the issues that Mr. Rishel brought up are covered in other areas of the regulations.

OPEN PUBLIC COMMENT

Jim Howard, recused, states that there is a need for dorms and that it's best to keep the students on campus.

CLOSE PUBLIC COMMENT

Member Lopez- As I understand it, we aren't allowing them the time needed, we are just allowing the possibility of it.

Secretary Kentner- Correct. They would have to go through the BZA process.

Member Lopez- Okay, I just wanted clarification of what we are voting on.

Secretary Kentner- This sets up the process for them to go through. Also, the other nice thing of going with a conditional use instead of a by-right use is that property owners nearby are notified and have the opportunity to voice their opinions.

Member Chappel- With temporary housing, you are talking about moving mobile homes or trailers?

Secretary Kentner- We don't know yet. It could be any of those.

Ryan Ruda- We don't have specific design plans yet. We are looking at building permanent housing on campus but we need some housing solutions for the duration of time it will take to make that happen.

Member Lopez- But the BZA could set specifications?

Secretary Kentner- Yes, and they could deny them if they see fit.

Member Law- Whatever they do, they have to go before the BZA?

Secretary Kentner- Yes.

Member Sheets- What they are going to be doing is building a dorm.

Member Chappel- With the need they have, why aren't they building the dorm now?

Secretary Kentner- That's what they are doing. The process that the college has to go through, with approvals, is extended longer than usual. That's why they are needing temporary housing while they are going through the process.

Ryan Ruda- We are looking at upwards of three years by the time we get design plans and approval.

Secretary Kentner- This is just a way that we are trying to help them meet their needs but at the same time, make sure that the public is aware.

MEMBER LOPEZ MAKE MOTION TO APPROVE

MEMBER LAW SECONDS MOTION

Votes were taken by yeas and nays and recorded as follows:

Weber	Lucas	Gigot	Howard	Law	Lopez	Chappel	Rishel	Sheets
Yea	Yea	Not Present	Recused	Yea	Yea	Yea	Not Present	Yea

Motion Passed.

Meeting adjourned at approximately 10:10A.M.

Jim Howard

Chairman

Kaleb Kentner
Samuel Henderson

Secretary

Zoo Advisory Board
Minutes of Meeting Held
Tuesday, October 1, 2013

Members Present: Tammy Rieth, Taylor Freburg, Jimmy Deal, Elaine Lott

Members Absent: Debbie Reynolds, Becky Clark, Evelyn Bowman

Others Present: Kathy Sexson, Donna Wohler, Brian Nelson, Kristi Newland

- I. The meeting was called to order at 5:10
- II. Approval of Agenda – The agenda was approved.
- III. Approval of Minutes – The minutes of the September meeting were approved.
- IV. New Business
 - a. Zoo Monthly Report – A new mountain lion and Chinese hwameis (songbirds) arrived from the Sedgwick County Zoo and are doing well. One turkey vulture died, leaving one, which is not enough to fill the old COA exhibit. So the exhibit will be razed in the near future. Staff spent much time preparing for Cat Canyon openings. It has gotten a great reception from the public. International Red Panda Day was celebrated at the zoo September 29.
 - b. FOLRZ Report – \$33,500 was the net profit from A Wild Affair. Getting ready for Boo! at the Zoo.
 - c. CIP Project Review – Kathy went over and explained the projects, and asked for questions or concerns from the board. Jimmy moved to approve the CIP project list. Taylor seconded and the motion passed.
 - d. Reviewing Applications for Gate Position – Interviews were held and a gate attendant was hired to fill the third position. This will allow someone to be at the vehicle gate whenever it is open and to charge vehicles at all times.
 - e. Boo! At the Zoo – The event will be October 19. The Sleepy Hollow wagon ride will be offered to members again. A new addition will be the Harry Potter train themed ride, which will cost \$5.00. Brian passed around a volunteer signup sheet.
- V. Old Business
 - a. Cat Canyon Update – “Grand” Openings - There was a good turnout with 75 people attending the Donors & Dignitaries Reception, which included a behind the scenes tour; 150 at the Members, Media, and Cast of Cat Tales sneak peek; and 1500 in attendance at the Grand Opening with cookies and activities for kids.
 - b. Surveillance Camera – Working on getting funds, may use conservation fund money. Will be installed in the aviary, at the gatehouse, exit, and arches.
 - c. Directional Signs Received for Gate Changes –
 - d. Finalizing Conceptual Plans for Next Three Exhibits – Should receive plans in 30-45 days.
 - e. Contract with Architect for Elephant Yard Expansion Construction Documents – In process of signing to get construction documents. Bid before end of year.
- VI. Board Member Reports
- VII. The meeting was adjourned at 6:09 p.m.

Next Meeting November 5th, 2013 at 5:00 p.m.